

CITY OF SURREY

BYLAW NO. 20258

A bylaw to enter into a heritage revitalization agreement
.....

WHEREAS:

- A. The Council may by bylaw pursuant to Part 15 of the *Local Government Act*, R.S.B.C. 2015, c.1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;

- B. The Council considers that certain lands, premises and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 006-780-326
Lot 66 Section 8 Township 8 New Westminster District Plan 33047

(5660 – 177B Street)

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, enacts as follows:

- 1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this Bylaw as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.

- 2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.

3. Schedule "I" forms a part of this Bylaw.
4. This Bylaw may be cited for all purposes as "Surrey Heritage Revitalization Agreement Bylaw, 2020 , No. 20258".

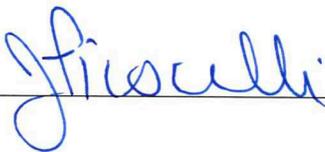
PASSED FIRST READING on the 21st day of December, 2020.

PASSED SECOND READING on the 21st day of December, 2020 .

PASSED THIRD READING on the 21st day of December, 2020 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 6th day of December, 2021.


_____ MAYOR


_____ CLERK

SCHEDULE "I"

[To City of Surrey Heritage Revitalization Agreement By-law, 20²⁰, No. 20258]

HERITAGE REVITALIZATION AGREEMENT

This Agreement made the 6th day of December, 2021

BETWEEN:

1161629 B.C. LTD., INC. NO. BC1161629
7581 6th Street
Burnaby, British Columbia V3N 3M4

and

0917723 B.C. LTD., INC. NO. 0917723
13615 60th Avenue
Surrey, British Columbia V3X 3L1

(the "Owners")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,
and having offices at 13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 006-780-326

Lot 66 Section 8 Township 8 New Westminster District Plan 33047

5660 - 177B Street

("Permanent Location")

And

Parcel Identifier: 003-449-254

Lot 3 Block 2 Section 17 Block 5 North Range 2 West New Westminster District Plan 616

12454 - 110 Avenue

("Temporary Location")

And as the legal description of the Permanent Location is to change, the City Clerk is directed to insert the following new legal description once title(s) has/have been issued, as follows:

Parcel Identifier: _____

(collectively, the "Lands");

- B. The Owner and the City consider that the Lands, including the improvements and features on the Lands, have *heritage value* and *heritage character*;
- C. The Owner and the City desire to conserve the *heritage value* and *heritage character* of the Lands;
- D. For the purpose of conservation of the *heritage value* and *heritage character* of the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the Lands;
- E. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the heritage improvements or features on the Lands are moved or destroyed other than through natural causes;
- F. The improvements or features on the Lands which have *heritage value* and *heritage character* which both the Owner and City desire to conserve have been described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "Donald Luxton and Associates Inc Plan");
- G. The improvements or features identified in the Conservation Plan as the Main Residence (the "House") is listed on the Surrey Heritage Register and the Owner and the City consider that the House has *heritage value* and *heritage character* such that all provisions of this Agreement applicable to the Lands also apply to the House; and

- H. The House will be temporary relocated to the Temporary Location as provided for in this Agreement, and all provisions of this Agreement are applicable to the Temporary Location until such time as the House is moved back to the Permanent Location and final building inspection of the issued building permit, which conforms to this Agreement and the approved development permit, is successfully achieved.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

Conservation Plan

1. (a) The Conservation Plan and the Donald Luxton and Associates Inc Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan or Donald Luxton and Associates Inc Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and Donald Luxton and Associates Inc Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.

- (b) Part I of the Conservation Plan and the Donald Luxton and Associates Inc Plan identify, detail and describe the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character* including, but not limited to: location on 177B Street; form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan; wood-frame construction, with original cedar shingle cladding beneath later stucco; vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps; original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah; original wood doors; and interior masonry red brick chimney. Part II of the Conservation Plan and the Donald Luxton and Associates Inc Plan set out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan and Donald Luxton and Associates Inc Plan set out the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance to be undertaken and completed pursuant to this Agreement.

Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
- (a) No improvements on the Lands identified in the Conservation Plan as having *heritage value* or *heritage character* shall be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
 - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the Donald Luxton and Associates Inc Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan and the Donald Luxton and Associates Inc Plan.
 - (c) All improvements identified in the Conservation Plan as having *heritage value* and *heritage character* shall be maintained to the minimum standards as set out in the Heritage Property Standards of Maintenance Bylaw, 2017, No. 18931, and in accordance with the guidelines and requirements set out in the Conservation Plan and Donald Luxton and Associates Inc Plan.
 - (d) In the event the House is damaged during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the House to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the House shall reflect the character-defining elements and design components including, but not limited to: location on 177B Street; form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan; wood-frame construction, with original cedar shingle cladding beneath later stucco; vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps; original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah; original wood doors; and interior masonry red brick chimney; all as subject to approval by the City Architect or designate.

- (e) In the event the House is destroyed during its relocation or otherwise, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the House. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the House. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the House shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.
- (f) In the event that the House is destroyed during its relocation or otherwise, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$18,667.01 indexed to the Vancouver Consumer Price Index (CPI) with 2020 being the base year, except that if the House is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) Should the House become vacant and unoccupied, the Owner of the Lands agrees to maintain the integrity and security of the House and Lands including, but not limited to, on-site security, monitored security alarm system, perimeter fencing and lighting, and boarding of windows and doors. The Owner of the Lands must provide to the City in writing a 24-hour emergency contact number and confirm the security measures are in place. If the Owner fails to secure the House, the City may and is authorized to enter onto the Lands to undertake the necessary works to secure the House, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands and to conduct inspections to determine that the security measures continue to be in place.
- (h) Should the House become vacant and unoccupied during construction or other redevelopment of the Lands, the Owner agrees to post a sign that reads as follows:

PROTECTED HERITAGE SITE

No Vandalism or Removal of Materials

(Maximum individual penalty: \$50,000 and 2 years Imprisonment)

If the Owner fails to post the required sign, the City may and is authorized to post the sign, and the cost shall be at the expense of the Owner and the City shall be at liberty to recover the costs in a like manner as City property taxes on the Lands.

- (i) Once the House is occupied, there must be appropriate security measures in place to maintain the integrity and security of the House and Lands. Should the House become vacant and unoccupied for a period of 30 days or more, the requirements in 2(g) apply, including the right of the City to enter onto the Lands to carry out the necessary works at the expense of the Owner and confirm that security measures are in place, unless otherwise agreed to in writing by the City. The Owner of the Lands must also provide to the City in writing a 24-hour emergency contact number.
- (j) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the Donald Luxton and Associates Inc Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the Donald Luxton and Associates Inc Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters improvements on, or features of the Lands identified in the Conservation Plan and the Donald Luxton and Associates Inc Plan as having *heritage value* and *heritage character* or constructs or maintains other works to protect or conserve such improvements or features, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the Donald Luxton and Associates Inc Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

No Liability to City

- 5. In no case shall the City be liable or responsible in any way for:
 - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
 - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully relocate, restore, rehabilitate, replace, repair or maintain the building, structure, improvements on or features of the Lands having *heritage value* and *heritage character* to be protected, conserved, preserved or kept in its natural state. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the Donald Luxton and Associates Inc Plan, and Sections 2 and 4 of this Agreement.

No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive by-law enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including by-laws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk
CITY OF SURREY
13450 - 104 Avenue
Surrey, British Columbia V3T 1V8

If to the Owner of the Permanent Location:

1161629 B.C. LTD., INC.NO. BC1161629
7581 6th Street
Burnaby, British Columbia V3N 3M4

If to the Owner of the Temporary Location:

0917723 B.C. LTD., INC.NO. 0917723
13615 60th Avenue
Surrey, British Columbia V3X 3L1

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the Donald Luxton and Associates Inc Plan and any determination pursuant to Section 1(a) of this Agreement, may require that the matter be decided and determined by binding arbitration as follows:

- (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;
- (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;

- (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
 - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;
 - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
 - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
 - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

1161629 B.C. LTD., INC.NO. BC1161629
by its authorized signatories

Jagminder Paul Kaur Dhesi

Amandeep Dhillon

Charnjeev Makkar

0917723 B.C. LTD., INC.NO. 0917723
by its authorized signatories

Jagminder Paul Kaur Dhesi

CITY OF SURREY

Doug McCallum
Mayor

Jennifer Ficocelli
City Clerk

Appendix "A"

CONSERVATION PLAN

PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

1. Description of Historic Place

The Main Residence is a one and one-half storey wood-frame house located along 177B Street in the Cloverdale neighbourhood of Surrey. Located on a large lot, the house is characterized by its gabled roof, wooden knee brackets, and full-width enclosed porch with hip roof.

2. Heritage Value of Historic Place

Constructed in 1924, the Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

Cloverdale originally developed along the tracks of the New Westminster Southern Railway (NWSR), which opened in 1891. With the completion of the Victoria Terminal Railway in 1903, the Vancouver, Victoria and Eastern Railway in 1907, and the BC Electric Railway in 1910, development in Cloverdale quickened. The area became an important railway hub, and developed as a thriving commercial core, which was bolstered in 1912 when Surrey's new Municipal Hall was built in the area, establishing it as the District's administrative centre. In 1923 the Pacific Highway was graded and cemented from the International Border to Old Yale Road, thereby encouraging additional development in Cloverdale as the highway became a major road transportation service route. A number of the town's more prominent citizens relocated to this area, drawn to its semi-rural estate character. This house was originally located on a 7-hectare parcel, which operated as a dairy farm, though it was decreased in size over the years as a portion was sold to the Surrey School Board and other portions were subdivided and sold for development. The Main Residence is valued as part of a trend of semi-rural homes, built during the 1920s and 1930s in Cloverdale.

The Main Residence is additionally valued for its association with the Main family. In 1920, this property was granted to war veteran, John J. Main as part of the post-World War One Canadian Government's Soldiers Settlement Scheme. Originally from England, Main arrived in Surrey in 1919 and, like many early Surrey residents, became involved in agricultural pursuits. The family operated a dairy farm from this property and eventually constructed their family home here in 1924. Main and his wife, Edith, were active Cloverdale residents, delivering milk from their farm to the local community via horseback. Prior to its renaming, 177B Street was known as Main(e) Street, named so after the Main family. John and Edith remained in the house until their deaths in 1972 and 1966, respectively. The Main Residence remains a tangible representation of the Main family's contribution and connection to the Cloverdale community.

The Main Residence is significant for its vernacular architecture with Craftsman influences. The house is a modest and restrained example of this architectural style, which was the most popular housing style during the early twentieth century and the interwar period, in particular. The Craftsman style was typified by rational space planning, the use of natural materials and a mix of traditional design elements inspired by the Arts and Crafts movement in England. The Main Residence is prominent along 177B Street and exists as one of only two remaining early homes in the immediate vicinity.

3. **Character Defining Elements**

Key elements that define the heritage character of the Main Residence include its:

- location on 177B Street;
- form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan;
- wood-frame construction, with original cedar shingle cladding beneath later stucco;
- vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps;
- original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah;
- original wood doors; and
- interior masonry red brick chimney.

PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

1. **General**

A. Requirement to Commence Renovations

The restoration of the House, including works that are consistent with Part III – Restoration Standards and Specifications, must commence within 60 days following the relocation of the House to the Permanent Location.

B. Maintenance Strategy

The strategy to ensure ongoing conservation of the House shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather, and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and the Heritage Advisory Commission within one (1) year of the adoption of a by-law authorizing the City to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the House shall include, but is not limited to, the following:

- (a) A description and a time schedule for the relocation, renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;
- (d) A colour scheme for the exterior of the House;
- (e) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (f) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

C. Amending an Established Maintenance Strategy

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

2. Standards

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the House.

3. **Timing and Phasing**

With respect to the phasing or timing of commencement or completion of action applying to the Lands, restoration of the House shall be completed and a final occupancy permit or equivalent for the House shall be issued within one year of the adoption of a by-law to enter into this Agreement.

4. **Heritage Alteration Permit(s) Approval**

A. Changes to the building, structure, exterior appearance of the House, features on the Lands identified in the Conservation Plan, the Donald Luxton and Associates Inc Plan or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:

- (a) changes to the Conservation Plan or the Donald Luxton and Associates Inc Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the House;
- (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
- (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the House.

C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:

- (a) changes to the House structure;
- (b) changes to the exterior appearance of the House;
- (c) replacement of existing elements and/or construction of additions to the House;
- (d) changes to the external appearance of the House due to interior renovations;
- (e) the temporary relocation of the House from the Permanent Location to the Temporary Location; and
- (f) the relocation of the House from the Temporary Location to the Permanent Location.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

5. Building Permit Approval

Construction, alterations, relocation or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, the Donald Luxton and Associates Inc Plan, and with heritage alteration permits sanctioning construction, alterations, relocation or other actions.

As the House is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

6. Conditions

- A. The works specified in Part III and attachments to this Conservation Plan and the Donald Luxton and Associates Inc Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan and the Donald Luxton and Associates Inc Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

PART III – RESTORATION STANDARDS AND SPECIFICATIONS

1. Site:

See Section 5.1 " Site " of the Donald Luxton and Associates Inc Plan.

2. Overall Form, Scale and Massing:

See Section 5.2 "Overall Form, Scale and Massing " of the Donald Luxton and Associates Inc Plan.

3. Exterior Wood-Frame Walls:

See Section 5.3 "Exterior Wood-Frame Walls" of the Donald Luxton and Associates Inc Plan.

4. Front Verandah:

See Section 5.4 " Front Verandah " of the Donald Luxton and Associates Inc Plan.

5. Fenestration:

See Section 5.5 "Fenestration" of the Donald Luxton and Associates Inc Plan.

6. Roof:

See Section 5.6 "Roof" of the Donald Luxton and Associates Inc Plan.

7. Exterior Colour Schedule:

See Section 5.7 "Exterior Colour Schedule" of the Donald Luxton and Associates Inc Plan.

The exterior paint colour shall be subject to the prior written approval of the City. If the colour of the House is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the House or heritage colours appropriate for the period of the House.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

8. Interior:

See Section 5.8 "New Electrical Service" of the Donald Luxton and Associates Inc Plan.

9. Accessory Buildings and Structures:

No placement of accessory buildings or structures shall be permitted within 3 metres of the House without first obtaining a heritage alteration permit.

10. Trees and Landscaping:

All trees on the lot are subject to the provisions of the Surrey Tree Protection Bylaw, 2006, No. 16100 (the "Tree Bylaw") and considered to be "Protected Trees" under the Tree Bylaw.

11. Plans and Elevations:

The plans and elevations attached as Appendix "A-1" and the Donald Luxton and Associates Inc Plan attached as Appendix "B" form part of this Heritage Conservation Plan.

These attachments depict the above described and additional details regarding the standards and specifications for restoration, rehabilitation, replication, repair, replacement, maintenance, and relocation to be undertaken and completed pursuant to this Conservation Plan.

12. Relocation:

The relocation plan attached as Appendix "A-2" forms part of this Heritage Conservation Plan. Both the temporary relocation of the House from the Permanent Location to the Temporary Location and the relocation of the House from the Temporary Location to the Permanent Location must conform with the relocation plan and any applicable permits.

13. Other:

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City.

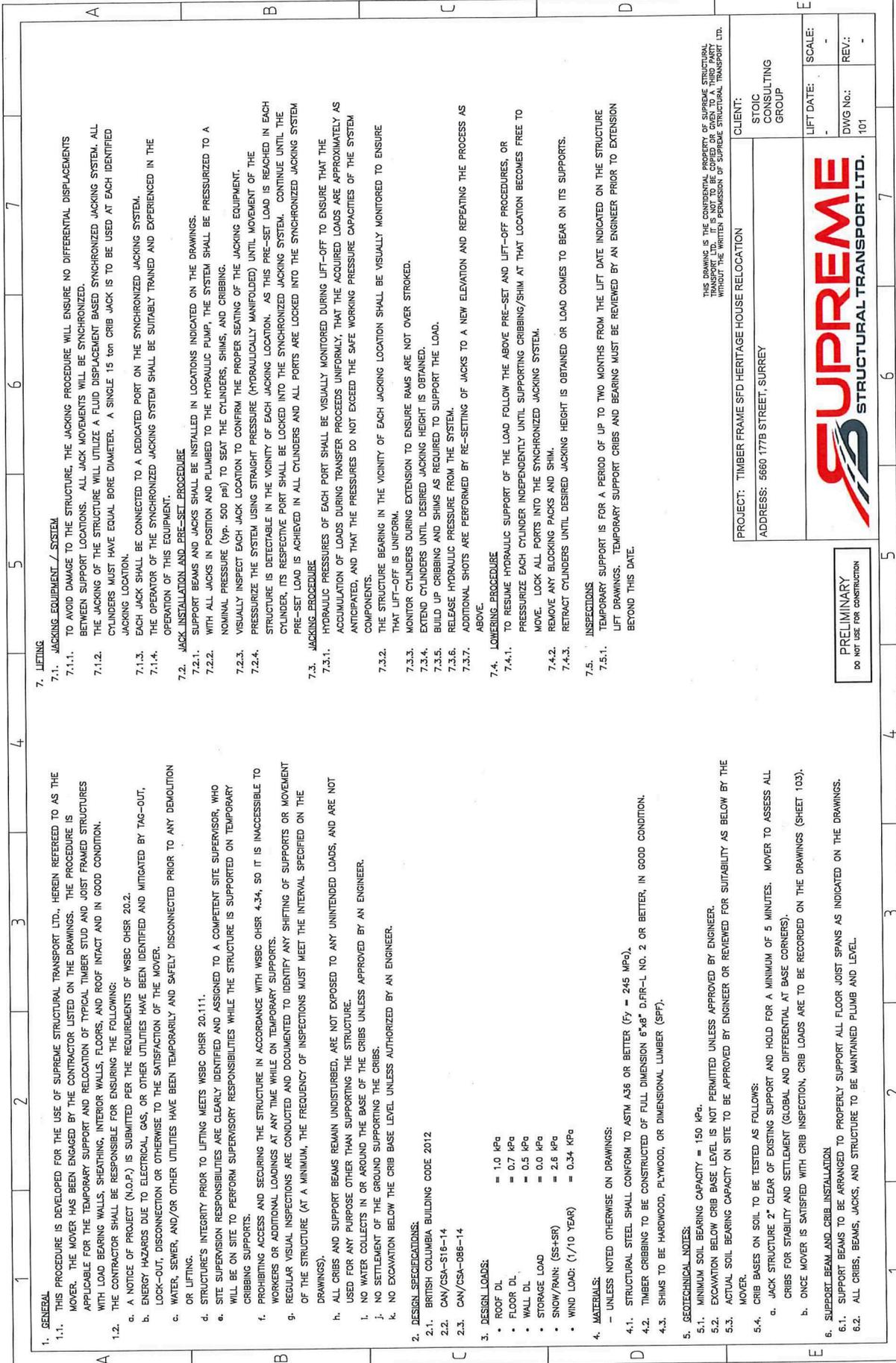
Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning By-law, 1993, No. 12000, as amended, and shall take their meaning from the By-law.)

Appendix "A-1"

PLANS AND ELEVATIONS

(Attachment beginning on the next page)



1. GENERAL

1.1. THIS PROCEDURE IS DEVELOPED FOR THE USE OF SUPREME STRUCTURAL TRANSPORT LTD., HEREIN REFERRED TO AS THE MOVER. THE MOVER HAS BEEN ENGAGED BY THE CONTRACTOR LISTED ON THE DRAWINGS. THE PROCEDURE IS APPLICABLE FOR THE TEMPORARY SUPPORT AND RELOCATION OF TYPICAL TIMBER STUD AND JOIST FRAMED STRUCTURES WITH LOAD BEARING WALLS, SHEATHING, INTERIOR WALLS, FLOORS, AND ROOF INTACT AND IN GOOD CONDITION.

2. DESIGN LOADS:

- ROOF DL = 1.0 kPa
- FLOOR DL = 0.7 kPa
- WALL DL = 0.5 kPa
- STORAGE LOAD = 0.0 kPa
- SNOW/PAN: (SS+SR) = 2.6 kPa
- WIND LOAD: (1/10 YEAR) = 0.34 kPa

3. MATERIALS:

- UNLESS NOTED OTHERWISE ON DRAWINGS:
- 4.1. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR BETTER ($F_y = 245 \text{ MPa}$).
- 4.2. TIMBER CRIBBING TO BE CONSTRUCTED OF FULL DIMENSION 6"x8" D-FIR-L NO. 2 OR BETTER, IN GOOD CONDITION.
- 4.3. SHIMS TO BE HARDWOOD, PLYWOOD, OR DIMENSIONAL LUMBER (SPF).

5. GEOTECHNICAL NOTES:

- 5.1. MINIMUM SOIL BEARING CAPACITY = 150 kPa.
- 5.2. EXCAVATION BELOW CRIB BASE LEVEL IS NOT PERMITTED UNLESS APPROVED BY ENGINEER.
- 5.3. ACTUAL SOIL BEARING CAPACITY ON SITE TO BE APPROVED BY ENGINEER OR REVIEWED FOR SUITABILITY AS BELOW BY THE MOVER.
- 5.4. CRIB BASES ON SOIL TO BE TESTED AS FOLLOWS:
 - a. JACK STRUCTURE 2' CLEAR OF EXISTING SUPPORT AND HOLD FOR A MINIMUM OF 5 MINUTES. MOVER TO ASSESS ALL CRIBS FOR STABILITY AND SETTLEMENT (GLOBAL AND DIFFERENTIAL AT BASE CORNERS).
 - b. ONCE MOVER IS SATISFIED WITH CRIB INSPECTION, CRIB LOADS ARE TO BE RECORDED ON THE DRAWINGS (SHEET 103).

6. SUPPORT BEAM AND CRIB INSTALLATION

- 6.1. SUPPORT BEAMS TO BE ARRANGED TO PROPERLY SUPPORT ALL FLOOR JOIST SPANS AS INDICATED ON THE DRAWINGS.
- 6.2. ALL CRIBS, BEAMS, JACKS, AND STRUCTURE TO BE MAINTAINED PLUMB AND LEVEL.

7. LIFTING

- 7.1. JACKING EQUIPMENT / SYSTEM
 - 7.1.1. TO AVOID DAMAGE TO THE STRUCTURE, THE JACKING PROCEDURE WILL ENSURE NO DIFFERENTIAL DISPLACEMENTS BETWEEN SUPPORT LOCATIONS. ALL JACK MOVEMENTS WILL BE SYNCHRONIZED.
 - 7.1.2. THE JACKING OF THE STRUCTURE WILL UTILIZE A FLUID DISPLACEMENT BASED SYNCHRONIZED JACKING SYSTEM. ALL CYLINDERS MUST HAVE EQUAL BORE DIAMETER. A SINGLE 15 ton CRIB JACK IS TO BE USED AT EACH IDENTIFIED JACKING LOCATION.
 - 7.1.3. EACH JACK SHALL BE CONNECTED TO A DEDICATED PORT ON THE SYNCHRONIZED JACKING SYSTEM.
 - 7.1.4. THE OPERATOR OF THE SYNCHRONIZED JACKING SYSTEM SHALL BE SUITABLY TRAINED AND EXPERIENCED IN THE OPERATION OF THIS EQUIPMENT.
- 7.2. JACK INSTALLATION AND PRE-SET PROCEDURE
 - 7.2.1. SUPPORT BEAMS AND JACKS SHALL BE INSTALLED IN LOCATIONS INDICATED ON THE DRAWINGS.
 - 7.2.2. WITH ALL JACKS IN POSITION AND PLUMBED TO THE HYDRAULIC PUMP, THE SYSTEM SHALL BE PRESSURIZED TO A NOMINAL PRESSURE (Typ. 500 psi) TO SEAT THE CYLINDERS, SHIMS, AND CRIBBING.
 - 7.2.3. VISUALLY INSPECT EACH JACK LOCATION TO CONFIRM THE PROPER SEATING OF THE JACKING EQUIPMENT.
 - 7.2.4. PRESSURIZE THE SYSTEM USING STRAIGHT PRESSURE (HYDRAULICALLY MANIFOLDED) UNTIL MOVEMENT OF THE STRUCTURE IS DETECTABLE IN THE VICINITY OF EACH JACKING LOCATION. AS THIS PRE-SET LOAD IS REACHED IN EACH CYLINDER, ITS RESPECTIVE PORT SHALL BE LOCKED INTO THE SYNCHRONIZED JACKING SYSTEM. CONTINUE UNTIL THE PRE-SET LOAD IS ACHIEVED IN ALL CYLINDERS AND ALL PORTS ARE LOCKED INTO THE SYNCHRONIZED JACKING SYSTEM.
- 7.3. JACKING PROCEDURE
 - 7.3.1. HYDRAULIC PRESSURES OF EACH PORT SHALL BE VISUALLY MONITORED DURING LIFT-OFF TO ENSURE THAT THE ACCUMULATION OF LOADS DURING TRANSFER PROCEEDS UNIFORMLY, THAT THE ACQUIRED LOADS ARE APPROXIMATELY AS ANTICIPATED, AND THAT THE PRESSURES DO NOT EXCEED THE SAFE WORKING PRESSURE CAPACITIES OF THE SYSTEM COMPONENTS.
 - 7.3.2. THE STRUCTURE BEARING IN THE VICINITY OF EACH JACKING LOCATION SHALL BE VISUALLY MONITORED TO ENSURE THAT LIFT-OFF IS UNIFORM.
 - 7.3.3. MONITOR CYLINDERS DURING EXTENSION TO ENSURE RAMS ARE NOT OVER STROKED.
 - 7.3.4. EXTEND CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED.
 - 7.3.5. BUILD UP CRIBBING AND SHIMS AS REQUIRED TO SUPPORT THE LOAD.
 - 7.3.6. RELEASE HYDRAULIC PRESSURE FROM THE SYSTEM.
 - 7.3.7. ADDITIONAL SHOTS ARE PERFORMED BY RE-SETTING OF JACKS TO A NEW ELEVATION AND REPEATING THE PROCESS AS ABOVE.
- 7.4. LOWERING PROCEDURE
 - 7.4.1. TO RESUME HYDRAULIC SUPPORT OF THE LOAD FOLLOW THE ABOVE PRE-SET AND LIFT-OFF PROCEDURES, OR PRESSURIZE EACH CYLINDER INDEPENDENTLY UNTIL SUPPORTING CRIBBING/SHIM AT THAT LOCATION BECOMES FREE TO MOVE. LOCK ALL PORTS INTO THE SYNCHRONIZED JACKING SYSTEM.
 - 7.4.2. REMOVE ANY BLOCKING PACKS AND SHIM.
 - 7.4.3. RETRACT CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED OR LOAD COMES TO BEAR ON ITS SUPPORTS.
- 7.5. INSPECTIONS
 - 7.5.1. TEMPORARY SUPPORT IS FOR A PERIOD OF UP TO TWO MONTHS FROM THE LIFT DATE INDICATED ON THE STRUCTURE LIFT DRAWINGS. TEMPORARY SUPPORT CRIBS AND BEARING MUST BE REVIEWED BY AN ENGINEER PRIOR TO EXTENSION BEYOND THIS DATE.

7. JACKING PROCEDURE

- 7.3.1. HYDRAULIC PRESSURES OF EACH PORT SHALL BE VISUALLY MONITORED DURING LIFT-OFF TO ENSURE THAT THE ACCUMULATION OF LOADS DURING TRANSFER PROCEEDS UNIFORMLY, THAT THE ACQUIRED LOADS ARE APPROXIMATELY AS ANTICIPATED, AND THAT THE PRESSURES DO NOT EXCEED THE SAFE WORKING PRESSURE CAPACITIES OF THE SYSTEM COMPONENTS.
- 7.3.2. THE STRUCTURE BEARING IN THE VICINITY OF EACH JACKING LOCATION SHALL BE VISUALLY MONITORED TO ENSURE THAT LIFT-OFF IS UNIFORM.
- 7.3.3. MONITOR CYLINDERS DURING EXTENSION TO ENSURE RAMS ARE NOT OVER STROKED.
- 7.3.4. EXTEND CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED.
- 7.3.5. BUILD UP CRIBBING AND SHIMS AS REQUIRED TO SUPPORT THE LOAD.
- 7.3.6. RELEASE HYDRAULIC PRESSURE FROM THE SYSTEM.
- 7.3.7. ADDITIONAL SHOTS ARE PERFORMED BY RE-SETTING OF JACKS TO A NEW ELEVATION AND REPEATING THE PROCESS AS ABOVE.

7.4. LOWERING PROCEDURE

- 7.4.1. TO RESUME HYDRAULIC SUPPORT OF THE LOAD FOLLOW THE ABOVE PRE-SET AND LIFT-OFF PROCEDURES, OR PRESSURIZE EACH CYLINDER INDEPENDENTLY UNTIL SUPPORTING CRIBBING/SHIM AT THAT LOCATION BECOMES FREE TO MOVE. LOCK ALL PORTS INTO THE SYNCHRONIZED JACKING SYSTEM.
- 7.4.2. REMOVE ANY BLOCKING PACKS AND SHIM.
- 7.4.3. RETRACT CYLINDERS UNTIL DESIRED JACKING HEIGHT IS OBTAINED OR LOAD COMES TO BEAR ON ITS SUPPORTS.

7.5. INSPECTIONS

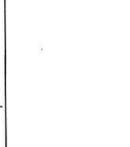
- 7.5.1. TEMPORARY SUPPORT IS FOR A PERIOD OF UP TO TWO MONTHS FROM THE LIFT DATE INDICATED ON THE STRUCTURE LIFT DRAWINGS. TEMPORARY SUPPORT CRIBS AND BEARING MUST BE REVIEWED BY AN ENGINEER PRIOR TO EXTENSION BEYOND THIS DATE.

CLIENT:

STOIC CONSULTING GROUP

PROJECT: TIMBER FRAME SFD HERITAGE HOUSE RELOCATION

ADDRESS: 5680 177B STREET, SURREY

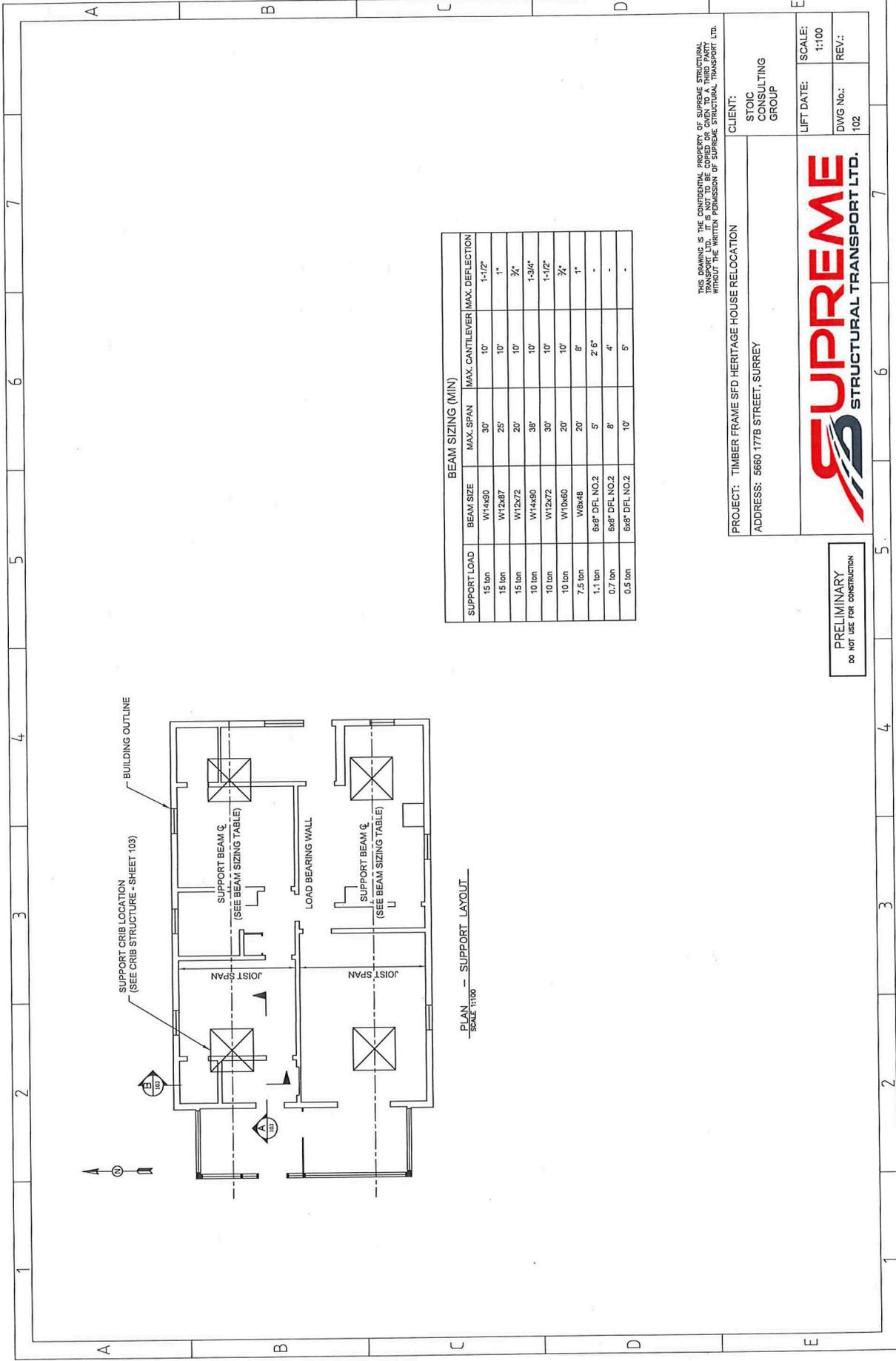


LIFT DATE: -
SCALE: -

DWG No.: 101
REV.: -

PRELIMINARY
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PLAN - SUPPORT LAYOUT
SCALE 1:100

SUPPORT LOAD	BEAM SIZE	MAX. SPAN	MAX. CANTILEVER	MAX. DEFLECTION
15 ton	W14x90	30'	10'	1-1/2"
15 ton	W12x87	25'	10'	1"
15 ton	W12x72	20'	10'	3/4"
10 ton	W14x90	38'	10'	1-3/4"
10 ton	W12x72	30'	10'	1-1/2"
10 ton	W10x60	20'	10'	3/4"
7.5 ton	WBx48	20'	8'	1"
1.1 ton	6x8' DFL NO.2	5'	2' 6"	-
0.7 ton	6x8' DFL NO.2	8'	4'	-
0.5 ton	6x8' DFL NO.2	10'	5'	-

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PROJECT: TIMBER FRAME SFD HERITAGE HOUSE RELOCATION
ADDRESS: 5660 177B STREET, SURREY

CLIENT:
STOIC CONSULTING GROUP

LIFT DATE:
SCALE: 1:100
DWG No.: 102
REV.:

PRELIMINARY
DO NOT USE FOR CONSTRUCTION



Appendix "B"

HERITAGE CONSERVATION PLAN

Main Residence – 5660 177B Street

Donald Luxton and Associates Inc Plan, December 2020

(The " Donald Luxton and Associates Inc Plan ")

(Attachment beginning on the next page)



MAIN RESIDENCE

5660 177B STREET, SURREY, BC

CONSERVATION PLAN

DECEMBER 2020

DONALD LUXTON
AND ASSOCIATES INC 

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1 INTRODUCTION

HISTORIC NAME: Main Residence
CIVIC ADDRESS: 5660 177B Street., Surrey, BC
ORIGINAL OWNERS: John James and Edith Main
DATE OF CONSTRUCTION: 1924

The Main Residence is located at 5660 177B Street in the Cloverdale neighbourhood of Surrey. The house was constructed in 1924 and remains largely intact retaining many original building materials that contribute to its heritage character and value. It is characterized by its gabled roof, wooden knee brackets, and full-width porch (later enclosed) with hipped-roof.

The Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

A Heritage Revitalization Agreement is being proposed for the site, and the redevelopment scheme is being prepared by Barnett Dembek Architects Incorporated. It includes the overall redevelopment of the site, and the conservation of the Main Residence.

The primary intent is to preserve the existing historic structure, and to restore any elements that are missing, deteriorated or heavily altered, based on surviving original materials and archival documentation. The secondary intent is to undertake a rehabilitation of the Main Residence that will upgrade its structure and services to increase its functionality by accommodating new multi-functional spaces, as well as the overall rehabilitation of the site with the construction of a new residential complex adjacent to the historic residence.

The major proposed interventions of the overall project to the heritage resource are to:

- preserve and repair in-kind surviving, original character-defining elements,
- restore missing, deteriorated, or heavily altered character-defining elements;
- relocation of the Main Residence within the site;
- rehabilitate the interior of the residence to accommodate multi-functional amenity spaces; and,
- rehabilitate the site by constructing a new residential complex.

This Conservation Plan is based on Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*. It outlines the best practices for conservation of historic places that will occur as part of the proposed development.

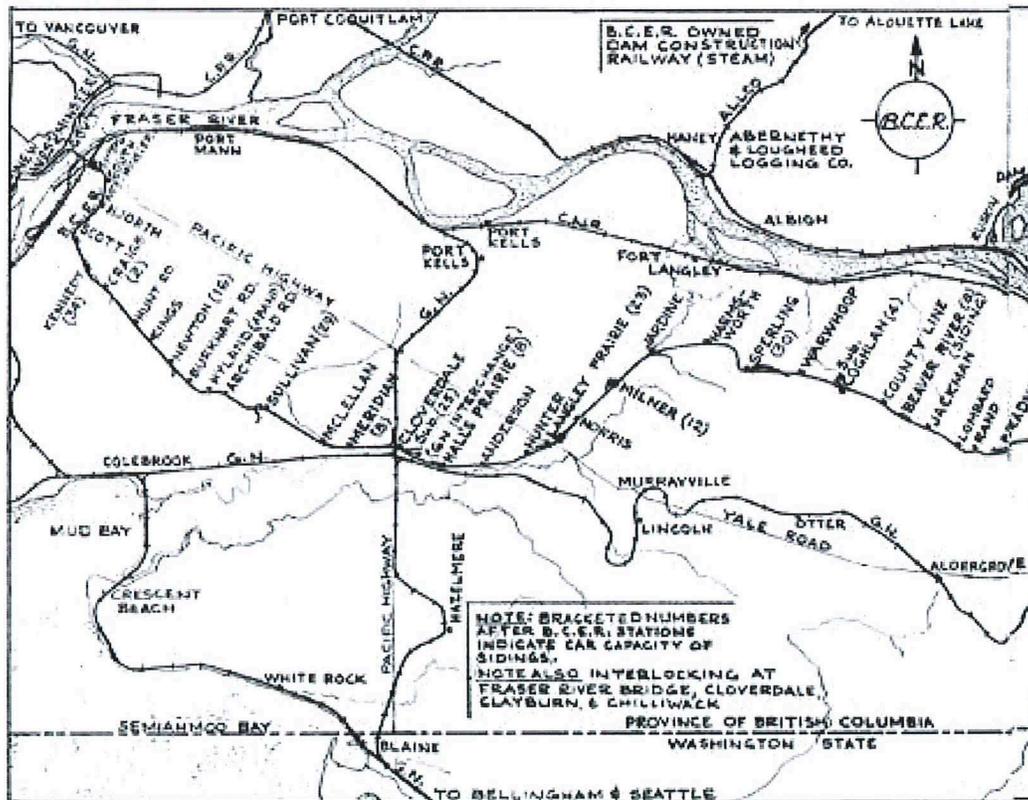
2 HISTORIC CONTEXT

European colonization of Surrey began in 1860 when James Kennedy pre-empted land near the Fraser River, opposite New Westminster. For the next two decades, settlement in Surrey, as well as throughout British Columbia was slow, with the area's geography providing significant challenges to would-be settlers. Early communities congregated close to water routes, which were essential for transport. Among the first European settlers to Cloverdale were brothers William and Thomas Shannon who, in 1875, purchased 960 acres of land from the government. William Shannon (1843-1928) was inspired to name the area after the clover that grew in abundance in this rich agricultural region.

William Shannon subsequently sold his farm in Clover Valley and went into the real estate business in Vancouver. The large land holdings of

his younger brother Joseph, who had arrived in the area one year prior, were also sold to the incoming settlers of Clover Valley. Joseph retained the section on the east side of Clover Valley Road, which is now known as Pacific Highway. He became one of the great benefactors in the development of the new settlement and donated land to a number of developments and organizations.

Cloverdale was the City of Surrey's first Town Centre. It was officially established in 1879 near Five Corners, which is the historic intersection of 60 Avenue and Old McClellan Road. The commercial core of Cloverdale evolved into what now constitutes Cloverdale Town Centre. The advent of the railways played a significant role in the development of Cloverdale, and greatly influenced the settlement's layout. When the New Westminster-Southern Railway (a subsidiary of the Great Northern Railway



Railway lines travelling through the Fraser Valley

2 HISTORIC CONTEXT



Railway through Cloverdale; on the left side of track are Cloverdale Hotel & United Church, circa 1910 (Surrey Archives)



BC Electric Interurban at Cloverdale Station, circa 1910 (Surrey Archives)

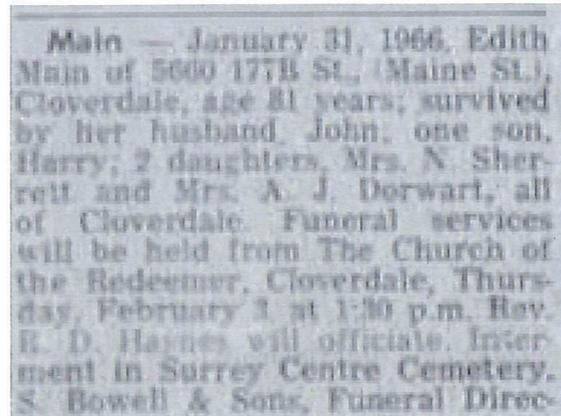
2 HISTORIC CONTEXT

(GNR)), linking Bellingham to New Westminster, was forged through the valley in 1891, a station was built near the present town centre and given the name "Cloverdale." Official opening of the line took place on February 14, 1891, with a public excursion from New Westminster to Fairhaven, which was attended by important local figures.

In 1903, the Victoria Terminal Railway and Ferry Company (VTRF), a subsidiary of the GNR, opened its railway line from Port Guichon to Cloverdale where it connected with the New Westminster and Southern. The VTRF line was purchased by the Vancouver, Victoria and Eastern Railway and Navigation Company (VVER) in 1907. The BC Electric Interurban (BCER) connected Vancouver and the Fraser Valley when completed in 1911. With three intersecting railways running through it, Cloverdale developed as a north-south community along the railway, and blossomed as a transportation hub. It quickly emerged as the administrative, transportation and education centre of the Surrey area. In addition, Cloverdale was situated on prime agricultural land, and its proximity to trains allowed produce to be shipped around the lower mainland and to the United States quickly and efficiently.

Cloverdale experienced a boom in 1910-1911, and many of the historic buildings in the downtown core date from this period. In 1912, a new Municipal Hall was built, and this helped establish Cloverdale as the regional centre of the District. Two sawmills, both operated by the Hadden family, operated in Cloverdale while timber supplies lasted. In 1912, Surrey High School was established in one room of the Cloverdale Public School. Students attending Surrey High School from surrounding areas such as Newton and Sullivan could ride the BCER to get to Cloverdale.

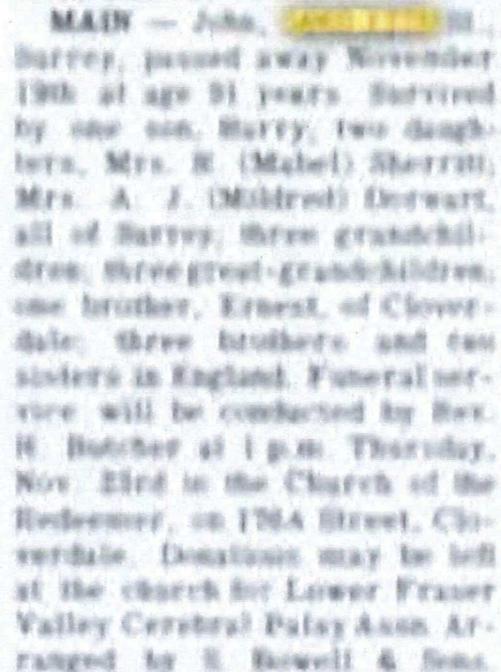
Cloverdale was also home to the Municipal Policeman, the Municipal Jail, the Starr Hotel, Hotel Columbia, a local creamery, an opera house, and a number of churches. The number of hotels reinforced Cloverdale's importance as a transport hub. The coming of the automobile heralded the decline of the railways. However, Cloverdale continued to grow and develop, and quickly adapted and



Main — January 31, 1966. Edith Main of 5600 177B St., (Maine St.), Cloverdale, age 81 years; survived by her husband, John, one son, Harry; 2 daughters, Mrs. N. Sherritt and Mrs. A. J. Dorwart, all of Cloverdale. Funeral services will be held from The Church of the Redeemer, Cloverdale, Thursday, February 3 at 1:30 p.m. Rev. R. D. Haynes will officiate. Interment in Surrey Centre Cemetery. S. Bowell & Sons, Funeral Direc-

Edith Main obituary, February 3, 1966 (Surrey Leader)

1 Deaths



MAIN — John, [REDACTED] Surrey, passed away November 23rd at age 81 years. Survived by one son, Harry, two daughters, Mrs. B. (Mabel) Sherritt, Mrs. A. J. (Mildred) Dorwart, all of Surrey, three grandchildren, three great-grandchildren, one brother, Ernest, of Cloverdale; three brothers and two sisters in England. Funeral service will be conducted by Rev. H. Butcher at 1 p.m. Thursday, Nov. 23rd in the Church of the Redeemer, on 178A Street, Cloverdale. Donations may be left at the church for Lower Fraser Valley Central Palmy Assn. Arranged by S. Bowell & Sons.

John James Main obituary, November 23, 1972 (Surrey Leader)

2 HISTORIC CONTEXT

refocused its resources to the emerging automobile culture. Between 1912 and 1913, the former Clover Valley Road was improved and opened south to the border at Blaine, Washington. This gravel road was formally opened on July 12, 1913, and later renamed Pacific Highway (176 Street) and, in 1923 the road was paved from the U.S. border to Old Yale Road. At this time, this highway was the only paved route in this part of the Fraser Valley from the international border to Vancouver; one year later the Main Residence was constructed on property owned by John and Edith Main, who obtained their land as part of the post-First World War Soldiers

Settlement Scheme. The Mains operated a dairy farm along 177B Street, which was originally named after the family. The farm, along with the remainder of Cloverdale, thrived due to its ascendant status as a service centre on the Pacific Highway.

With the completion of the Pattullo Bridge in 1937 and the King George Highway in 1940, access to the district was further improved. The area's enhanced accessibility, coupled with a shortage of wartime housing in Vancouver and New Westminster, encouraged many families of servicemen to relocate to Cloverdale, where housing was affordable.



Map of Vicinity of Cloverdale Showing Proposed Lighting System, circa 1920; annotation on verso suggests lights were partially installed prior to 1930

2 HISTORIC CONTEXT



Cloverdale, 1967, Main Residence noted by arrow (British Columbia Archives I-21263)

2 HISTORIC CONTEXT



Main Residence, circa 1985 (SMA 2017.0043.915)

2 HISTORIC CONTEXT



Main Residence, circa 1985 (SMA 2017.0043.916)



Main Residence, 1986 (SMA 2017.0043.917)

3 STATEMENT OF SIGNIFICANCE

Address: 5660 177B Street, Surrey, British Columbia
Historic Name: Main Residence
Original Owner: John James and Edith Main
Date of Construction: 1924

Description of the Historic Place

The Main Residence is a one and one-half storey wood-frame house located along 177B Street in the Cloverdale neighbourhood of Surrey. Located on a large lot, the house is characterized by its gabled roof, wooden knee brackets, and full-width enclosed porch with hip roof.

Heritage Value of the Historic Place

Constructed in 1924, the Main Residence is significant for its association with the interwar agricultural development of Cloverdale and for its connection to original owner and well-known

Surrey resident, John J. Main. The house is also valued for its Craftsman influenced vernacular architecture, representative of its type.

Cloverdale originally developed along the tracks of the New Westminster Southern Railway (NWSR), which opened in 1891. With the completion of the Victoria Terminal Railway in 1903, the Vancouver, Victoria and Eastern Railway in 1907, and the BC Electric Railway in 1910, development in Cloverdale quickened. The area became an important railway hub, and developed as a thriving commercial core, which was bolstered in 1912 when Surrey's new Municipal Hall was built in the area, establishing it as the District's administrative centre. In 1923 the Pacific Highway was graded and cemented from the International Border to Old Yale Road, thereby encouraging additional development in



Main Residence, 2020

3 STATEMENT OF SIGNIFICANCE

Cloverdale as the highway became a major road transportation service route. A number of the town's more prominent citizens relocated to this area, drawn to its semi-rural estate character. This house was originally located on a 7-hectare parcel, which operated as a dairy farm, though it was decreased in size over the years as a portion was sold to the Surrey School Board and other portions were subdivided and sold for development. The Main Residence is valued as part of a trend of semi-rural homes, built during the 1920s and 1930s in Cloverdale.

The Main Residence is additionally valued for its association with the Main family. In 1920, this property was granted to war veteran, John J. Main as part of the post-World War One Canadian Government's Soldiers Settlement Scheme. Originally from England, Main arrived in Surrey in 1919 and, like many early Surrey residents, became involved in agricultural pursuits. The family operated a dairy farm from this property and eventually constructed their family home here in 1924. Main and his wife, Edith, were active Cloverdale residents, delivering milk from their farm to the local community via horseback. Prior to its renaming, 177B Street was known as Main(e) Street, named so after the Main family. John and Edith remained in the house until their deaths in 1972 and 1966, respectively. The Main Residence remains a tangible representation of the Main family's contribution and connection to the Cloverdale community.

The Main Residence is significant for its vernacular architecture with Craftsman influences. The house is a modest and restrained example of this architectural style, which was the most popular housing style during the early twentieth century and the interwar period, in particular. The Craftsman style was typified by rational space planning, the use of natural materials and a mix of traditional design elements inspired by the Arts and Crafts movement

in England. The Main Residence is prominent along 177B Street and exists as one of only two remaining early homes in the immediate vicinity.

Character-Defining Elements

Elements that define the heritage character of the Main Residence are its:

- location on 177B Street;
- form, scale and massing as expressed by its one and one-half storey height and simple, shed-roof dormer, and regular rectangular plan;
- wood-frame construction, with original cedar shingle cladding beneath later stucco;
- vernacular Craftsman inspired details such as the front gabled roof with triangular wooden brackets, exposed raftertails, pointed bargeboards, main floor set significantly above grade, accessed by a flight of steps;
- original window placement, and original wood window assemblies, including multi-wood frame light casement units at the basement level, double-hung assemblies on the main elevation, and large multi-light assemblies inside the enclosed verandah;
- original wood doors; and
- interior masonry red brick chimney.

4 CONSERVATION GUIDELINES

4.1 STANDARDS AND GUIDELINES

The Main Residence is a significant historical resource in the City of Surrey. Parks Canada's *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the overall approach for the Main Residence is rehabilitation, with aspects of preservation and restoration.

Preservation: *the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.*

Restoration: *the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.*

Rehabilitation: *the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.*

Interventions to the Main Residence should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice. The following **General Standards** should be followed when carrying out any work to an historic property.

STANDARDS

Standards relating to all Conservation Projects

1. Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve changes to a historic place, which over time, have become character-defining elements in their own right.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
4. Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.
5. Find a use for a historic place that requires minimal or no change to its character defining elements.
6. Protect and, if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.

4 CONSERVATION GUIDELINES

Additional Standards relating to Rehabilitation

10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. Conserve the heritage value and character-defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.

Additional Standards relating to Restoration

13. Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

4.2 CONSERVATION REFERENCES

The proposed work entails the conservation of the Main Residence and its relocation to a new position on the extant property. The residence will be repurposed as an amenity space associated with the new residential complex to be constructed on the property.

The following conservation resources should be referred to:

Standards and Guidelines for the Conservation of Historic Places in Canada, Parks Canada, 2010.
<http://www.historicplaces.ca/en/pages/standards-normes/document.aspx>

National Park Service, Technical Preservation Services. Preservation Briefs:

- *Preservation Brief 3: Improving Energy Efficiency in Historic Buildings.*
- *Preservation Brief 4: Roofing for Historic Buildings.*
- *Preservation Brief 9: The Repair of Historic Wooden Windows.*
- *Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.*
- *Preservation Brief 18: Rehabilitating Interiors in Historic Buildings – Identifying Character-Defining Elements.*
- *Preservation Brief 19: The Repair and Replacement of Historic Wood Shingle Roofs.*
- *Preservation Brief 28: Painting Historic Interiors.*
- *Preservation Brief 32: Making Historic Properties Accessible.*
- *Preservation Brief 37: Appropriate Methods of Reducing Lead-Paint Hazards in Historic Housing.*
- *Preservation Brief 41: The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.*
- *Preservation Brief 43: The Preparation and Use of Historic Structure Reports.*
- *Preservation Brief 47: Maintaining the Exterior of Small and Medium Size Historic Buildings.*

4 CONSERVATION GUIDELINES

4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve the existing historic structure, while undertaking a rehabilitation that will upgrade its structure and services to increase its functionality of its use. As part of the scope of work, character-defining elements will be preserved, while missing or deteriorated elements will be restored.

Proposed Redevelopment Scheme

A Heritage Revitalization Agreement for this property is being prepared by the City of Surrey. The major proposed interventions of the overall project to the heritage resource are to:

- preserve and repair in-kind surviving, original character-defining elements,
- restore missing, deteriorated, or heavily altered character-defining elements;
- relocation of the Main Residence within the site;
- rehabilitate the interior of the residence to accommodate multi-functional amenity spaces; and,
- rehabilitate the site by constructing a new residential complex.

Due to the proposed addition to the historic building, all new visible construction will be considered a modern addition to the historic structure. The *Standards & Guidelines* list recommendations for new additions to historic places. The proposed design scheme should follow these principles:

- Designing a new addition in a manner that draws a clear distinction between what is historic and what is new.
 - Design for the new work may be contemporary or may reference design motifs from the historic place. In either case, it should be compatible in terms of mass, materials, relationship of solids to voids, and colour, yet be distinguishable from the historic place.
 - The new additions should be physically and visually compatible with, subordinate to and distinguishable from the preserved historic façade.
- A relocation plan should be prepared prior to relocation that ensures that the least destructive method of relocation will be used.
 - Alterations to the historic structure to permit the relocation process should be evaluated in accordance with the Conservation Plan and reviewed by the Heritage Consultant. This can involve removal of later additions that are not enhancing the heritage value and historic appearance of the historic building.
 - Only an experienced and qualified contractor shall undertake the physical relocation of the historic structure.
 - Preserve historic fabric of the exterior elevations, including, but not limited to: the wood-frame construction; wood window and door assemblies; surviving original wood cladding beneath later stucco; gabled roof structure and associated elements (brick chimney, gabled dormer, triangular wooden knee brackets, exposed rafter tails, pointed bargeboards).
 - The brick chimney and full-width front porch may be relocated with the main structure if

An addition should be subordinate to the historic place. This is best understood to mean that the addition must not detract from the historic place or impair its heritage value. Subordination is not a question of size; a small, ill-conceived addition could adversely affect an historic place more than a large, well-designed addition.

Additions or new construction should be visually compatible with, yet distinguishable from, the historic place. To accomplish this, an appropriate balance must be struck between mere imitation of the existing form and pointed contrast, thus complementing the historic place in a manner that respects its heritage value.

Relocation of Historic Building

The relocation of an historic building on an existing lot is the least intrusive relocation approach with regards to loss of historic context and invasive work to the structure. The following *Relocation Guidelines* should be implemented for the relocation of the Main Residence:

4 CONSERVATION GUIDELINES

possible. Alternatively, document the existing elements and salvage all original materials in good, repairable condition by carefully dismantling the structures prior to demolition and relocation. All salvaged original materials in good, repairable condition should be reinstated to match historic appearance, if unable to relocate with the historic building due to structural reasons.

- Appropriate foundation materials shall be used at the new site, which can include reinforced concrete foundations and floor slab. The final relative location to grade should match the original as closely as possible, taking into account applicable codes.
- Provide utility installations for electricity, communication and other service connections underground if possible. All installations located above ground should be incorporated harmoniously into the design concept for the relocated structure.

4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, *Building Resilience: Practical Guidelines for the Retrofit and Rehabilitation of Buildings in Canada* that is “intended to establish a common pan-Canadian ‘how-to’ approach for practitioners, professionals, building owners, and operators alike.”

The following is an excerpt from the introduction of the document:

[Building Resilience] is intended to serve as a “sustainable building toolkit”

*that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a useful set of best practices, the guidelines in **Building Resilience** can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.*

These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners, custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.

***Building Resilience** is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced consideration of heritage value and sustainable rehabilitation measures.*

***Building Resilience** can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the Standards and Guidelines for the Conservation of Historic Places in Canada.*

4 CONSERVATION GUIDELINES

4.5 ALTERNATE COMPLIANCE

The Main Residence may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following legislation.

4.5.1 BRITISH COLUMBIA BUILDING CODE

Building Code upgrading ensures life safety and long-term protection for historic resources. It is important to consider heritage buildings on a case-by-case basis, as the blanket application of Code requirements do not recognize the individual requirements and inherent strengths of each building. Over the past few years, a number of equivalencies have been developed and adopted in the British Columbia Building Code that enable more sensitive and appropriate heritage building upgrades. For example, the use of sprinklers in a heritage structure helps to satisfy fire separation and exiting requirements. Table A-1.1.1.1., found in Appendix A of the Code, outlines the "Alternative Compliance Methods for Heritage Buildings."

Given that Code compliance is such a significant factor in the conservation of heritage buildings, the most important consideration is to provide viable economic methods of achieving building upgrades. In addition to the equivalencies offered under the current Code, the City can also accept the report of a Building Code Engineer as to acceptable levels of code performance.

4.5.2 ENERGY EFFICIENCY ACT

The provincial *Energy Efficiency Act* (Energy Efficiency Standards Regulation) was amended in 2009 to exempt buildings protected through heritage designation or listed on a community heritage register from compliance with the regulations. Energy Efficiency standards therefore do not apply to windows, glazing products, door slabs or products installed in heritage buildings. This means that exemptions can be allowed to energy upgrading measures that would destroy heritage character-defining elements such as original windows and doors.

These provisions do not preclude that heritage buildings must be made more energy efficient, but they do allow a more sensitive approach of alternate compliance to individual situations and a higher degree of retained integrity. Increased energy performance can be provided through non-intrusive methods of alternate compliance, such as improved insulation and mechanical systems. Please refer to the *Standards and Guidelines for the Conservation of Historic Places in Canada* for further detail about "Energy Efficiency Considerations."

4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the house is left vacant, it should be secured against intrusion and vandalism through the use of appropriate fencing and security measures. This is especially important if the building is missing windows or doors or is left elevated for any period of time. Security measure may include mothballing the historic property and/or hiring a security guard for the duration of the work.

Generally, once a heritage property is no longer undergoing rehabilitation work and is under occupancy of its owners, lockable doors and lower level windows and continued monitoring by the owners should be adequate protection. A comprehensive site protection plan should be developed in discussion between owner, contractor and/or architect. Plan may be reviewed by Heritage Consultant, is desired.

In the event that the house is damaged or destroyed, the owner will be required to pay the damages and may face additional fines. Section 21.2 under the Preservation Intervention category of the Heritage Conservation Act states "if the minister considers that property protected under section 13 (2) is subject to damage or deterioration and is being unreasonable neglected by the owner, the minister may order the owner, on terms and conditions and to specifications that the minister considers appropriate, to preserve the property at the expense of the owner or at the expense of the owner and the government on a cost sharing basis".

4 CONSERVATION GUIDELINES

The Main Residence is currently vacant and the structure should be temporarily closed up to protect it from the weather and to prohibit unauthorized access.

The following checklist will ensure that work items for the protection during the temporary mothballing of the historic structure are not inadvertently omitted and the listed heritage resource secured:

Moisture

- Is the roof watertight?
- Is exterior cladding in good condition to keep water out?
- Is the site of the temporary location properly graded for water run-off?

Ventilation

- Have steps been taken to ensure proper ventilation of the building?
- Have interior doors been left open for ventilation purposes?
- Has the secured building been checked within the last 3 months for interior dampness or excessive humidity?

Pests

- Have nests/pests been removed from the building's interior and eaves?
- Are adequate screens in place to guard against pests?
- Has the building been inspected and treated for termites, carpenter ants, rodents, etc.?

Security

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened?
- Are plans in place to monitor the building on a regular basis?
- Are the keys to the building in a secure but accessible location?
- Are the grounds being kept from becoming overgrown?

- Is the site securely fenced and regularly patrolled?
- Is the building signed identifying it as a protected heritage building with a phone number for citizens to call with questions or concerns or report vandals?

The aforementioned items will assist in protecting the listed heritage resource that is currently unoccupied during the planning process until actual site work commences.

5 CONSERVATION RECOMMENDATIONS

A preliminary condition review of the Main Residence was carried out during a site visit in February 2020. In addition to the visual review of the exterior of the building, paint samples were removed from the exterior and interior. The recommendations for the conservation of the house are based on the site review, material samples and archival documents that provide valuable information about the original appearance of the historic building.

The following chapter describes the materials, physical condition and recommended conservation strategy for the Main Residence based on Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

5.1 SITE

The Main Residence is addressed at 5660 177B Street, in the Cloverdale neighborhood of Surrey. The square lot is at the corner of 177B Street and 56A Avenue and is bounded by an apartment building to the north, an open field of Cloverdale Traditional School to the east, and roadways of 56A Avenue and 177B Street to the south and west, respectively.

The historic house is setback from the property lines, with landscaping around the residence and mature trees along its north and west property lines. A small one-storey side-gabled shed structure is located at the northeast corner of the property is accessed through a gravel driveway that runs behind (east) the residence.



Aerial view showing location of Main Residence, addressed at 5660 177B Street (outlined in blue).

5 CONSERVATION RECOMMENDATIONS

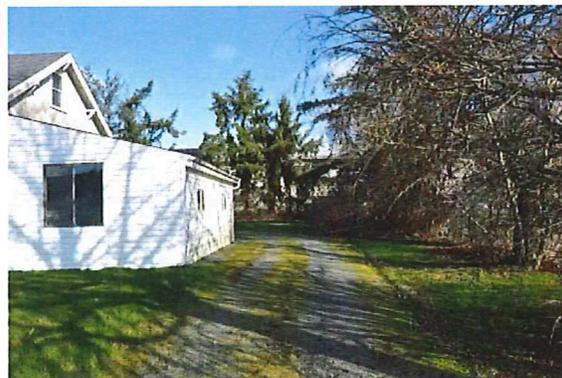
The proposed redevelopment scheme includes the relocation of the Main Residence to the southwest corner of the property. The relocation of the building within the existing city block will enhance its prominence along the street, and preserve the historic neighborhood context of the residence, while allowing for the rehabilitation of the property through the construction of a new residential complex.

Supreme Structural Transport has been in coordination with the developer on the temporary relocation of the Main Residence prior to its intended final setting into the southwest corner of the redevelopment. The secure off-site location of the heritage house is: 12454 110 Avenue, Surrey, BC.

All heritage resources within the site should be protected from damage or destruction at all times. See **Section 4.6 Site Stabilization and Protection** for guidance. Design guidelines for new construction adjacent to the heritage resource are listed in **Section 4.3 General Conservation Strategy**.

Conservation Strategy: Rehabilitation

- Relocate the building to the southwest corner of the property.
- Preserve the original orientation of the historic front facade, in relation to 177B Street.
- Rehabilitate the site by constructing a new residential complex. The design of the new infill structures should be “physically and visually compatible with, subordinate to, and



Photos showing location of the Main Residence within the site, and existing mature vegetation within the property.

5 CONSERVATION RECOMMENDATIONS

distinguishable from the historic place: as recommended in **Standard 11**.

- All rehabilitation work should occur within the property lines.

5.2 OVERALL FORM, SCALE & MASSING

The Main Residence retains the integrity of its original residential form, scale and massing as expressed by its one and one-half storey height, rectangle plan, front-gabled roof with a shed-roof dormer to the south, and interior brick chimney. The historic front facade (west elevation) is characterized by a closed, full-width verandah with hipped roof structure. A later rear extension (exterior workshop and/or garage) with shed roof structure was added over time.

Based on visual review, the front verandah would have been originally open, with closed balustrades, square columns, and simple front entry stairs that align with the front entrance doors. A recessed secondary entry porch is located at the rear

(east) elevation, accessed by side entry stairs. The basement is also accessible from the rear through concrete steps.

The proposed redevelopment scheme includes the preservation of the original form, scale and massing of the Main Residence. The relocation of the historic structure would require demolition of the existing concrete foundation walls. The later rear shed-roof extension will be demolished prior to relocation, as it does not contribute to the historic character of the house.

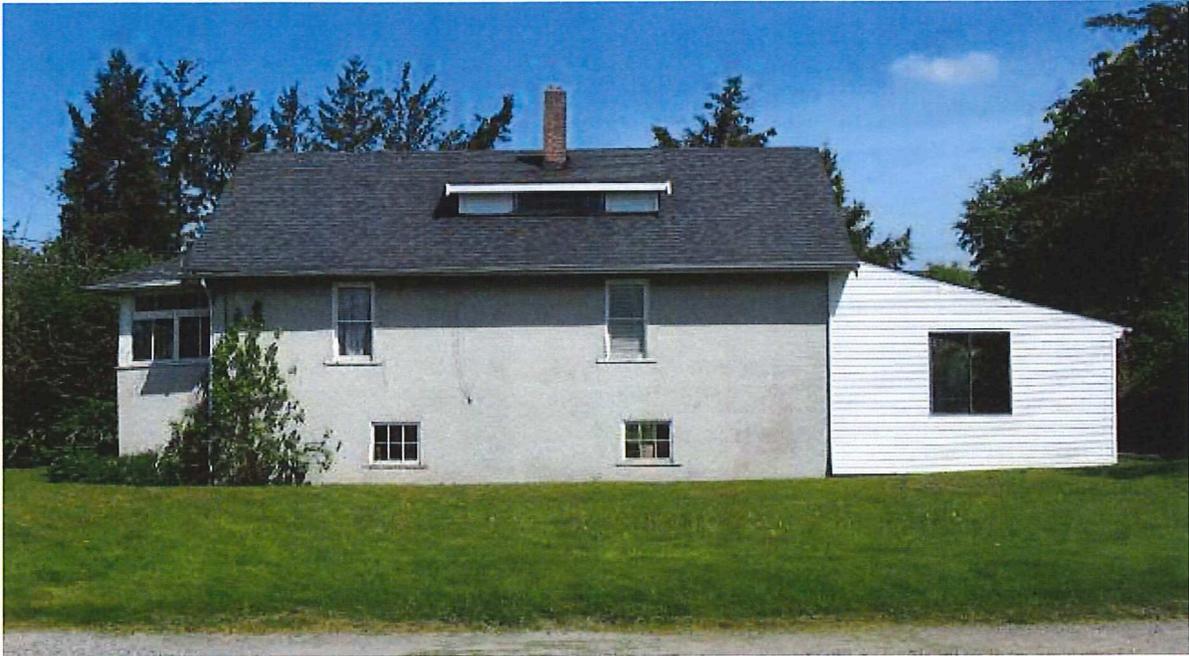
Conservation Strategy: Preservation

- Preserve the overall form, scale and massing of the building.
- Demolish the later added shed roof structure at the rear of the house.
- Relocate the brick chimney with the main structure, if possible. Alternatively, salvage original materials, and reinstate to match original above the roofline upon relocation.
- To ensure the prolonged preservation of the new foundation, all landscaping should be



Front elevation and partial side (south elevation) of Main Residence.

5 CONSERVATION RECOMMENDATIONS



Side (south) elevation of Main Residence, showing front verandah (left) and later shed-roof extension to the rear (right). Note differential settlement at southwest corner of front verandah.



Side (north) elevation of Main Residence, showing later shed-roof extension to the rear (left) and front verandah (right). Note uniform settlement at northwest corner of front verandah.

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Photos showing rear (east) elevation of Main Residence.

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separated from the foundations at grade by a course of gravel or decorative stones to help prevent splash back and assist drainage. New vegetation may assist in concealing the newly exposed foundations, if desired.

5.3 EXTERIOR WOOD-FRAME WALLS

The Main Residence features original wood-frame construction using typical dimensional lumber. Wood-frame construction was one of the most affordable housing construction methods utilized in the past due to the abundance of local old growth forests.

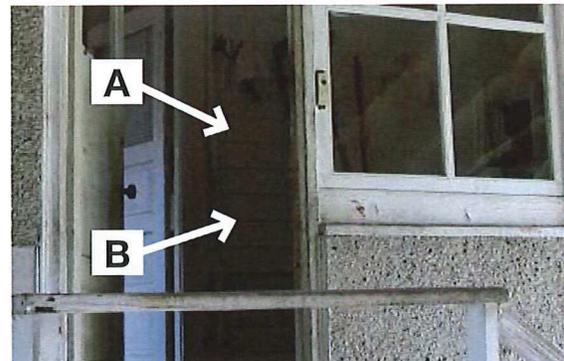
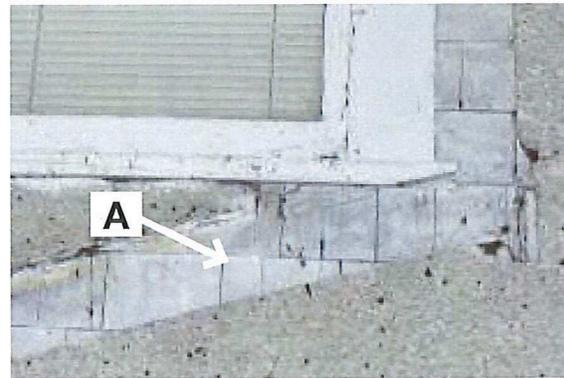
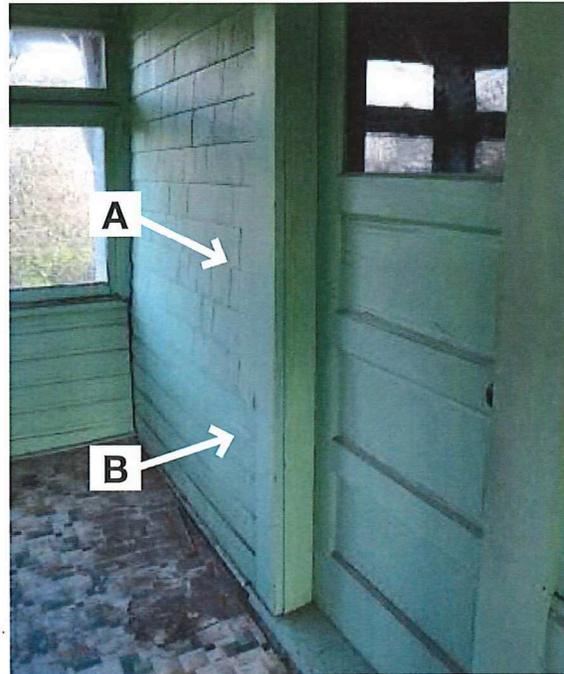
Based on preliminary visual assessment of the exterior cladding, the existing stucco finish is a later unsympathetic intervention. Original wood exterior cladding are extant in localized areas, as evidenced by wood shingles and shiplap siding on the front verandah, as well as the rear porch and a portion of the exterior rear wall where cedar shingles are now exposed.

The Main Residence also features typical wood trim elements including, but not limited to: triangular brackets, exposed roof rafter tails and soffits, bargeboards and fascia, as well as window and door surround exterior trims.

No intrusive disturbance of the exterior stucco were performed during the preliminary assessment. Further investigation is required to determine if original wood materials (cladding and trims) are still intact upon removal of later unsympathetic exterior stucco on all elevations. This would also confirm if they are in good, repairable condition, or if they are heavily deteriorated beyond repair, and would now require removal and replacement to match original, both visually and physically.

Conservation Strategy: Preservation

- Preserve the original wood-frame structure of the Main Residence, and repair in-kind as required.
- Carefully remove all later, unsympathetic exterior stucco finish.



Localized areas showing surviving original wood cladding: cedar shingles (A) and shiplap siding (B).

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- Preserve all original exterior wood cladding and trims on all elevations to be retained, if possible, and clean surface for repainting.
- If original wood cladding and trims require temporary removal, salvage all wood elements in good condition, and reinstate to match original historic appearance.
- If original wood cladding and trims require replacement, new materials should be visually and physically compatible with the original (i.e. new should match existing in material, size, profile and thickness).
- Combed and/or textured lumber is not acceptable. Hardi-plank or other cementitious boards are also not acceptable.
- Cleaning procedures should be undertaken with non-destructive methods. Areas with biological growth should be cleaned using a soft, natural bristle brush, without water, to remove dirt and other material. If a more intense cleaning is required, this can be accomplished with warm water, mild detergent (such as D/2 Biological Solution®) and a soft bristle brush. High-pressure power washing, abrasive cleaning or sandblasting should not be allowed under any circumstances.
- A mock-up of rehabilitation methods should

be carried out in location advised by the Architect and the Heritage Consultant prior to proceeding with the rest of the work, to ensure all repairs are historically appropriate.

- Design structural or seismic upgrades so as to minimize the impact to the character-defining elements.

5.4 FRONT VERANDAH

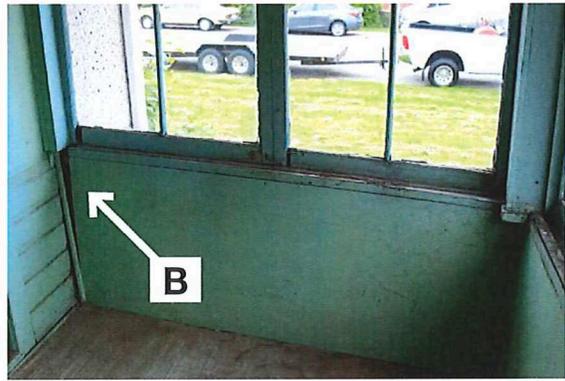
The Main Residence is characterized by an original full-width front verandah with hipped roof. The roof is clad with later asphalt shingles, with open soffits and exposed rafter tails. The front verandah has been subject to a series of alterations over time, including:

- installation of replacement open staircase assembly;
- enclosure of the verandah by installing a ribbon of clear wood window and door assemblies;
- unsympathetic installation of stucco finish on exterior face of the closed balustrade (which would have originally been characterized with shiplap siding)
- unsympathetic partitioning of the verandah

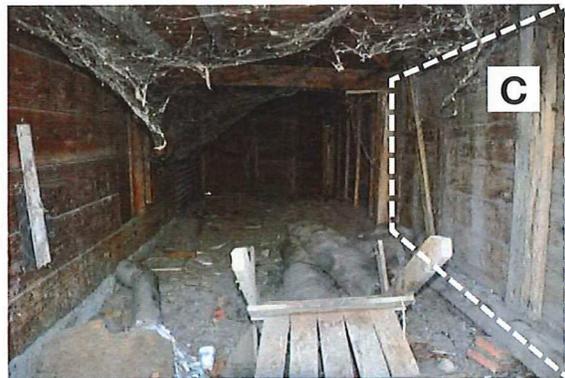


Front elevation, showing full-width front verandah.

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Detail photos showing elements of the full-width front verandah, as viewed from interior and exterior. Note later partition wall within the verandah (bottom left).



Detail photos showing later replacement entrance staircase (left) and existing condition of crawl space under the front verandah (right).

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- into two spaces; and,
- unsympathetic alteration of a window opening to accommodate a large double-door assembly.

These alterations are not historically appropriate, and do not contribute to its historic character.

The original open configuration of the front verandah shall be reinstated in its original form which will add to the historic character of the Main Residence.

Due to the relocation of the house, the front verandah will require dismantling and reconstruction. All efforts should be made to document and carefully salvage any original materials in good, reparable condition that may be reused for later reuse in order to reconstruction of the verandah in a historically appropriate manner.

Recent site investigations have confirmed that the verandah was built with in a closed balustrade. Heritage homes were typified by a low balustrade of approximately 24" in height. The project Architect has proposed, through an alternative compliance measure, the use of glass panels to satisfy BC Building Code guard height requirements on the reinstated west-facing verandah.

Conservation Strategy: Restoration

- Investigate to confirm original materials and distinguish from later, unsympathetic alterations. Salvage all original materials that can be reused.
- Remove unsympathetic elements such inner partition wall, and vinyl floor finish above porch deck. Document existing original configuration (e.g. roof pitch, open soffit with exposed raftertails, height of balustrade) prior to demolition and relocation.
- Restore the original front verandah in its existing full-width configuration upon relocation, to match original detailing based on physical and archival evidences.
- Original low height of the balustrade should be retained; utilize alternate compliance methods to meet standard requirements. New materials such as glass panels will be used in

meeting code compliance.

5.5 FENESTRATION

Windows, doors and storefronts are among the most conspicuous feature of any building. In addition to their function — providing light, views, fresh air and access to the building — their arrangement and design is fundamental to the building's appearance and heritage value. Each element of fenestration is, in itself, a complex assembly whose function and operation must be considered as part of its conservation.

— Standards and Guidelines for the Conservation of Historic Places in Canada.

5.5.1 WINDOWS

The Main Residence features a variety of original and early replacement wood window assemblies, including: double-hung wood sashes, multi-paned fixed casement and/or hopper assemblies, and single and multi-pane fixed sashes. All multi-pane assemblies have true-divided lights.

In general, most of the wood window assemblies are in fair to poor condition, with varying degrees of deterioration, as evidenced by paint failure, dry-rot, putty failure, cracked or missing glazing, and missing parts. These would require in-kind repair or full replacement with historically appropriate wood assembly to match existing.

Further investigation is required to determine if original wood window surround trims are still extant and in good condition underneath the unsympathetic stucco finish.

Conservation Strategy: Preservation

- Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.
- Preserve existing original windows; repair as required; if new sashes are required install replacements matching original sashes in

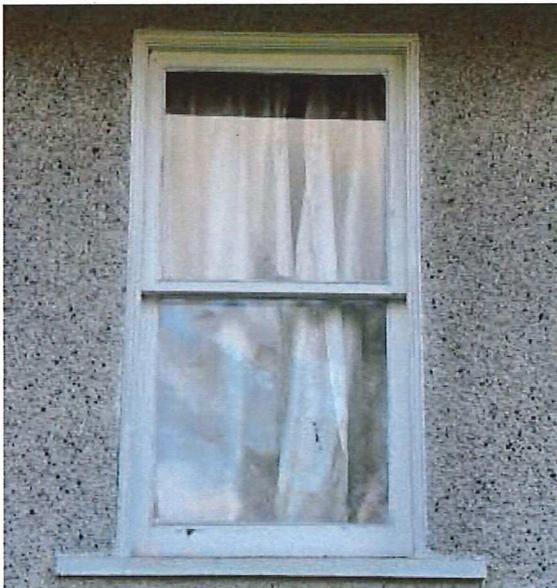
5 CONSERVATION RECOMMENDATIONS



Clear, sliding wood window assembly at front gable wall (attic).



Typical multi-pane fixed (alternatively, casement or awning configuration) window with true divided lights on basement level.



Typical double-hung wood sash assembly



Multi-light fixed dormer window south elevation.



Fixed wood window at rear (east) elevation). Note exposed original wood window exterior casing, which would have been a typical trim detail for all window openings.



Double-hung wood sash assembly at rear gable wall (attic).



Photo showing typical deterioration of existing wood sashes.

5 CONSERVATION RECOMMENDATIONS

- design and materials.
- Repair window assemblies as required, using in-kind repair techniques where feasible.
- Overhaul, tighten/reinforce joints. Repair frame, trim and counterbalances.
- Each window should be made weather tight by re-puttying and weather-stripping as necessary.
- Retain historic glass, where possible. Where broken glass exists in historic wood-sash windows, the broken glass should be replaced. When removing broken glass, the exterior putty should be carefully chipped off with a chisel and the glazier's points should be removed. The wood where the new glass will be rested on should be scraped and cleaned well, and given a coat of linseed oil to prevent the wood from absorbing the oil from the new putty. The new glass should be cut 1/16-1/8th smaller than the opening to allow for expansion and irregularities in the opening, to ensure the glazing does not crack due to natural forces. Window repairs should be undertaken by a contractor skilled in heritage restoration.
- Replacement glass to be visually and physically compatible with existing.

- Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.

5.5.2 DOORS

The Main Residence is an example of a craftsman style residence common during the early part of the twentieth century. A characteristic element of craftsman house were their doors. The Main Residence features typical multi-panel wood door with upper glass light at the entry into the house from the front verandah and at the rear of the house. The doors are in good condition and retain their original hardware. Wood works were rationalized to natural design elements and were evident in the simplicity of the main entry door and all the interior doors of the house. The doors possess plain wood trim on the exterior.

Conservation Strategy: Preservation & Rehabilitation

- Preserve existing openings and wood door assemblies.
- Repair doors, frames, and trim wood in-kind as required.



Photos showing typical primary and secondary exterior doors: Note that the primary (left) and secondary (middle) entry doors inside the front verandah and rear porch are characterized by a glazed upper and three wood lower inset panelling. The existing closed configuration of the front verandah appears to be an early alteration, which features a ribbon of wood window sashes with corresponding transom band above in the same width, and an in-swing door sash (glazed upper and wood lower inset panelling) with paired sidelights.

5 CONSERVATION RECOMMENDATIONS

- Where new doors are added, select new doors that are visual compatibility with the historic character of the building.

5.6 ROOF

The Main Residence features a primary front-gabled wood-frame roof structure, with a shed dormer facing south, a red brick chimney along the midsection of the roof ridge, and a hipped roof structure above the full-width front verandah.

Other roof elements that contribute to its historic

character include: tongue-and-groove wood soffits, exposed wood rafter tails with wood bargeboard and aluminum gutters, and triangular wood brackets supporting the wood fascia boards.

In general, the primary roof wood-frame structure and wood trims appear to be in good condition, with some deterioration in localized areas which may be attributed to water damage and later unsympathetic alterations.

The roof cladding appears to have been replaced within the past 20 years, and may now require replacement, particularly the asphalt shingles at

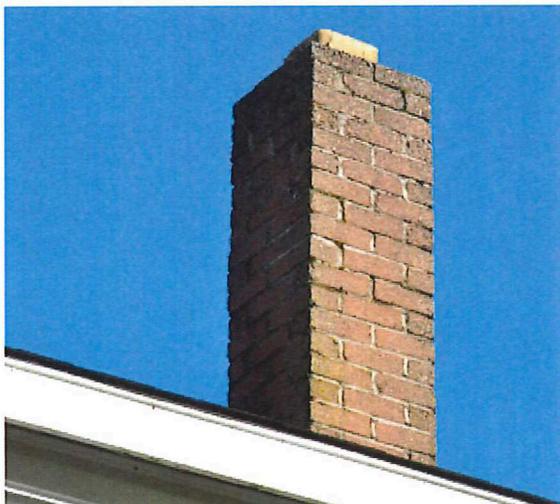


South elevation showing primary front-gabled wood-frame roof structure, shed dormer, interior brick chimney, hipped-roof (verandah), and shed-roof (rear extension, not original).



Existing condition of replacement asphalt roof shingles facing south (left) and north (right). Note heavy biological growth on roof cladding facing north as a result of moisture saturation caused by minimal sun exposure.

5 CONSERVATION RECOMMENDATIONS



Top, left: Photo showing fascia board, triangular bracket, and tongue-and-groove soffit and mould trim at gable wall of front elevation.

Top, right: Typical condition of roof eaves at front verandah.

Middle, left: Existing condition of roof eaves at south elevation.

Middle, right: Typical deteriorated condition of roof eaves at localized area along the north elevation.

Bottom, left: Existing condition of interior brick chimney above roofline.

5 CONSERVATION RECOMMENDATIONS

the north elevation which show accelerated signs of typical deterioration (evidenced by granular loss, warping, biological growth, staining and discoloration).

The rear shed-roof extension is not original, and may should be demolished as part of preserving the original residential form, scale, and massing of the historic structure.

Conservation Recommendation: Rehabilitation

- Preserve the integrity of the original front-gable wood-frame roof structure, including the shed roof dormer, the hipped-roof front verandah, and prominent interior brick chimney.
- If required, roofing membrane and cladding system may be rehabilitated. Cedar shingles are the preferred material by the Architect and Heritage Consultant for approval by the City Architect and shall be prepared for review.
- Preserve all surviving original roof elements, and repair in-kind as required.
- Design and install adequate rainwater disposal system and ensure proper drainage from the site is maintained. Wood gutters with galvanized steel downspouts may be reinstated. Aluminum in appropriate colours is also acceptable.

5.6.1 CHIMNEY

An original interior brick chimney is extant along the midsection of the roof ridge, and appears to be in good condition, with signs of natural weathering.

Due to the relocation of the Main Residence, the brick chimney may need to be dismantled. Prior to careful dismantling, the original configuration of the brick chimney should be documented, and all original materials in good condition should be salvaged and stored in a secure location.

Once relocation is complete, the brick chimney should be reinstated with the salvaged materials (full-dimensioned brick units) above the roofline

to match original configuration. The reconstruction should be based on previous documentation of the existing chimney prior to relocation.

Conservation Recommendation: Rehabilitation

- Preserve the chimney in its original configuration above roofline.
- Prior to relocation, document the original detailing of the brick masonry chimney . Carefully dismantle and salvage any bricks in good condition to be used in reconstruction of the chimney.
- Reinstated chimney above roofline to match original.
- Chimney may require structural stabilization.

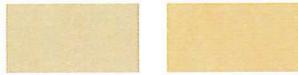
5.7 EXTERIOR COLOUR SCHEDULE

Part of the restoration process is to finish the building in historically appropriate paint colours. The following preliminary colour scheme has been derived by the Heritage Consultant, based on on-site paint sampling and microscopic paint analysis. The colours have been matched to Benjamin Moore's Historical True Colours Palette. Further on-site analysis is required for final colour confirmation once safe access is available.

Prior to final paint application, samples of these colours should be placed on the building to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the Heritage Consultant.

5 CONSERVATION RECOMMENDATIONS

HISTORIC COLOUR TABLE: MAIN RESIDENCE, 5660 177B STREET

Element	Colour*	Code	Sample	Finish
Wood Window Sashes	Gloss Black	VC-35		High Gloss
Wood Trims (Windows & Door frames and sills, fascia boards, bargeboards); gutters and downspouts	Dunbar Buff or Edwardian Cream	VC-5 or VC 7		Low Lustre
Cedar Shingles & Shiplap sidings	Point Grey	VC-24		Low Lustre

5.8 INTERIOR

The Main Residence features surviving, original interior wood door assemblies, complete with original wood surround trims. The window openings also feature original interior casings. In general, all interior fittings and finishes appear to be in good condition, and may be reused as part of the interior retrofit.

Since the interior of the Main Residence is proposed to be used as amenity space for the new residential complex, it is anticipated that the interior layout of the residence will be altered. Where feasible, attempt to retain any original interior elements, and reuse in a manner that is sympathetic to its historic character.

Conservation Strategy: Rehabilitate

- Retain original interior walls and ceilings and their original finishes, if possible.
- Salvage all original wood door assemblies, including surround trims, and reuse where possible.

6 MAINTENANCE PLAN

A Maintenance Plan should be adopted by the property owner, who is responsible for the long-term protection of the heritage features of the Main Residence. The Maintenance Plan should include provisions for:

- Copies of the Maintenance Plan and this Conservation Report to be incorporated into the terms of reference for the management and maintenance contract for the building;
- Cyclical maintenance procedures to be adopted as outlined below;
- Record drawings and photos of the building to be kept by the management / maintenance contractor; and
- Records of all maintenance procedures to be kept by the owner.

A thorough maintenance plan will ensure the integrity of the Main Residence is preserved. If existing materials are regularly maintained and deterioration is significantly reduced or prevented, the integrity of materials and workmanship of the building will be protected. Proper maintenance is the most cost effective method of extending the life of a building, and preserving its character-defining elements. The survival of historic buildings in good condition is primarily due to regular upkeep and the preservation of historic materials.

6.1 MAINTENANCE GUIDELINES

A maintenance schedule should be formulated that adheres to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. As defined by the *Standards & Guidelines*, maintenance is defined as:

Routine, cyclical, non-destructive actions necessary to slow the deterioration of a historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save.

The assumption that newly renovated buildings become immune to deterioration and require

less maintenance is a falsehood. Rather, newly renovated buildings require heightened vigilance to spot errors in construction where previous problems had not occurred, and where deterioration may gain a foothold.

Routine maintenance keeps water out of the building, which is the single most damaging element to a heritage building. Maintenance also prevents damage by sun, wind, snow, frost and all weather; prevents damage by insects and vermin; and aids in protecting all parts of the building against deterioration. The effort and expense expended on an aggressive maintenance will not only lead to a higher degree of preservation, but also over time potentially save large amount of money otherwise required for later repairs.

6.2 PERMITTING

Repair activities, such as simple in-kind repair of materials, or repainting in the same colour, should be exempt from requiring city permits. Other more intensive activities will require the issuance of a Heritage Alteration Permit.

6.3 ROUTINE, CYCLICAL AND NON-DESTRUCTIVE CLEANING

Following the *Standards & Guidelines for the Conservation of Historic Places in Canada*, be mindful of the principle that recommends “using the gentlest means possible”. Any cleaning procedures should be undertaken on a routine basis and should be undertaken with non-destructive methods. Cleaning should be limited to the exterior material such as concrete and stucco wall surfaces and wood elements such as storefront frames. All of these elements are usually easily cleaned, simply with a soft, natural bristle brush, without water, to remove dirt and other material. If a more intensive cleaning is required, this can be accomplished with warm water, mild detergent and a soft bristle brush. High-pressure washing, sandblasting or other abrasive cleaning should not be undertaken under any circumstances.

6 MAINTENANCE PLAN

6.4 REPAIRS AND REPLACEMENT OF DETERIORATED MATERIALS

Interventions such as repairs and replacements must conform to the *Standards & Guidelines for the Conservation of Historic Places in Canada*. The building's character-defining elements – characteristics of the building that contribute to its heritage value (and identified in the Statement of Significance) such as materials, form, configuration, etc. - must be conserved, referencing the following principles to guide interventions:

- An approach of minimal intervention must be adopted - where intervention is carried out it will be by the least intrusive and most gentle means possible.
- Repair rather than replace character-defining elements.
- Repair character-defining elements using recognized conservation methods.
- Replace 'in kind' extensively deteriorated or missing parts of character-defining elements.
- Make interventions physically and visually compatible with the historic place.

6.5 INSPECTIONS

Inspections are a key element in the maintenance plan, and should be carried out by a qualified person or firm, preferably with experience in the assessment of heritage buildings. These inspections should be conducted on a regular and timely schedule. The inspection should address all aspects of the building including exterior, interior and site conditions. It makes good sense to inspect a building in wet weather, as well as in dry, in order to see how water runs off – or through – a building. From this inspection, an inspection report should be compiled that will include notes, sketches and observations. It is helpful for the inspector to have copies of the building's elevation drawings on which to mark areas of concern such as cracks, staining and rot. These observations can then be included in the report. The report need not be overly complicated or formal, but must be thorough, clear and concise. Issues of concern, taken from the report should then

be entered in a log book so that corrective action can be documented and tracked. Major issues of concern should be extracted from the report by the property manager.

An appropriate schedule for regular, periodic inspections would be twice a year, preferably during spring and fall. The spring inspection should be more rigorous since in spring moisture-related deterioration is most visible, and because needed work, such as painting, can be completed during the good weather in summer. The fall inspection should focus on seasonal issues such as weather-sealants, mechanical (heating) systems and drainage issues. Comprehensive inspections should occur at five-year periods, comparing records from previous inspections and the original work, particularly in monitoring structural movement and durability of utilities. Inspections should also occur after major storms.

6.6 INFORMATION FILE

The building should have its own information file where an inspection report can be filed. This file should also contain the log book that itemizes problems and corrective action. Additionally, this file should contain building plans, building permits, heritage reports, photographs and other relevant documentation so that a complete understanding of the building and its evolution is readily available, which will aid in determining appropriate interventions when needed.

The file should also contain a list outlining the finishes and materials used, and information detailing where they are available (store, supplier). The building owner should keep on hand a stock of spare materials for minor repairs.

6.6.1 LOG BOOK

The maintenance log book is an important maintenance tool that should be kept to record all maintenance activities, recurring problems and building observations and will assist in the overall maintenance planning of the building. Routine maintenance work should be noted in the

6 MAINTENANCE PLAN

maintenance log to keep track of past and plan future activities. All items noted on the maintenance log should indicate the date, problem, type of repair, location and all other observations and information pertaining to each specific maintenance activity.

Each log should include the full list of recommended maintenance and inspection areas noted in this Maintenance Plan, to ensure a record of all activities is maintained. A full record of these activities will help in planning future repairs and provide valuable building information for all parties involved in the overall maintenance and operation of the building, and will provide essential information for long term programming and determining of future budgets. It will also serve as a reminder to amend the maintenance and inspection activities should new issues be discovered or previous recommendations prove inaccurate.

The log book will also indicate unexpectedly repeated repairs, which may help in solving more serious problems that may arise in the historic building. The log book is a living document that will require constant adding to, and should be kept in the information file along with other documentation noted in section **6.6 Information File**.

6.7 EXTERIOR MAINTENANCE

Water, in all its forms and sources (rain, snow, frost, rising ground water, leaking pipes, back-splash, etc.) is the single most damaging element to historic buildings.

The most common place for water to enter a building is through the roof. Keeping roofs repaired or renewed is the most cost-effective maintenance option. Evidence of a small interior leak should be viewed as a warning for a much larger and worrisome water damage problem elsewhere and should be fixed immediately.

6.7.1 INSPECTION CHECKLIST

The following checklist considers a wide range of potential problems specific to the Main Residence, such as water/moisture penetration, material deterioration and structural deterioration. This does not include interior inspections.

EXTERIOR INSPECTION

Site Inspection:

- Is the lot well drained? Is there pooling of water?
- Does water drain away from foundation?

Foundation

- Moisture: Is rising damp present?
- Is there back splashing from ground to structure?
- Is any moisture problem general or local?
- Are there shrinkage cracks in the foundation?
- Are there movement cracks in the foundation?
- Is crack monitoring required?
- Is uneven foundation settlement evident?
- Are foundation crawl space vents clear and working?
- Do foundation openings (doors and windows) show: rust; rot; insect attack; paint failure; soil build-up;
- Deflection of lintels?

Wood Elements

- Are there moisture problems present? (Rising damp, rain penetration, condensation moisture from plants, water run-off from roof, sills, or ledges?)
- Is wood in direct contact with the ground?
- Is there insect attack present? Where and probable source?
- Is there fungal attack present? Where and probable source?
- Are there any other forms of biological attack? (Moss, birds, etc.) Where and probable source?
- Is any wood surface damaged from UV radiation? (bleached surface, loose surface fibres)
- Is any wood warped, cupped or twisted?
- Is any wood split? Are there loose knots?

6 MAINTENANCE PLAN

- Are nails pulling loose or rusted?
- Is there any staining of wood elements? Source?

Condition of Exterior Painted Materials

- Paint shows: blistering, sagging or wrinkling, alligatoring, peeling. Cause?
- Paint has the following stains: rust, bleeding knots, mildew, etc. Cause?
- Paint cleanliness, especially at air vents?

Verandah/Porch

- Are steps safe? Handrails secure?
- Do any support columns show rot at their bases?
- Attachment – are porches, steps, etc. securely connected to the building?

Windows

- Is there glass cracked or missing?
- If the glazing is puttied has it gone brittle and cracked? Fallen out? Painted to shed water?
- Is there condensation or water damage to the paint?
- Are the sashes easy to operate? If hinged, do they swing freely?
- Is the frame free from distortion?
- Do sills show weathering or deterioration?
- Are drip mouldings/flushing above the windows properly shedding water?
- Is the caulking between the frame and the cladding in good condition?

Doors

- Do the doors create a good seal when closed?
- Are the hinges sprung? In need of lubrication?
- Do locks and latches work freely?
- If glazed, is the glass in good condition? Does the putty need repair?
- Are door frames wicking up water? Where? Why?
- Are door frames caulked at the cladding? Is the caulking in good condition?
- What is the condition of the sill?

Gutters and Downspouts

- Are downspouts leaking? Clogged? Are there holes or corrosion? (Water against structure)
- Are downspouts complete without any missing sections? Are they properly connected?
- Is the water being effectively carried away from the downspout by a drainage system?
- Do downspouts drain completely away?

Roof

- Are there water blockage points?
- Is there evidence of biological attack? (Fungus, moss, birds, insects)
- Are flashings well seated?
- Does the soffit show any signs of water damage? Insect or bird infestation?

INTERIOR INSPECTION

Basement

- Are there signs of moisture damage to the walls? Is masonry cracked, discoloured, spalling?
- Is wood cracked, peeling rotting? Does it appear wet when surroundings are dry?
- Are there signs of past flooding, or leaks from the floor above? Is the floor damp?
- Are walls even or buckling or cracked? Is the floor cracked or heaved?
- Are there signs of insect or rodent infestation?

Concealed spaces

- Is light visible through walls, to the outsider or to another space?
- Are the ventilators for windowless spaces clear and functional?
- Do pipes or exhausts that pass through concealed spaces leak?
- Are wooden elements soft, damp, cracked? Is metal material rusted, paint peeling or off altogether?
- Infestations - are there signs of birds, bats, insects, rodents, past or present?

6 MAINTENANCE PLAN

6.7.2 MAINTENANCE PROGRAMME

INSPECTION CYCLE:

Daily

- Observations noted during cleaning (cracks; damp, dripping pipes; malfunctioning hardware; etc.) to be noted in log book or building file.

Semi-annually

- Semi-annual inspection and report with special focus on seasonal issues.
- Thorough cleaning of drainage system to cope with winter rains and summer storms
- Check condition of weather sealants (Fall).
- Clean the exterior using a soft bristle broom/brush.

Annually (Spring)

- Inspect concrete for cracks, deterioration.
- Inspect metal elements, especially in areas that may trap water.
- Inspect windows for paint and glazing compound failure, corrosion and wood decay and proper operation.
- Complete annual inspection and report.
- Clean out of all perimeter drains and rainwater systems.
- Touch up worn paint on the building's exterior.
- Check for plant, insect or animal infestation.
- Routine cleaning, as required.

Five-Year Cycle

- A full inspection report should be undertaken every five years comparing records from previous inspections and the original work, particularly monitoring structural movement and durability of utilities.
- Repaint windows every five to fifteen years.

Ten-Year Cycle

- Check condition of roof every ten years after last replacement.

Twenty-Year Cycle

- Confirm condition of roof and estimate effective lifespan. Replace when required.

Major Maintenance Work (as required)

- Thorough repainting, downspout and drain replacement; replacement of deteriorated building materials; etc.

APPENDIX A: RESEARCH SUMMARY

Address: 5660 177B Street, Surrey, British Columbia
 Historic Name: Main Residence
 Original Owner: John James and Edith Main
 Date of Construction: 1924

WHITE ROCK, B. C.

1919 Date Dec 19 1919

Name John James Main
 Age 38 Sex Male Married Occupation Farmer
 Female Single
 Object in coming to Canada to take land

Birthplace England
 Citizenship British (Country and P.N.) Race Anglo
 Nat. Cert. No. _____ Date _____
 Court _____ State _____
 Attestor _____

Last permanent address 214 St. John St. N.Y.
 Street and No. 214 St. John St. N.Y.

Ever lived in Canada? Yes No Address Yes
 Entered previously at _____ Date _____
 Left Canada at _____ Date _____

Ever been refused admission to Canada? Yes No Where _____
 When _____

Money in possession belonging to immigrant? \$100.00
 If settler, value of effects & _____

Destined to Relative Friend or Employer (Indemnity)
 Name Edith Main
 Address 214 St. John St. N.Y.

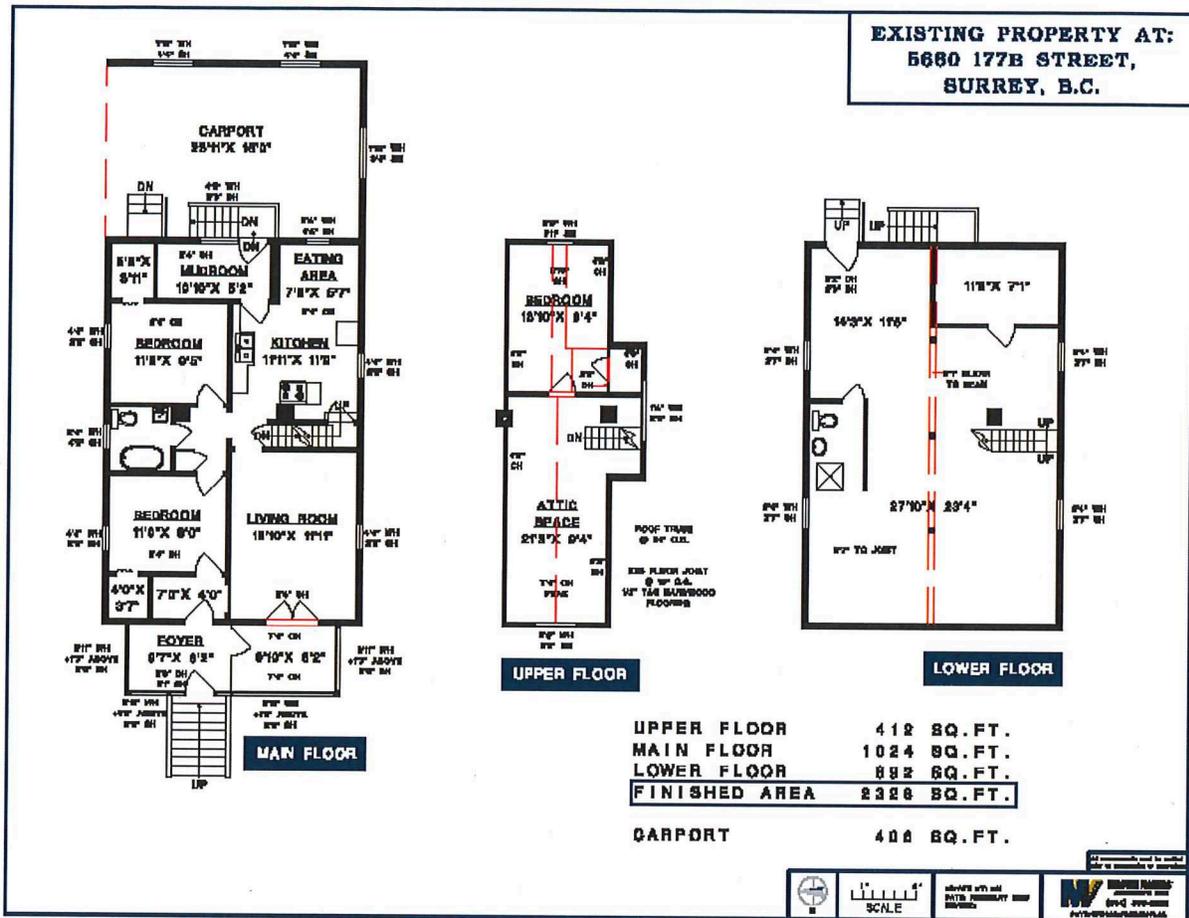
Apparent condition of health Good
 R.R. ticket issued Yes No _____
 From Quebec To White Rock
 Train No. or S.S. name 356

Landing:
 Port White Rock
 1st, 2nd or 3rd Class _____
 Date Dec 19 1919
 Steamship White Star

Objection to immigrant, if any _____
 Whether able to read or write? Yes
 Time and part of last arrival in the United States
Nov 1919
 Action taken Admitted

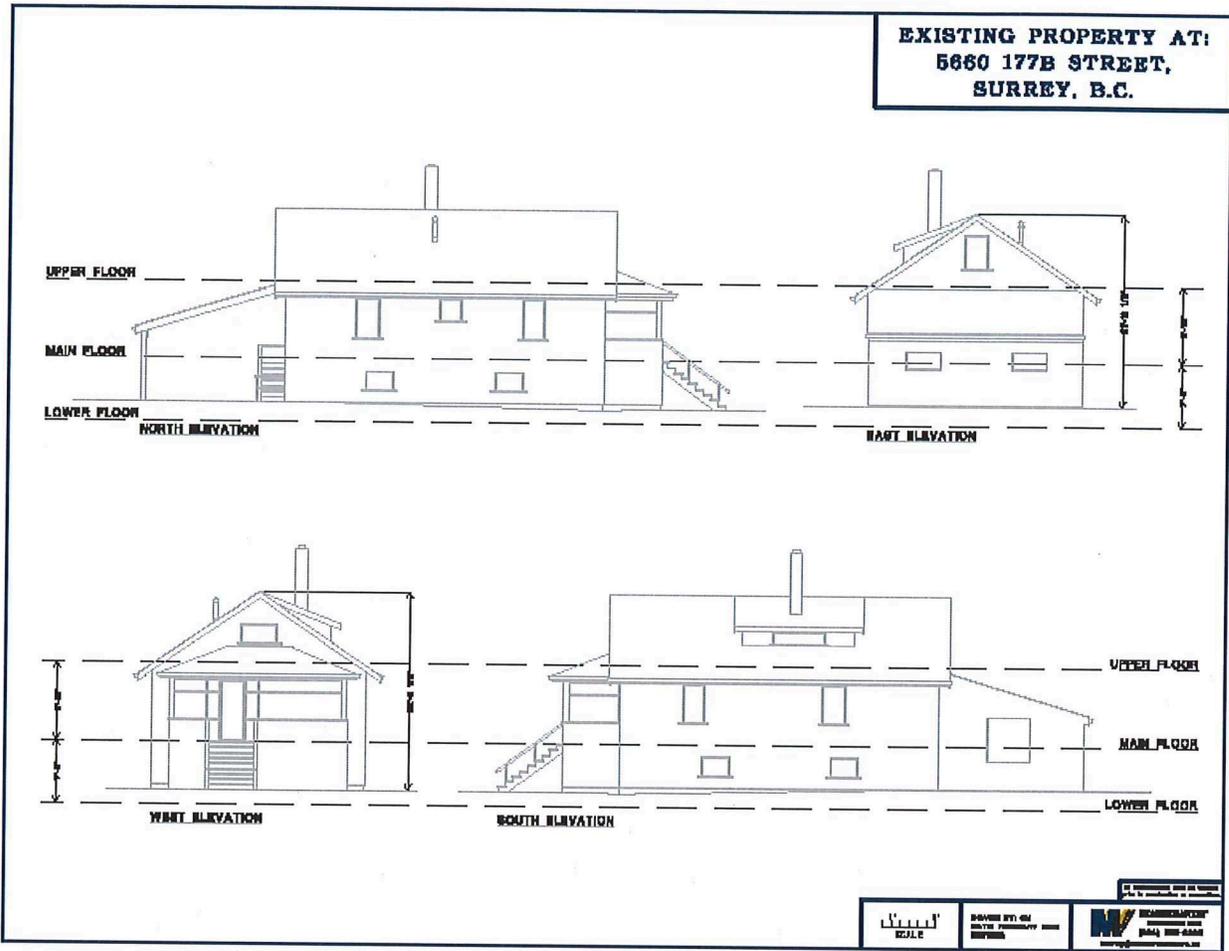
John James Main border crossing, 1919, identified as a farmer coming to Canada 'to take land'

APPENDIX B: ARCHITECTURAL PLANS



Existing Floor Plans, 2020-02-20, as taken by Measure Masters

APPENDIX B: ARCHITECTURAL PLANS



Existing Elevations, 2020-02-20, as taken by Measure Masters

BYLAWS:

"Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2020, No. 20257"

"Surrey Heritage Revitalization Agreement Bylaw, 2020, No. 20258"

REZONING FROM RF TO CD

"Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)"

Housing Agreement

To enter into a Heritage Revitalization Agreement to allow for the restoration and maintenance of the Main Residence at 5660 – 177B Street

PURPOSE:

To permit development of a 5-storey, 48-unit apartment building, including the preservation of the Main Residence.

PERMITS:

Development Permit Authorized: [DECEMBER 21, 2020](#)

READINGS:

BYL 20257	BYL 20258 HA
1ST READING:	1ST READING:
DECEMBER 21, 2020	DECEMBER 21, 2020
2ND READING:	2ND READING:
DECEMBER 21, 2020	DECEMBER 21, 2020
PUBLIC HEARING:	N/A
JANUARY 11, 2021	
3RD READING:	3RD READING:
JANUARY 11, 2021	DECEMBER 21, 2020
ADOPTION DATE:	ADOPTION DATE:

MOTI APPROVAL: **YES**

- **Email sent to MOTI: January 14, 2021**
- **MOTI Approved: January 14, 2021**

FINAL ADOPTION COMMENTS: Important comments for the Heritage Revitalization Agreement.

1. **Notify Robin when this project comes forward for final adoption.**