

CITY OF SURREY

BYLAW NO. 19615

A bylaw to enter into a heritage revitalization agreement  
.....

WHEREAS:

- A. The Council may by bylaw pursuant to Part 15 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as may be amended from time to time, enter into a heritage revitalization agreement with the owner of heritage property;
  
- B. The Council considers that certain lands, premises and improvements have *heritage value* and *heritage character* and ought to be conserved, which are situate within the City and described as:

Parcel Identifier: 025-960-024  
Lot 1 Section 8 Township 8 New Westminster District Plan BCP11474

17710 - 56A Avenue

(the "Lands");

- C. The owner of the Lands and the City of Surrey have agreed on the nature, character and extent of the *heritage value* and *heritage character* of the Lands and on the nature, extent and form of conservation necessary to protect the *heritage value* and *heritage character* of the Lands;

NOW THEREFORE, the City Council of the City of Surrey, enacts as follows:

- 1. The City is authorized hereby to enter into that certain Heritage Revitalization Agreement appended to this Bylaw as Schedule "I" (the "Heritage Revitalization Agreement") in respect of the Lands.
  
- 2. The Mayor and the City Clerk are authorized on behalf of the Council to sign the Heritage Revitalization Agreement and to register a notice on the title of the Lands.

3. Schedule "I" forms a part of this Bylaw.
4. This Bylaw may be cited for all purposes as "City of Surrey Heritage Revitalization Agreement Bylaw, 2018, No. 19615"

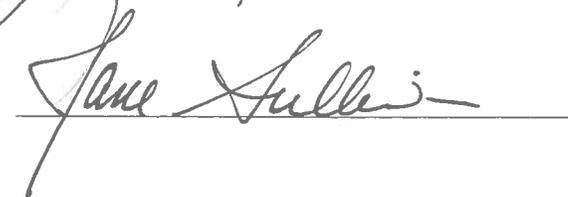
PASSED FIRST READING on the 25th day of June 2018.

PASSED SECOND READING on the 25th day of June 2018.

PASSED THIRD READING on the 25th day of June 2018.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the 9th day of July 2018.

  
\_\_\_\_\_  
MAYOR

  
\_\_\_\_\_  
CLERK

**SCHEDULE "I"**

[To City of Surrey Heritage Revitalization Agreement Bylaw, 2018, No. 19615]

**HERITAGE REVITALIZATION AGREEMENT**

This Agreement made the 10 day of July, 2018

BETWEEN:

CITY OF SURREY,

as represented by Realty Section, Engineering Department  
13450 104 Avenue  
Surrey, British Columbia V3T 1V8

(the "Owner")

OF THE FIRST PART

AND:

CITY OF SURREY, a municipal corporation,  
and having offices at 13450 104 Avenue  
Surrey, British Columbia V3T 1V8

(the "City")

OF THE SECOND PART

WHEREAS:

- A. The Owner is the registered owner in fee simple of the following lands and premises situate in the City of Surrey, British Columbia and described as:

Parcel Identifier: 030-376-343  
Lot 1 Section 8 Township 8 New Westminster District Plan EPP70288

17710 - 56A Avenue

(the "Lands");

- B. The improvements and features on the Lands identified in and described by text, photographs, plans and drawings attached to this Agreement as Appendix "A" (the "Conservation Plan") and Appendix "B" (the "McGinn Engineering & Preservation Ltd. Plan") as the 1881 Town Hall (the "1881 Town Hall") are considered by the City and the Owner to have *heritage value* and *heritage character*;
- C. The 1881 Town Hall is listed on the Surrey Heritage Register and the Owner and the City desire to conserve the *heritage value* and *heritage character* of the 1881 Town Hall;

- D. The 1881 Town Hall has been previously identified as having *heritage value* and *heritage character* in Surrey Municipal Heritage Site Designation Bylaw, 1982, No. 7289 (the "Designation Bylaw");
- E. A heritage alteration permit shall be issued pursuant to the Designation Bylaw for the purpose of relocating the School from its present location at 6022 176 Street, Surrey, BC to the Lands
- F. For the purpose of conservation of the *heritage value* and *heritage character* of the 1881 Town Hall on the Lands, the Owner and the City have agreed to enter into this Agreement setting out the terms and conditions of continuing protection for the *heritage value* and *heritage character* of the 1881 Town Hall;
- G. The Owner has agreed to the terms for compensating the City for the loss in *heritage value* in accordance with Section 2(f) of this Agreement in the event the 1881 Town Hall is moved or destroyed other than through natural causes or those causes outside of the Owner's reasonable control; and
- H. All provisions of this Agreement applicable to the Lands also apply to the 1881 Town Hall.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the mutual premises of the parties hereto and for other good and valuable consideration (the receipt and sufficiency of whereof is hereby by the parties acknowledged) the Owner and the City covenant and agree with one another pursuant to Section 610 of the Local Government Act, R.S.B.C. 2015, Chapter 1, as amended, re-enacted or consolidated from time to time and any successor statute (the "Local Government Act"), as follows:

#### Conservation Plan

- 1. (a) The Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan form part of this Agreement. To the extent that the text, photographs, plans and drawings constituting the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan require interpretation, the City shall be, in the first instance, the interpreter of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and shall determine the matter. If the Owner is dissatisfied with the City's interpretation, then Section 15 of this Agreement shall apply.
- (b) Part I of the Conservation Plan identifies, details and describes the character, extent and nature of the improvements and features on the Lands that have *heritage value* and *heritage character*. Part II of the Conservation Plan sets out the maintenance strategy, general standards and exemptions for the *conservation* and maintenance of all improvements and features on the Lands that have *heritage value* and *heritage character*. Part III of the Conservation Plan sets out the standards and specifications for relocation, restoration, rehabilitation, replication, repair, replacement or maintenance of the 1881 Town Hall on the Lands to be undertaken and completed pursuant to this Agreement, including, but not limited to: the structure, building envelope and exterior; doors; roof structure and cladding; and finishes of the building.

## Owner's Obligations to Protect, Conserve, Maintain and Rebuild

2. The Owner covenants and agrees that:
- (a) The 1881 Town Hall shall not be *altered*, including alterations required or authorized by this Agreement, except as agreed to in writing by the City.
  - (b) Each action of relocation, restoration, rehabilitation, replication, repair, replacement or maintenance required by Parts I, II, and III of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan shall be commenced and completed in accordance with the timing, phasing, standards and specifications set out the Conservation Plan.
  - (c) The 1881 Town Hall shall be maintained to the minimum standards and in accordance with the guidelines and requirements set out in the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan.
  - (d) In the event the 1881 Town Hall is damaged, other than through causes outside of the Owner's reasonable control, the Owner of the Lands accepts the obligation to undertake all necessary construction to restore the damaged portion or portions of the 1881 Town Hall to its original condition. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to restore the damaged portion or portions of the 1881 Town Hall. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The restoration of the 1881 Town Hall shall reflect the character-defining elements and design components including, but not limited to: symmetrical form, scale and massing, as expressed by its simple rectangular floor plan; front gabled roof with cedar shingle cladding; exterior vertical board and batten siding, with original square forged nails; original multi-paned double-hung panelling and wooden floors, all as subject to approval by the City Architect or designate.
  - (e) In the event the 1881 Town Hall is destroyed, other than through natural causes or those causes outside of the Owner's reasonable control, the Owner of the Lands accepts the obligation to undertake all necessary construction to create a replica of the 1881 Town Hall. The Owner is required to apply for and to hold a heritage alteration permit specifying the measures to be taken to create a replica of the 1881 Town Hall. The heritage alteration permit shall be subject to review and approval by the Heritage Advisory Commission. The construction of the replica of the 1881 Town Hall shall reflect the character-defining elements and design components as described in Section 2(d), all as subject to approval by the City Architect or designate.

- (f) In the event that the 1881 Town Hall is destroyed, other than through natural causes or those causes outside of the Owner's reasonable control, in addition to the construction of a replica described in 2(e), the Owner covenants and agrees to compensate the City for the loss in *heritage value* to the community in the amount of \$29,526.25 indexed to the Vancouver Consumer Price Index (CPI) with 2017 being the base year, except that if the 1881 Town Hall is destroyed through natural causes, including but not limited to, flood, earthquake and accidental fire as determined by the City in its sole discretion, and a replica is constructed by the Owner that is acceptable to the Heritage Advisory Commission or any successor decision making body in its sole discretion, then payment of compensation by the Owner to the City is not required.
- (g) The Owner shall do or cause to be done all such things, and shall take or cause to be taken all such actions, as are necessary to ensure that the restrictions and requirements set out in Parts II and III of the Conservation Plan and in the McGinn Engineering & Preservation Ltd. Plan are fully observed, and the Owner shall not do, cause or allow to be done anything that would be in breach of the restrictions and requirements of this Agreement.
- (k) Where required by the City in a heritage alteration permit, the Owner shall provide security to the City to guarantee the performance of the terms, requirements and conditions contained in the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan.
- (l) The Owner may apply to the City for funding including, but not limited to, monies for exemption from taxes, or any provision for assistance as specified in Section 25 of the Community Charter, S.B.C. 2003, c.26 (the "Community Charter").

#### Variations to Bylaws

- 3. Not applicable to the Lands.

#### Construction and Maintenance

- 4. Wherever under this Agreement the Owner relocates, restores, rehabilitates, replicates, repairs, replaces, maintains or in any way alters the 1881 Town Hall or constructs or maintains other works to protect or conserve the 1881 Town Hall, all such work shall be done at the Owner's sole expense strictly in accordance with the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and as agreed by the City in writing and all improvements or features shall be diligently and continuously maintained in good repair and efficient operating condition by the Owner at the Owner's sole expense in accordance with good engineering, design, heritage and conservation practice.

### No Liability to City

5. In no case shall the City be liable or responsible in any way for:
  - (a) any personal injury, death or consequential damage of any nature whatsoever, howsoever caused, that may be suffered or sustained by the Owner or by any other person who may be on the Lands; or
  - (b) any loss or damage of any nature whatsoever, howsoever caused to the Lands or any improvements or personal property thereon belonging to the Owner or to any other person,

arising directly or indirectly from compliance with the restrictions and requirements of this Agreement, wrongful or negligent failure or omission to comply with its restrictions and requirements, or refusal, omission or failure of the City to enforce or require compliance by the Owner with the restrictions or requirements or with any other term, condition or provision of this Agreement.

### Reasonable Care and Risk

6. The Owner shall at all times, in complying with the restrictions or requirements of this Agreement, take reasonable care not to injure any person or cause or allow damage to any property, and shall take reasonable care not to cause, suffer, permit or allow any condition to exist that might reasonably lead to, cause or result in injury to any person or property including persons and property on adjacent lands. It shall be the sole responsibility of the Owner to comply and maintain compliance with the restrictions and requirements in a safe manner, and without reasonably foreseeable risk to person or property. Compliance with the restrictions and requirements in this Agreement shall be at the sole and exclusive risk and cost of the Owner.

### Modification

7. If, in fulfilling its responsibilities and obligations pursuant to this Agreement, the Owner perceives or becomes aware of any unreasonable risk of injury to persons or damage to property or other potential loss that cannot be reasonably avoided, alleviated, reduced or eliminated except by measures that would be a breach of the restrictions, requirements of this Agreement, the Owner shall notify the City in writing of the nature and extent of the risk and of the measures proposed by the Owner to be undertaken at its sole cost to reduce, alleviate, avoid or eliminate the risk. Risk shall remain with the Owner.

### Indemnity

8. The Owner shall at all times indemnify and save harmless the City and its elected and appointed officials, employees, contractors and agents of and from all loss and damage, and all actions, claims, costs, demands, expenses, fines, liabilities and suits of any nature whatsoever by whomsoever brought for which the City shall or may become liable, incur or suffer by reason of existence and effect whether direct or indirect of the restrictions or requirements of this Agreement, or breach or non-performance by the Owner of any covenant, term or provision hereof, or by reason of any work or action of the Owner in performance of this Agreement, or by reason

of any work or action of the Owner in performance of its obligations, or by reason of any wrongful act or omission, default or negligence of the Owner.

#### Alternative Remedies

9. Any performance by the City pursuant to a statutory right to perform the obligations of an Owner arising out of this Agreement may be exercised fully in accordance with the Local Government Act and the Community Charter, and shall be without prejudice to any and all other remedies at law and equity available to the City, and no reference in this Agreement to, or exercise of any specific right or remedy by the City, shall preclude the City from exercising any other right or remedy.

#### Damages

10. The Owner covenants and agrees that the measure of damages for any breach of the restrictions or requirements of this Agreement shall include, but shall not be limited to, the actual cost and expense of all administration, labour, materials, equipment, services and work required for all remedial acts necessary to fully restore, rehabilitate, replace, repair or maintain the 1881 Town Hall. The nature and extent of any breach of the said restrictions and requirements, and the nature and extent of any relocation, restoration, rehabilitation, replacement, maintenance or remedial work or action of any nature required to remedy such breach shall be determined by the City by reference to the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan, and Sections 2 and 4 of this Agreement.

#### No Waiver

11. No restrictions, requirements or other provisions in this Agreement shall be deemed to have been waived by the City unless a written waiver authorized by resolution of the Council and signed by an officer of the City has first been obtained, and without limiting the generality of the foregoing, no condoning, excusing or overlooking by the City on previous occasions of any default nor any previous written waiver shall be taken to operate as a waiver by the City of any subsequent default or in any way to defeat or affect the rights of remedies to the City.

#### Statutory Authority and Proprietary Rights

12. Nothing in this Agreement shall limit, impair, fetter, or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, license or *approval*, granted, made or issued hereunder, or pursuant to statute, by the City shall stop, limit or impair the City from relying upon and enforcing this Agreement.

### Compliance with Laws

13. Despite any provision of this Agreement, the Owner shall comply with all laws, including bylaws of the City and all regulations and orders of any authority having jurisdiction, and to the extent only that such laws, regulations and orders are mandatory and necessarily require the breach of any restriction or positive obligation of this Agreement to be observed or performed by the Owner, or less than strict compliance with the terms hereof, then the Owner upon sixty (60) days' written notice to the City shall be excused from complying with such restrictions or performing such obligation and such restriction or obligation shall be suspended but only to the extent and for the time that such mandatory law, regulation or order is inconsistent with compliance with the said restrictions or obligations.

### Notice

14. Any notice to be given under this Agreement shall be in writing and may be either delivered personally or sent by prepaid registered mail and if so mailed shall be deemed to have been given five (5) days following the date upon which it was mailed. The address of the parties for the purpose of notice shall be as follows:

If to the City:

Attention: City Clerk  
CITY OF SURREY  
13450 104 Avenue  
Surrey, British Columbia V3T 1V8

If to the Owner:

Attn: Realty Section, Engineering Department  
CITY OF SURREY  
13450 104 Avenue  
Surrey, British Columbia V3T 1V8

Any party may at any time give notice in writing to the other of any change of address and after the third day of giving of the notice, the address specified in the notice shall be the address of the party for the giving of notices.

If title to the Lands is transferred to a new Owner, the new Owner shall provide notice in writing to the City within 15 days of such a transfer providing the name of the new Owner, the contact for notice if it is different than the Owner and the new Address to which notices are to be sent.

### Arbitration

15. The Owner, if dissatisfied with the City's interpretation of the Conservation Plan and the McGinn Engineering & Preservation Ltd. Plan and any determination pursuant to Section 1(a) of this Agreement may require that the matter be decided and determined by binding arbitration as follows:
  - (a) The Owner must, within thirty (30) days of any exercise of discretion by the City, give notice to the City of its intention to dispute and in such

notice shall name a member in good standing of the Architectural Institute of British Columbia who has agreed to act as an arbitrator;

- (b) The City shall within thirty (30) days of receipt of the aforesaid notice either accept the Owner's arbitrator, or name another with the same qualifications willing to act, and shall give notice of the same to the Owner;
  - (c) Where each of the Owner and the City have named an arbitrator, the two arbitrators shall within thirty (30) days of the City's notice pursuant to Section 15(b) appoint a third arbitrator having the same qualifications and the three arbitrators shall decide the dispute;
  - (d) Where the City accepts the arbitrator first selected by the Owner, that arbitrator shall act as a single arbitrator and forthwith decide the dispute;
  - (e) Any arbitrator's decision in respect of the exercise of discretion by the City shall be final, conclusive and binding on all parties;
  - (f) The arbitrator shall award the prevailing party full compensation for all costs and expenses of the arbitrator, costs and fees of the proceedings and solicitor-client costs and expenses; and
  - (g) The arbitrator shall issue a final decision regarding the dispute within twenty-five (25) business days after the arbitrator's appointment, subject to extension of that time by agreement of the parties.
16. Without limiting the City's power of inspection conferred by statute and in addition to that power, the City shall be entitled at all reasonable times and with reasonable notice to enter onto the Lands from time to time for the purpose of ensuring that the Owner is fully observing and performing all of the restrictions and requirements in this Agreement to be observed and performed by the Owner, and wherever possible, when an inspection of the Lands is undertaken, the City shall provide reasonable notice to the Owner.

#### Headings

17. The headings in this Agreement are inserted for convenience only and shall not affect the construction of this Agreement or any of its provisions.

#### Schedules

18. All schedules to this Agreement are incorporated into and form part of this Agreement.

#### Number and Gender

19. Whenever the singular or masculine or neuter is used in this Agreement, the same shall be construed to mean the plural or feminine or body corporate where the context so requires.

Interpretation

20. Terms used in this Agreement that are italicized are defined in the Local Government Act, and the Heritage Conservation Act, R.S.B.C. 1996, Chapter 187, as amended, re-enacted or consolidated from time to time and any successor statute, and shall take their meaning from those Acts.

Successors Bound

21. All restrictions, rights and liabilities imposed upon or given to the respective parties under this Agreement shall extend to and be binding upon their respective heirs, executors, administrators, successors and assigns. When the Owner is more than one party they shall be bound jointly and severally by the terms, covenants and agreements on the part of the Owner.

Notice to be Filed

22. Notice of this Agreement and amendments to it will be filed in the Land Title Office and once filed, this Agreement and amendments will be binding on all persons who acquire an interest in the Lands.

IN WITNESS WHEREOF the Owner and the City have executed this Agreement as of the date first above written.

  
CITY OF SURREY

**Nicholas Rawcliffe**  
**Manager, Realty Services**

CITY OF SURREY

  
Linda Hepner  
Mayor

  
Jane Sullivan  
City Clerk

## Appendix "A"

### CONSERVATION PLAN

#### PART I – HISTORICAL AND ARCHITECTURAL BACKGROUND

##### 1. Description of Historic Place

The 1881 Town Hall is a single-storey, single-roomed, wood-frame building, rectangular in plan, with a front gable roof, clad in vertical board and batten. The original interior and most of the exterior are preserved. The building was completely encased within a later building, with only the peak of its gabled roof visible from the street. The Hall was moved again from that location to its present location in 2018.

##### 2. Heritage Value of Historic Place

The 1881 Town Hall is valued for its role in the history of the City and as a testament to the generosity, determination, and civic will of the area's pioneers. Abraham Huck, the area's first settler, bought land at Surrey Centre in 1872. Gradually, more settlers arrived and began laying the foundations of the community. In 1879 the District of Surrey was incorporated, but at the time there was no public meeting place. Abraham Huck donated one acre of his Surrey Centre land for the construction of this Hall, and the first meeting in the building was held on May 2, 1881. The erection of the Town Hall, which was also used for church services until Christ Church was completed nearby, symbolized rapid progress within the community.

The 1881 Town Hall is also significant as an example of early frontier wooden construction, with vertical board and batten siding and square forged nails. The simplicity of the design reflects vernacular building techniques, and the modest pioneer origins of Surrey.

The heritage value of the Town Hall also lies in its interpretive value. The building is an important cultural feature for the interpretation of Surrey's civic heritage to the public. It was moved, in 1938, to the Cloverdale Exhibition Grounds, and later became Surrey's first museum, indicative of Surrey's commitment to preserving and interpreting its built and cultural heritage.

##### 3. Character Defining Elements

Key elements that define the heritage character of the 1881 Town Hall include its:

- Symmetrical form, scale and massing, as expressed by its simple rectangular floor plan;
- Front gabled roof with cedar shingle cladding;
- Exterior vertical board and batted siding, with original square forged nails; and
- Original multi-paned double-hung panelling and wooden floors.

## PART II – MAINTENANCE STANDARDS AND PERMIT APPROVALS

### 1. General

#### A. Requirement to Commence Renovations

Moving of the 1881 Town Hall may commence at any time following the issuance of a Heritage Alteration Permit and as authorized by the issuance of a building permit.

Restoration of the 1881 Town Hall, including works that are consistent with Part III – Restoration Standards and Specifications, may commence at any time following the adoption of a bylaw to enter into this Agreement and the issuance of a building permit authorizing the works.

#### B. Maintenance Strategy

The strategy to ensure ongoing conservation of the 1881 Town Hall shall consist of a Maintenance Plan and a Funding Strategy.

The Maintenance Plan shall be prepared with input from a conservation architect or qualified heritage consultant that is acceptable to the City. Issues to be addressed in the Maintenance Plan include water penetration and damage from sun, wind, weather and animals. Maintenance includes, but is not limited to, painting or staining, sealing, weather-stripping and the like.

The Funding Strategy shall include, but is not limited to, whether or not the Owner intends to absorb all the costs, undertake fundraising or seek government financial incentives, including those available from the City.

The Owner shall submit a Maintenance Plan and Funding Strategy for review and approval by the General Manager, Planning and Development and , if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission within one (1) year of the adoption of a bylaw to enter into this Agreement.

The Maintenance Plan and Funding Strategy for the 1881 Town Hall shall include, but is not limited to, the following:

- (a) A description and a time schedule for the renovations, repair, and replacement of the exterior elements, *landscaping* or other identified works on the Lands that constitute the character-defining elements and as identified in Part III – Renovation Standards and Specifications;
- (b) A description and time schedule for the ongoing maintenance of the elements, *landscaping* or other identified works on the Lands and other relevant details. Maintenance includes: painting, staining and sealing of the exterior cladding and trims, weather stripping, re-roofing, replacement of windows, doors and exterior cladding or trims to match the existing materials;
- (c) Ongoing maintenance of *landscaping*;

- (d) A description of any matters noted in Part III – Renovation Standards and Specifications or in the plans attached to this Agreement as requiring further details; and
- (e) A financial plan detailing the funding for the renovation and maintenance outlined above, including corporate sponsorships, annual budgets by the Owner or tenant, applications for government grants, strata fees, and other relevant details.

**C. Amending an Established Maintenance Strategy**

An Owner may apply to the City to amend an existing Maintenance Plan and Funding Strategy. Any amendment is subject to approval by the General Manager, Planning and Development and, if deemed necessary by the General Manager, Planning and Development, the Heritage Advisory Commission.

**2. Standards**

The "Standards and Guidelines for the Conservation of Historic Places in Canada", established under the Historic Places Program or successor guidelines as may be approved by the City are to apply to all construction, maintenance, restoration or renovation works undertaken under Parts II or III on the 1881 Town Hall.

**3. Timing and Phasing**

This provision does not apply to the lands.

**4. Heritage Alteration Permit(s) Approval**

- A. Changes to the building, structure, exterior appearance of the 1881 Town Hall, features on the Lands identified in the Conservation Plan, McGinn Engineering & Preservation Ltd. Plan. or character-defining elements may require the Owner to apply for a heritage alteration permit or obtain approval from the City.

Proposed changes shall be referred to the Planning & Development Department of the City prior to the commencement of any work to determine if the changes require or do not require a heritage alteration permit.

- B. A heritage alteration permit may not be required for alterations including, but not limited to, the following:
  - (a) changes to the Conservation Plan or the McGinn Engineering & Preservation Ltd. Plan that are considered by the City Architect to be minor in nature and not affecting the character-defining elements of the 1881 Town Hall;
  - (b) restorations considered by the City Architect to be consistent with the original design, being made to replace stylistically foreign elements and done in consultation with an independent conservation architect or qualified heritage consultant acceptable to the City; or
  - (c) simple repair and maintenance of existing elements not affecting the *building* structure, exterior or interior appearance of the 1881 Town Hall.

- C. A heritage alteration permit shall be required for all but minor alterations including, but not limited to, the following:
  - (a) changes to the 1881 Town Hall structure;
  - (b) changes to the exterior appearance of the 1881 Town Hall;
  - (c) replacement of existing elements and/or construction of additions to the 1881 Town Hall;
  - (d) changes to the external appearance of the 1881 Town Hall due to interior renovations.

If a heritage alteration permit is determined to be required, the Owner shall apply to the City for a heritage alteration permit before undertaking any of the works listed in this Section 4.C.

After the heritage alteration permit application is submitted, the heritage alteration permit will be considered for issuance by City Council upon the recommendation of the General Manager, Planning and Development and the Heritage Advisory Commission, or by a City official delegated by City Council.

#### **5. Building Permit Approval**

Construction, alterations or other actions to be authorized by a building permit shall be consistent with the provisions of the Conservation Plan, McGinn Engineering & Preservation Ltd. Plan, and with heritage alteration permits sanctioning construction, alterations or other actions.

As the 1881 Town Hall is recognized as a historic site, Building Code equivalencies may be used to lessen visual impacts on the historical appearance or authenticity of the *building*. To utilize Building Code equivalencies, the Owner shall retain a qualified architect that is acceptable to the City Architect.

#### **6. Conditions**

- A. The works specified in Part III and attachments to this Conservation Plan shall be supervised by a conservation architect or qualified heritage consultant acceptable to the City.
- B. The works specified in Part III and attachments to this Conservation Plan shall be approved by a conservation architect or qualified heritage consultant acceptable to the City prior to the City granting final building approval.

### **PART III – RESTORATION STANDARDS AND SPECIFICATIONS**

#### **1. Foundation:**

See Section 4.2.3 "New Foundation & Foundation Wall" of the McGinn Engineering & Preservation Ltd. Plan.

**2. Roof Structure:**

See Section 4.2.2 "Roof Structure Upgrades" of the McGinn Engineering & Preservation Ltd. Plan.

**3. Chimney Restoration:**

See Section 4.2.7 "Chimney Restoration" of the McGinn Engineering & Preservation Ltd. Plan.

**4. Front Stair Reconstruction:**

See Section 4.2.9 "Front & Side Reconstruction of the McGinn Engineering & Preservation Ltd. Plan.

**5. Front Stoop Reconstruction:**

See Section 4.2.8 "Front Stoop Reconstruction" of the McGinn Engineering & Preservation Ltd. Plan.

**6. Windows and Doors:**

See Section 4.2.10 "Window and Door Restoration" of the McGinn Engineering & Preservation Ltd. Plan.

**7. Colour scheme:**

See Section 4.2.16 "Exterior Painting" of the McGinn Engineering & Preservation Ltd. Plan.

If the exterior paint colour of the 1881 Town Hall is to be changed, the change shall be done in consultation with the City and reflect as best as can be determined the original appearance of the 1881 Town Hall or heritage colours appropriate for the period of the Hall.

Changes to the exterior colour scheme shall not be undertaken without being reviewed and approved by the City Architect. The City Architect may consult with the Heritage Advisory Commission about the colour scheme.

Prior to final paint application, samples of the colours should be placed on the *building* to be viewed in natural light. Final colour selection can then be verified. Matching to any other paint company products should be verified by the heritage consultant.

**8. Interior:**

See Section "4.2.14 "Interior Features" of the McGinn Engineering & Preservation Ltd. Plan.

**9. Other:**

The general intent is to promote restoration and retention of existing materials and elements wherever possible. If restoration is not feasible, replacements shall be constructed to match existing in terms of form, detailing and materials. Where original features have already been removed, altered or replaced by stylistically foreign elements, new replacements shall be consistent with the original design and done in consultation

with an independent conservation architect or qualified heritage consultant acceptable to the City.

Minor changes to the provisions of Part III that do not affect the character defining elements or that improve the authenticity of the restorations, may be approved by the City Architect, in consultation with the Heritage Advisory Commission.

(Note: Terms used in Appendix "A" of this Agreement that are italicized are defined in Surrey Zoning Bylaw, 1993, No. 12000, as amended, and shall take their meaning from the Bylaw.)

**Appendix "B"**

**HERITAGE CONSERVATION PLAN**  
**1881 Town Hall, 17710 56A Avenue, Conservation and Relocation Plan**  
McGinn Engineering & Preservation Ltd., May 2018

(The " McGinn Engineering & Preservation Ltd. Plan.")

(Attachment beginning on the next page)



*conservation plan*

# 1881 SURREY TOWN HALL

6022 176 STREET, SURREY, BC

MAY 2018



**TDM PROJECTS INC.**  
6420 Rosebery Ave.  
West Vancouver, BC. V7W 2C6



McGinn Engineering &  
Preservation Ltd.  
Barry McGinn Architect.

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Early Photograph of the 1881 Surrey Town Hall

## 1 HERITAGE VALUE ASSESSMENT

*\* Heritage Value Assessment of 1881 Surrey Town Hall is adapted from the Canadian Register of Historic Places (in the Appendix)*

### 1.1 History/Description

The 1881 Surrey Town Hall is a single-storey, single-roomed, wood-frame building, rectangular in plan, with a front gable roof, clad in vertical board and batten. The building is now completely encased within a later building, with only the peak of its gabled roof visible from the street. The original interior and most of the exterior are preserved, and can be seen inside the enclosing building.



Early Photograph of the 1881 Surrey Town Hall

### 1.2 Summary of Heritage Value

The 1881 Surrey Town Hall is valued for its role in the history of the City and as a testament to the generosity, determination, and civic will of the area's pioneers. Abraham Huck, the area's first settler, bought land at Surrey Centre in 1872. Gradually, more settlers arrived and began laying the foundations of the community. In 1879 the District of Surrey was incorporated, but at the time there was no public meeting place. Abraham Huck donated one acre of his Surrey Centre land for the construction of this Hall, and the first meeting in the building was held on May 2, 1881. The erection of the Town Hall, which was also used for church services until Christ Church was completed nearby, symbolized rapid progress within the community.

The Town Hall is also significant as an example of early frontier wooden construction, with vertical board and batten siding and square forged nails. The simplicity of the design reflects vernacular building techniques, and the modest pioneer origins of Surrey.

The heritage value of the Town Hall also lies in its interpretive value. The building is an important cultural feature for the interpretation of Surrey’s civic heritage to the public. It was moved, in 1938, to the Cloverdale Exhibition Grounds, and later became Surrey’s first museum, indicative of Surrey’s commitment to preserving and interpreting its built and cultural heritage.

(Source: *Heritage Planning Files, City of Surrey*)

### 1.3 Character Defining Elements

The character-defining elements of the 1881 Surrey Town Hall include its:

- symmetrical form, scale and massing, as expressed by its simple rectangular floor plan;
- front gabled roof with cedar shingle cladding;
- exterior vertical board and batten siding, with original square forged nails;
- original multi-paned double-hung paneling and wooden floors.

## 2 POLICY FRAMEWORK

### 2.1 Heritage Designation

The 1881 Surrey Town Hall is currently listed in the Surrey’s Community Heritage Register as site number 8 with its significance classified as ‘Historical.’ It is protected by Heritage Designation By-law, 1982, No. 7289.

### 2.2 Current Zoning Designation

1881 Surrey Town Hall is currently located in the *CD-One Comprehensive Development* zone..

## 3 CONDITION ASSESSMENT

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.1	Form, Scale & Massing	The building has been added to over time, to the point that it has been enveloped on all sides by the existing building. The only discernable massing from the exterior is the gabled roof, and gable ends. This encasement is not desirable from a heritage standpoint as it altered the historic place beyond recognition.	



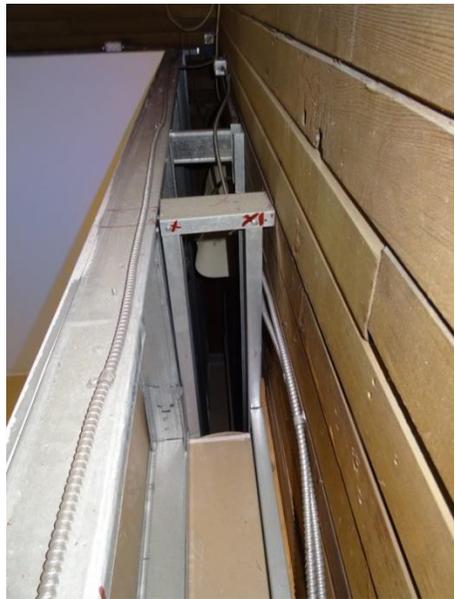
CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.2	Cladding, Fascia & Soffits	<p>The historic hall has its original cedar board and batten cladding intact and in good condition. The cladding has been replaced at the vertical sections aligning with the east elevation beam penetrations, as the support for the beams on this elevation was integrated into the heritage hall exterior wall to take advantage of the concrete foundation was built to receive the relocated building.</p> <p>Comparisons to historic photography indicate that the roof had quite a small eave extension, but may have been further clipped back during subsequent roof renovations since the relocation.</p> <p>The exterior board and batten cedar cladding is also in excellent condition.</p>	   



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.3	Doors	The original doors have been removed, as has the original front stoop.	
3.1.4	Windows	The original 6-over-6 wood muntined double hung windows have survived in good condition. The glazing has been painted on some elevations, but this is easy to strip off of glass.	 



CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
			
3.1.5	Roof Surface	A new sawn cedar shingle roof on a plywood sheathing was installed as part of a structural and roof rehabilitation within the last three years and is in excellent condition.	
3.1.6	Rainwater Evacuation System	A new gutter and rainwater leader system were installed at the time of the recent structural/roof renovation and is functioning well.	
3.1.7	Chimney	The original brick chimney set into the northeast wall is currently supported on wood framing and terminates just below the roof.	
3.1.8	Entry Stairs	The original entry stairs were, either, not moved with the building when it was relocated, or removed when the museum front addition was constructed.	

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.9	Gable Vents	The original gable vent is in place and excellent condition.	
3.1.10	Interior Features	The tongue-and-groove V-groove ceiling paneling is still intact and in good condition. The same paneling, installed in a horizontal configuration, is intact and in fair condition behind a steel stud and gypsum board interior wall. The steel studs have been screwed to the interior paneling in places, so some fastener holes and patching/finishing is to be expected.	 

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.11	Electrical Distribution	BX electrical cable is run within the interior liner wall and is fed from a panel outside the heritage hall in the museum area.	
<b>Structure</b>		<i>For a full analysis of the structure of the 1881 Surrey Town Hall, refer to the report in the Appendix (TDM Projects Ltd.). The condition of the structure is summarized here:</i>	
3.1.12	Structure: Floor	<p>The original 2"X10" joists are intact and supported at the ends on a new reinforced concrete foundation wall constructed at this new relocation site. A 6"X6" longitudinal beam supported on blocking runs the full length of the foundation at the center line. Wood wedge blocks have been set to level the floor.</p> <p>The original hewn log end joist, which carries the gable end wall loads, still exists in good condition, and is set on a heavy wood sill, which bears on the new concrete foundation wall. This hewn log end joist would need to be supported by the moving needle beams.</p>	 

CONDITION ASSESSMENT TABLE			
REF.	ELEMENT	DESCRIPTION/CONDITION	IMAGE REFERENCE
3.1.13	Structure: Walls	To limit splaying of the walls and improve the rafter support, new tie beams and tie rods have been installed, which connect through the top of the wall to an exterior heavy wood ledger. The wall structure is assumed to be 2"X4", but access to confirm this was not available.	
3.1.14	Structure: Roof	Access to the attic was not available, but the recent structural and roof rehabilitation appears to have been very successful in rectifying any discontinuities in the ridge line.	



### **3.2 Proposed Conservation Strategies**

The Parks Canada Standards & Guidelines for the Conservation of Historic Places in Canada (2010) has been adopted by the Government of B.C. and most Federal agencies, for the assessment of the treatment of historic places. Under the Standards and Guidelines, the conservation strategies proposed for the proposed façade restoration of the 1881 Surrey Town Hall may include aspects of preservation, restoration and rehabilitation, as defined below:

#### *Preservation*

The action or process of protecting, maintaining and/or stabilizing the existing materials, form and integrity of an historic place or of an individual component, while protecting its heritage value.

#### *Restoration*

The action or process of accurately revealing, recovering, or representing the state of a historic place, or of an individual component, as it appeared in a particular period in its history, while protecting its heritage value.

#### *Rehabilitation*

The action or process of making possible a continuing or compatible contemporary use of an historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

In reality, all three of these conservation approaches will come into play in the proposed rehabilitation and upgrade at the 1881 Surrey Town Hall.

## **4 UPGRADE PLAN**

The Conservation Plan has been organized under the following categories, based on current condition and performance, owner priorities, code compliance and safety considerations, maintenance of envelope and heritage character integrity, improvements to occupant use and comfort and costs:

### **4.1 Building Relocation**

This study considers a relocation of the 1881 Surrey Town Hall to the Surrey Museum, approximately 5 blocks south of this location.

Following preliminary site and project parameter review, the following approach will apply to the extraction of the 1881 Surrey Town Hall and remediation of the existing building:

#### **Partial Demolition to Allow Extraction**

- Partial demolition around the perimeter of the building to detach the building from the perimeter museum floor, ceiling and penetrating structure,



- jacking the wood floor structure, including hewn timber end joists, off of the reinforced concrete foundation wall,
- temporary interior bracing,
- Temporary post and beam or sheathed stud wall bracing of the east addition roof beams that penetrate the east heritage hall wall, so that these penetrating beams can be severed,
- Demolition of portions of the existing structure to the west, south, north and perimeter and east perimeter as per drawing DE-A1-00,
- Transportation, and the securing of the building on a new foundation. The existing cedar perimeter beam can be used for the move, and can remain in place at the new location.
- Construction of new exterior south and west walls of the existing structure exposed by partial building demolition, including the roof edge, and construction of a new exterior wall along the E-W beam and N-S beam lines adjacent to the extracted 1881 Hall, including new roof edges, as per Dwgs. .
- Clearing, grading and gravel or turf surface to the demolished building areas.

## **4.2 Building Upgrades**

### **4.2.1 Building Relocation – BC Hydro Line Relocations**

The transport of the building will require the temporary relocation of BC Hydro, Telus & cable lines along the path of travel.

### **4.2.2 Roof Structure Upgrades**

The rafters must be connected to the wall plate by steel strap tie to stiffen the roof structure, and bring it into compliance with current code. Rafter tails need concealed sister repair/extensions in a number of locations.

### **4.2.3 New Foundation & Foundation Wall**

The building will be relocated to the new Museum campus and onto a new concrete foundation. This work will involve: excavation, strip footings and construction of a reinforced foundation wall, crawlspace slab, and installation of rigid insulation on the inside of the foundation wall. The new foundation wall will be constructed to situate the new floor level height at the original floor level height, as estimated from historic photography. This work is part of the current Museum Addition contract.

### **4.2.4 Hazardous Material Remediation**

No asbestos remediation will be required, but procedures for working in and around lead-containing materials (original lead paint) and compliant disposal of lead paint scrapings will be required.

### **4.2.5 Service System Trenching for New Electrical Service**

New trenching will be provided to supply electrical service conduit to the building in the new location as part of the Museum Addition contract.

### **4.2.6 New Electrical Service**

A new electrical service connection to the building will feed a sub-panel in the storage room.



#### **4.2.7 Chimney Restoration**

The chimney above the roof line will be reconstructed at the new location, utilizing salvaged heritage brick to match the surviving brick. Copper flashing and step flashing will be provided to waterproof the roof penetration.

#### **4.2.8 Front Stoop Reconstruction**

The small gable-roofed entry stoop, clad in cedar board and batten cladding to match the building, will be constructed. Historic photography provides some guidance on the character of this missing element.

#### **4.2.9 Front Stair Reconstruction**

New front entry stairs will be reconstructed to the original four risers. Guardrails with handrails will be constructed to meet current code.

#### **4.2.10 Window and Door Restoration**

The exterior doors have been removed and new period-style frame and panel doors will be installed, such as five panel door for the rear and a half-light over two panels at the front. The windows are in generally good condition, although some glazing requires paint stripping. A colour analysis should be undertaken to determine the original colour scheme, as a guide for new paint colours.

#### **4.2.11 Accessible Ramp**

As an assembly occupancy, accessibility is a necessary code upgrade and a new concrete ramp to the rear, wrapping around the side of the building will be constructed, in compliance with BC Building Code. The guardrail will be constructed in wood to integrate with the heritage building, while the concrete ramp fits well with the concrete site works.

#### **4.2.12 Sprinklering & Fire Alarm**

Although not required for this use and size of building by the building code, sprinklering saves lives and is added preservation protection for this highly combustible building. A fire alarm is required to be installed when a sprinkler system is installed, which further improves the building's life and safety performance. A new water service will be required.

#### **4.2.13 Electrical**

New electrical distribution and lighting systems will be installed. Suspended period lighting fixtures, such as enameled metal shade pendants or schoolhouse pendants would be appropriate lighting fixtures for the open space, likely with contemporary wall/task lighting.

#### **4.2.14 Interior Features/Upgrades**

The current interior wall liner should be removed and the attachment damage repaired. The interior does not appear to have been painted, but this will be confirmed when the original finishes are exposed. A new accessible washroom will be installed in one rear corner and a new storage room installed in the

other rear corner of the open space. The sprinkler double check and control vertical valve train and new electrical sub-panel will be located in the storage room.

#### 4.2.15 Select Wall Remediation

Water ingress at the existing southeast corner at the roof had created damage to interior stud framing, the timber sill and limited damage to the wood cladding and concealed sheathing. Select insitu repairs including sistering the lower studs, select replacement of the bottom plate and sill and some limited replacement of wood cladding and sheathing will be required.

#### 4.2.16 Exterior Painting

To protect the wood, and increase its longevity, the exterior of the building will be prepared by scraping off of all loose paint, spot primed and repainted. Trim, door and window elements including: fascia, corner trim, window & door trim, window frame, door, and water table, as well as the board and batten cladding, will be painted in accordance with the colour analysis.

#### 4.2.17 Rainwater Evacuation System

Installation of a new rainwater leaders serving all the roofs and a new gutter on the stoop will be provided.

#### 4.2.18 New Exit Lighting & Emergency Lighting

To improve safety, new exit lighting and emergency lighting will be installed.

#### 4.2.19 Heating System Upgrades

A new electrical furnace installed over the new storage room and connected to an exterior electric air-to-air heat pump system mounted on a pad adjacent to the building, and screened by landscape, will provide the necessary heating, or cooling for the building.

#### 4.2.20 New Foundation Drainage System

A new foundation drainage system connected to the site storm drainage system will be installed to ensure the crawlspace slab remains dry.

## 5 CONSERVATION STANDARDS

The following are the standards that define the principles of good conservation practice, and an assessment of how they relate to the proposed interventions for 1881 Surrey Town Hall.

CONSERVATION STANDARD		CONSERVATION STRATEGY
GENERAL STANDARDS FOR ALL PROJECTS		
1	<i>Conserve the heritage value of a historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.</i>	The building will be relocated to the Surrey Museum campus's heritage precinct to the north of the museum. It will be sensitively restored, rehabilitated and preserved in a manner that maintains and enhances its



		heritage character. The new stand-alone site condition will be much closer to the original context than the current building-impacted condition.
2	<i>Conserve changes to a historic place, which over time, have become character-defining elements in their own right.</i>	The building, once extracted, will be free of all alterations.
3	<i>Conserve heritage value by adopting an approach calling for minimal intervention.</i>	The proposed interventions will restore the school to its early appearance and allow sensitive rehabilitation in keeping with the building's heritage value.
4	<i>Recognize each historic place as a physical record of its time, place &amp; use. Do not create a false sense of historic development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.</i>	Proposed interventions will comply with this standard, but also allow respectful rehabilitation to meet modern standards for its continued use by the Surrey community. The new accessible ramp will be discernible as new construction, and the guardrail detailing executed in wood will integrate with the heritage building.
5	<i>Find a use for a historic place that requires minimal or not change to its character-defining elements.</i>	The proposed new use will be educational programming, and involve minimal change to the building's character-defining elements.
6	<i>Protect, and if necessary, stabilize a historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.</i>	A new building foundation is to be constructed at the new site prior to the building relocation from the current site. No delays are expected in rehabilitating the building once it has been relocated to the new site.
7	<i>Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.</i>	This report identifies deficiencies and proposed interventions which retain or restore character-defining elements, and allow respectful rehabilitation to allow future use.
8	<i>Maintain character-defining on an on-going basis. Repair character-defining elements by reinforcing the materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.</i>	A maintenance plan in compliance with this standard should be implemented.
9	<i>Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable upon close inspection. Document any intervention for future reference.</i>	This conservation plan will provide guidance to the rehabilitation design to ensure maintenance of the building's heritage character-defining elements. Implementation measures will include the oversight of an independent heritage consultant.
<b>ADDITIONAL STANDARDS RELATING TO REHABILITATION</b>		
10	<i>Repair rather than replace character-defining elements. Where character-defining elements are</i>	The proposed intervention approach will comply with this Standard.



	<i>too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.</i>	
11	<i>Conserve the heritage value and character defining elements when creating any new additions to a historic place and any related new construction. Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.</i>	The accessible ramp will be constructed of concrete to integrate with the new site context and the guardrail will be detailed in wood and will be fairly 'light' in character, in an attempt not to detract from the building's heritage character.
12	<i>Create any new additions or related new construction so that the essential form and integrity of a historic place will not be impaired if the new work is removed in the future.</i>	No new additions are proposed at this time. Any future additions proposed should comply with this standard.
<b>ADDITIONAL STANDARDS RELATING TO RESTORATION</b>		
13	<i>Repair rather than replace character-defining elements from the restoration period. Where character defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials, and detailing of sound versions of the same elements.</i>	Good photography provide guidance on the restoration of the removed front stoop, and the surviving cladding and trim provide good direction on the construction and detailing approach.
14	<i>Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.</i>	The heritage features remain largely intact. Any new bricks used in the chimney reconstruction will match in module, colour and texture and new brick will be used in discreet locations with salvaged brick to be used in more prominent locations.

## 6.0 PRELIMINARY OPINION OF PROBABLE REHABILITATION COSTS

### 6.1 Partial Demolition to Allow Extraction & Remaining South Wing Demolition

	Building Relocation – detach, temporarily brace with temporary interior wood bracing and bracing of entry, transport, and secure building on new foundation. Upgrade with new electrical and mechanical services, restored front stoop and restored exterior/interior finishes. Partial demolition of south area of the existing building, construction of a new exterior south wall of the existing building adjacent to the original hall location, construction of a new exterior west wall of the existing building adjacent to the partial demolition, and levelling, grading and gravel surface or turf to the demolished areas.	<b>\$490,734.00</b>
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<b>6.2 Estimated Break-out of Rehabilitation Costs - Building Relocation &amp; Rehabilitation {Referencing Section 4.2 tasks}</b>		
4.2.1.	<b>Building Relocation</b> - Building Relocation to Surrey Museum Campus heritage precinct – detach, transport, and secure building on new foundation.	\$41,300.00
4.2.1.	<b>Temporary Bracing for Move</b> - Temporarily brace with temporary interior wood bracing and bracing of entry for transport, and secure building on new foundation.	\$9000.00
4.2.1.	<b>Line Relocations</b> (Route from current location to Surrey Museum Campus – estimate for BC Hydro, Telus, Cable)	\$14,000.00
4.2.2	<b>Roof Structure Rehabilitation</b> – install connector tie at rafters & end plate, install angle connectors at hip joints, repairs to rafter tails	\$7200.00
4.2.3	<b>New Foundations</b> - New Foundations and foundation wall at new site (excavation, forming of perimeter strip footing and foundation wall for a reinforced concrete foundation, interior beam strip footing and framed crib bearing wall, crawlspace slab, rigid insulation to inside of foundation wall) <b>{Work included in current Museum Addition Contract}</b>	\$0.00
4.2.4.	<b>Hazardous Material Remediation</b> - Hazardous Material Remediation (no asbestos remediation required, only adherence to WorkSafeBC procedures for work in and around lead-containing materials (original lead paint) and compliant disposal of scraped lead debris	\$4500.00
4.2.5.	<b>Service Trenching</b> - New trenching and electrical conduit installation for a new building electrical service. <b>{Work included in current Museum Addition Contract}</b>	\$0.00
4.2.6.	<b>New Electrical Service/Distribution</b> - New electrical service to a subpanel located in the new storage room, as well as new electrical distribution for lighting, receptacles, new lighting fixtures, air handling unit, hot water heater and ventilation fans. This also includes for new lighting fixture allowance.	\$24,300.00
4.2.7.	<b>Chimney Restoration</b> – bracing and repointing of existing chimney over the new storage room, reconstruction of the chimney above the roof line with matching salvage or cut-down new red brick, copper flashing/step flashing at the roof penetration, and roof cap.	\$9500.00
4.2.8.	<b>New Front Stoop</b> – framing, cladding and roofing of new front stoop	\$11,500.00
4.2.9.	<b>New Wood Front Stairs</b> – construction of new open riser wood front stairs with wood guardrails	\$3500.00
4.2.10	<b>Window and Door Restoration</b> – restoration as required to existing muntined, single glazed wood double hung windows and reconstruction of new wood frame-and-panel wood doors for the 1881 Town Hall front and rear doors.	\$17,200.00
4.2.11	<b>Accessible Ramp</b> – A new concrete accessible ramp wrapping around the side and rear of the building to the rear door will be constructed with a new wood guardrail and metal handrails. <b>{Work included in current Museum Addition Contract}</b>	\$0.00
4.2.12	<b>New Sprinkler/Fire Alarm Systems</b> – New sprinkler and fire alarm systems will be installed. Trenching, water supply, fire alarm system site conduit/wiring and tie-in to the Museum fire alarm system are part of the Museum contact. <b>{Work partially included in current Museum Addition Contract}</b>	\$13,400.00
4.2.13	<b>Interior Features/Upgrades</b> – The existing wall liner will be removed and the state of surviving interior wall cladding and window casing assessed, with a restoration plan determined following this exposure/assessment – a \$5000.00 allowance for window casing re-instatement is included. A new accessible washroom will be installed in one rear corner, adjacent to the rear entry, and a new storage room installed in the other rear corner. Accessible washroom accessories would be provided. Although the edge condition may need some	\$26,885.00



	further work, the existing vinyl floor surface is in good condition and will be retained. New walls/rooms will be painted, and a final finishing scheme for the original interior surfaces suspended until they are exposed.	
4.2.14	<b>Select Wall Remediation</b> – Water ingress at the existing southeast corner at the roof had created damage to interior stud framing, the timber sill and limited damage to the wood cladding and concealed sheathing. Select insitu repairs including sistering the lower studs, select replacement of the bottom plate and sill and some limited replacement of wood cladding and sheathing will be required.	\$2900.00
4.2.15	<b>Exterior Painting</b> – The exterior surfaces will be prepared and painted to the original colour scheme based on a colour analysis of existing paint layers.	\$19,000.00
4.2.16	<b>Rainwater Evacuation System</b> – New gutters and rainwater leaders will be installed and tied into the site storm drainage system. <i>{Work partially included in current Museum Addition Contract}</i>	\$2900.00
4.2.17	<b>Exit and Emergency Lighting</b> – New emergency and exit lighting will be installed.	\$2400.00
4.2.18	<b>Heating System Upgrades</b> – A new heat pump on a pad adjacent to the building will connect to an electric air handling unit installed over the storage room to provide heating and cooling to the space. Exposed ducts with grilles will provide the new air supply with a return grill at the upper storage room wall.	\$22,000.00
4.2.19	<b>Ventilation System Upgrades</b> – New washroom exhaust and crawlspace exhaust fans and ducting will be provided.	\$2100.00
4.2.20	<b>Plumbing</b> – A new accessible toilet and lavatory will be required, as well as a floor drain in both new rooms, hot and cold domestic supply piping, hot water heater, and air handling unit condensate drainage.	\$12,400.00
4.2.21	<b>General Conditions</b> – The General Contractor will have general conditions applicable to the project, including site supervision, labour, temporary shoring/support and clean-up, at an estimate of 10% of the construction costs.	\$24,598.50
4.2.22	<b>Profit</b> – The General Contractor will have allowed for an approximate 10% profit on the construction costs.	\$24,598.50
<b>TOTAL PRIORITY 1</b>		<b>\$295,182.00</b>

<b>6.3 Estimated Break-out of Rehabilitation Costs - Existing Site Partial Demolition and Remediation</b>		
6.3.1.	<b>Partial Demolition</b> - Partial demolition of the existing building to isolate the 1881 Surrey Town Hall and allow extraction	\$52,000.00
6.3.2.	<b>Service System Adjustments</b> – Rooftop unit disconnection/removal/relocation and ducting/electrical changes, gas line, water and electrical routing adjustments	\$19,200.00
6.3.3.	<b>New Existing Building South Wall</b> – A new exterior wall and roof overhang are needed at the south wall edge adjacent to the partial demolition required for the heritage hall extraction, including foundation alterations. 780 sq.ft. X \$45.00/sq.ft. = \$35,100.00	\$35,100.00
6.3.4	<b>New Existing Building West Wall</b> – A new exterior wall and roof overhang are needed at the west wall edge adjacent to the partial demolition required for the heritage hall extraction, including foundation alterations. 720 sq.ft. X \$45.00/sq.ft. = \$32,400.00	\$32,400.00
6.3.5	<b>New Exterior Doors/Landings</b> - two new exterior doors and landings are required for compliant exiting from the existing building.	\$11,000.00
5.2.6.	<b>Site Clearing &amp; Grading</b> - Clearance and grading of existing site and topping in gravel or turf – 3900 sq.ft. X \$3.40/sq.ft.	\$13,260.00
5.2.7.	<b>General Conditions @ 10%</b> of construction costs	\$16,296.00
5.2.8.	<b>Profit @ 10%</b> of construction costs	\$16,296.00



<b>EXISTING SITE PARTIAL DEMOLITION AND EX BLDG. REMEDIATION</b>	<b>\$195,552.00</b>
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The above costs are net of GST.

## **7 REFERENCES**

Canadian Register of Historic Places. *1881 Surrey Town Hall*. Retrieved March, 2016 from <http://www.historicplaces.ca/en/rep-reg/place-lieu.aspx?id=11420>

City of Surrey. *Surrey Community Heritage Register: 1881 Surrey Town Hall*. Retrieved June, 2016 from <http://www.surrey.ca/city-services/3245.aspx>

Parks Canada (2010). *Standards and Guidelines for the Conservation of Historic Places in Canada*. Her Majesty the Queen in Right of Canada.

## **8 APPENDICES**

### **8.1 Rehabilitation Drawings**

### **8.2 Structural Assessment Report (TDM Projects Ltd.)**

### **8.3 Canadian Register of Historic Places: 1881 Surrey Town Hall (Parks Canada)**

### **8.4 Original Material & Documentation (City of Surrey)**



HISTORIC \_ TOWN HALL



HISTORIC \_ MUSEUM & TOWN HALL

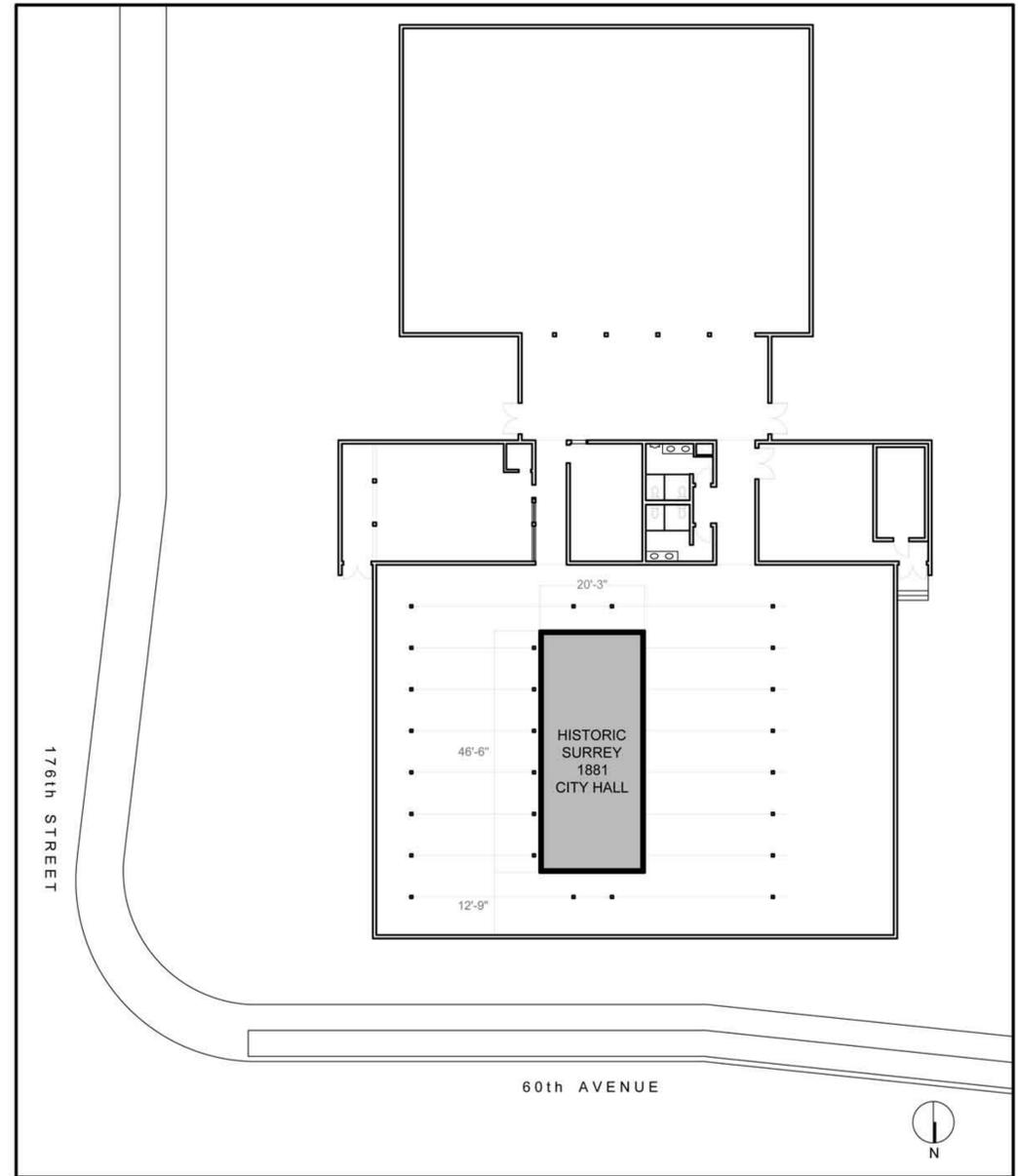


2016 \_ MUSEUM & 1881 TOWN HALL FROM NORTHWEST



2016 \_ MUSEUM & 1881 TOWN HALL FROM SOUTH

**EXISTING BUILDING PHOTOGRAPHS**



**LOCATION PLAN**

**CIVIC ADDRESS**  
6022 176 STREET,  
SURREY, BC V3S 4E7

**LEGAL DESCRIPTION**  
LOT 31 SECTION 8 TOWNSHIP 8 PLAN  
44254 NWD PART NW 1/4, EXCEPT PLAN  
PART ROAD BCP17122

**DRAWING LIST**

EX-00	EXISTING BUILDING SITE PLAN
EX-A1-00	EXISTING GROUND FLOOR PLAN
EX-A2-00	EXISTING ELEVATIONS
EX-A3-00	EXISTING SECTION & RCP
DE-A1-00	DEMOLITION EXTRACTION CONCEPT PLAN
DE-A2-00	DEMOLITION BUILDING ELEVATIONS
DE-A3-00	DEMOLITION EXTRACTION BRACING SECTION & DETAILS
PR-00	PROPOSED BUILDING SITE PLAN
PR-A1-00	PROPOSED GROUND FLOOR PLAN
PR-A2-00	PROPOSED ELEVATIONS
PR-1-00	PROPOSED HALL PLANS & SECTION
PR-2-00	PROPOSED HALL ELEVATIONS

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

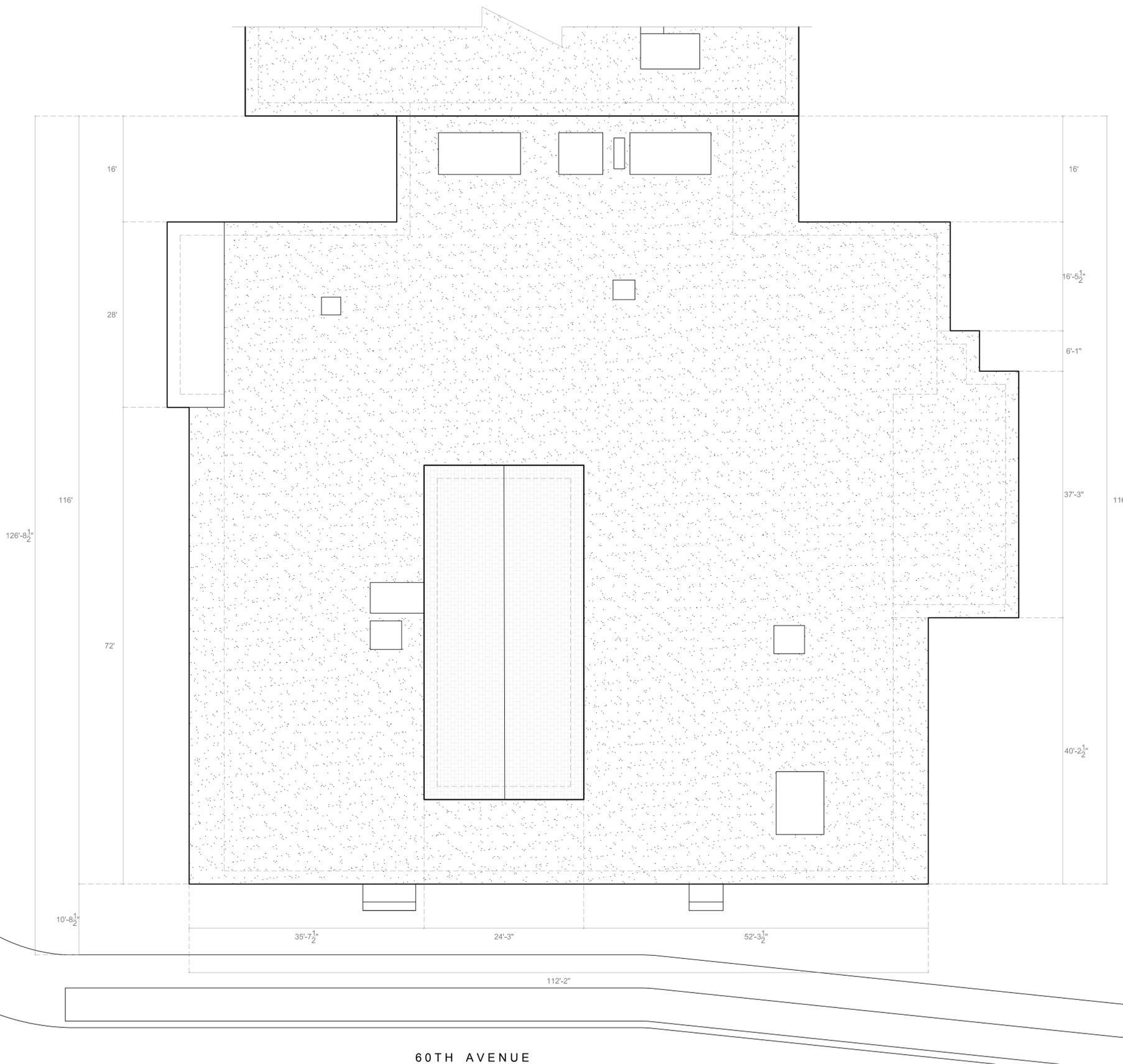
TITLE:  
**COVER SHEET**

DRAWN BY: **SL**  
DATE: **06/23/2016**  
SCALE: **1/16" = 1'-0"**

DWG#: **0-00**

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176TH STREET



60TH AVENUE

**1** ROOF PLAN  
1/8" = 1'-0"



REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

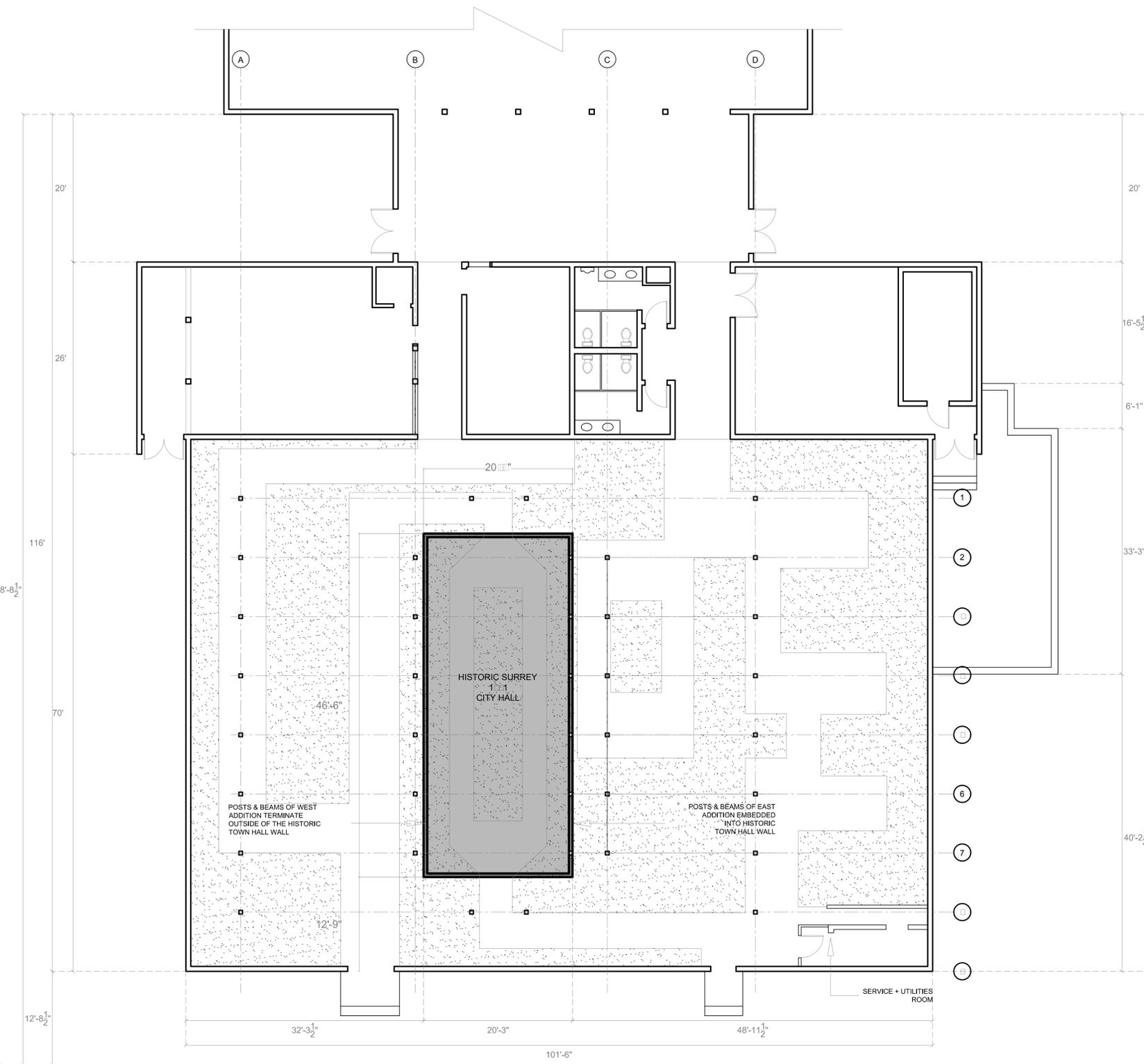
TITLE:  
**EXISTING BUILDING SITE PLAN**

DRAWN BY: SL  
DATE: 06/21/2016  
SCALE: 1/8" = 1'-0"

DWG#: **E-00**

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176TH STREET



60TH AVENUE

**1** GROUND FLOOR PLAN  
1/8" = 1'-0"



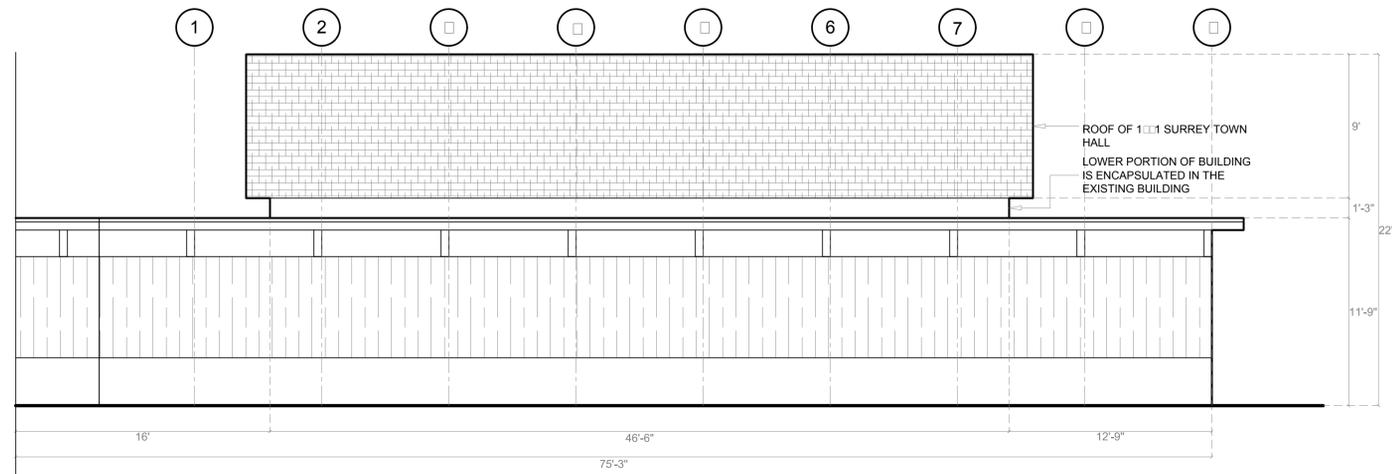
REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

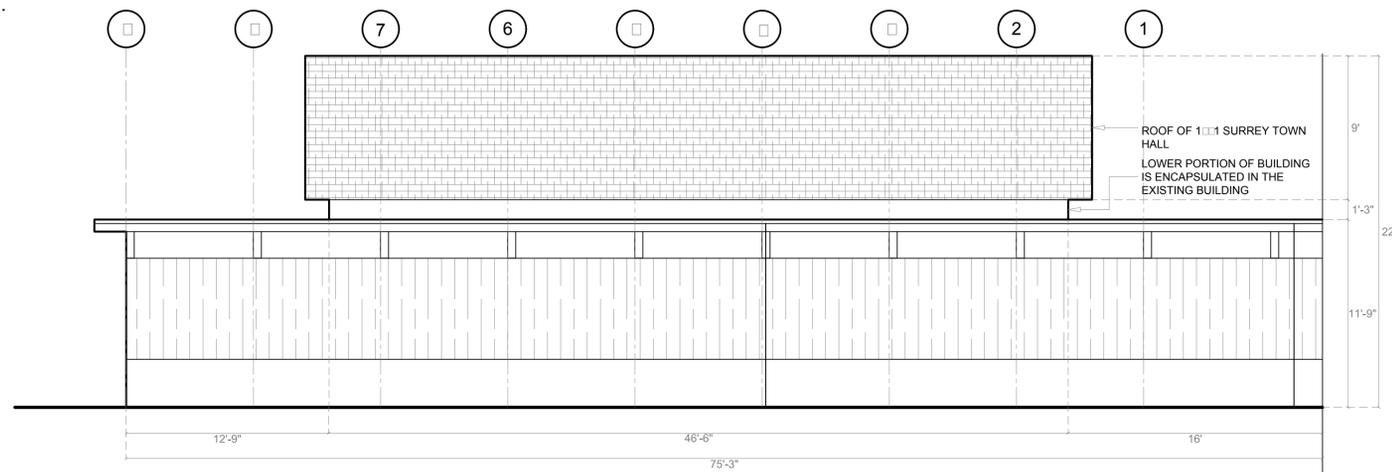
TITLE:  
**EXISTING BUILDING  
GROUND FLOOR PLAN**

DRAWN BY: **SL**  
DATE: **06/21/2016**  
SCALE: **1/8" = 1'-0"**

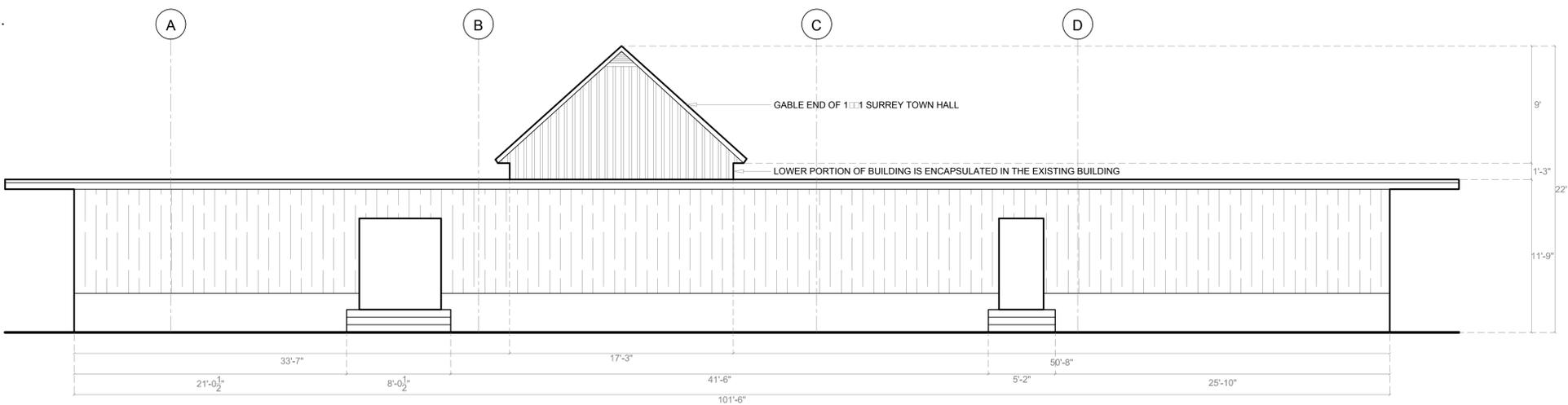
DWG#: **E-A1-00**



**1** EXISTING WEST ELEVATION  
3/16" = 1' - 0"



**2** EXISTING EAST ELEVATION  
3/16" = 1' - 0"



**3** EXISTING SOUTH ELEVATION  
3/16" = 1' - 0"

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE:  
**EXISTING BUILDING ELEVATIONS**

DRAWN BY: **SL**

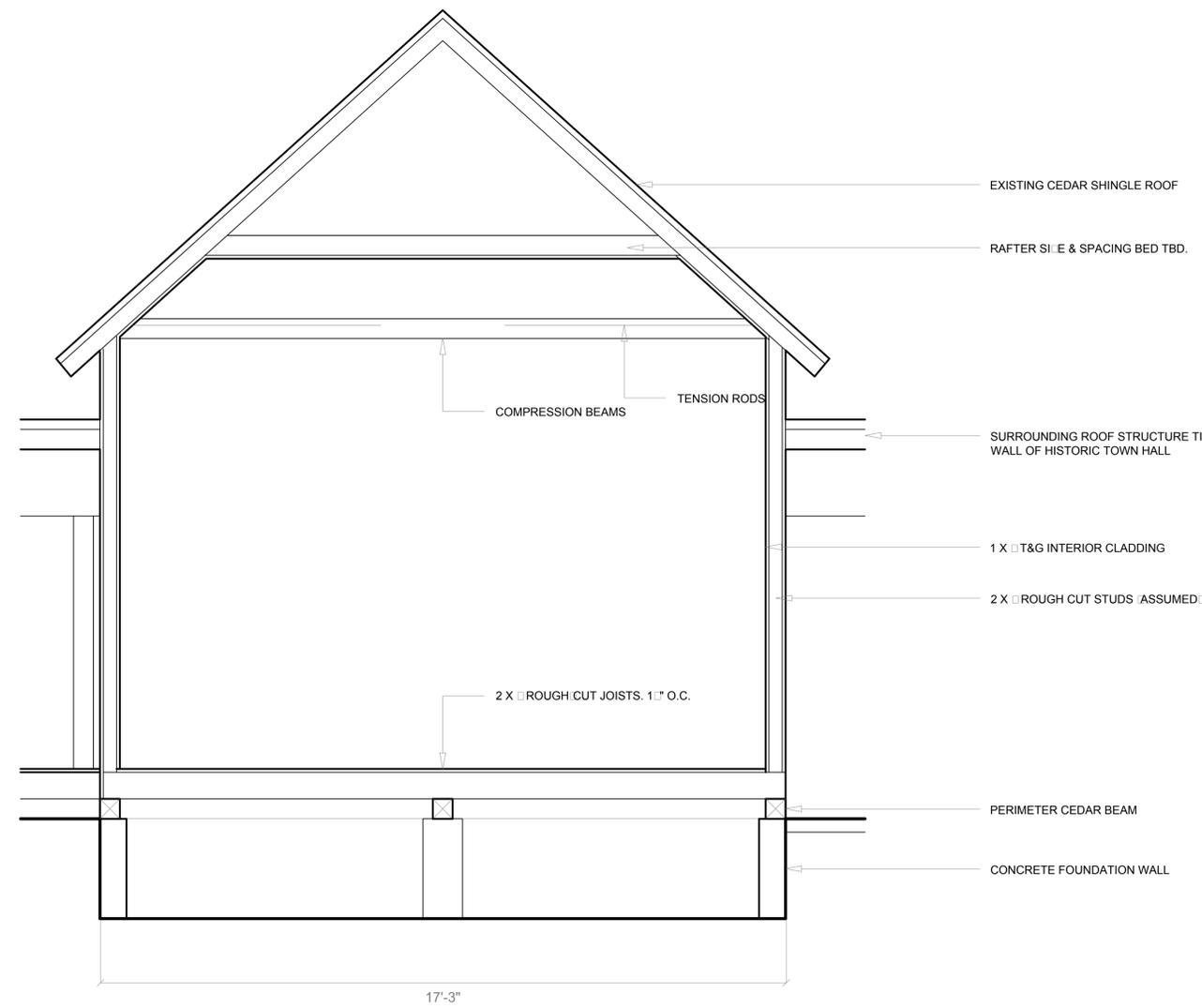
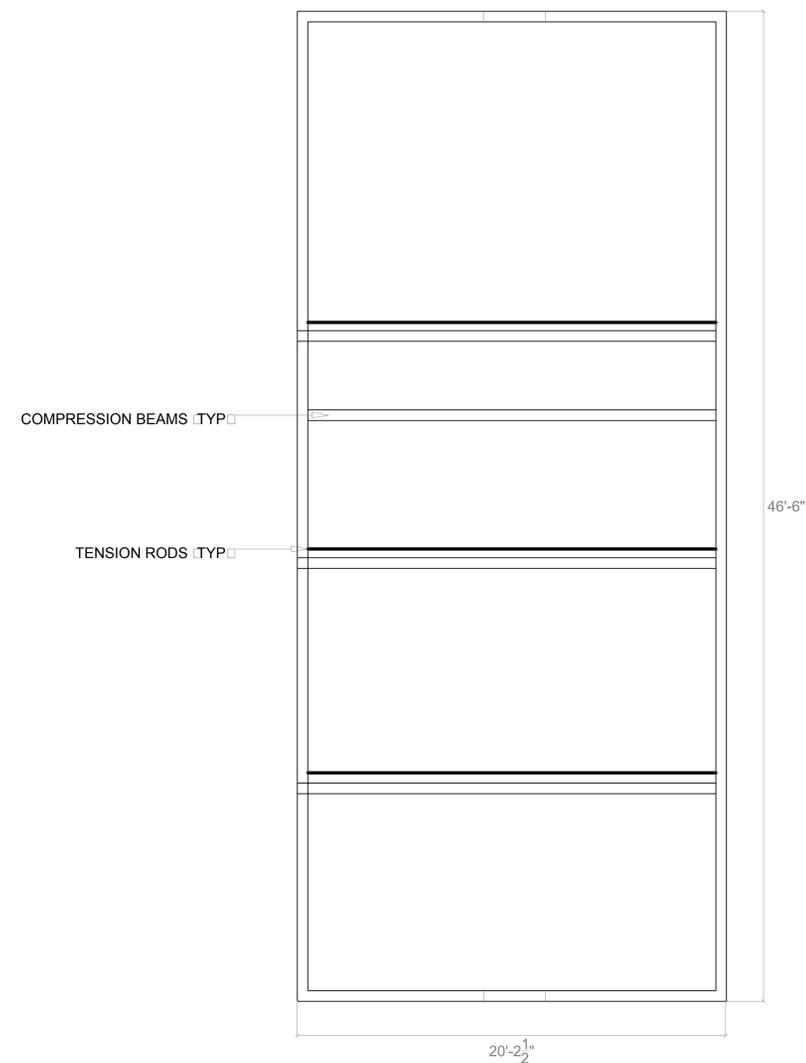
DATE: **06/21/2016**

SCALE: **3/16" = 1'-0"**

DWG#:

**E -A2-00**

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**1** REFLECTED EILING PLAN  
1/4" = 1'-0"

**2** EXISTING BUILDING SECTION  
1/2" = 1'-0"

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE:  
**EXISTING BUILDING SECTION & RCP**

DRAWN BY: SL  
DATE: 06/21/2016  
SCALE: VARIAS

DWG#: **E-A3-00**

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176TH STREET

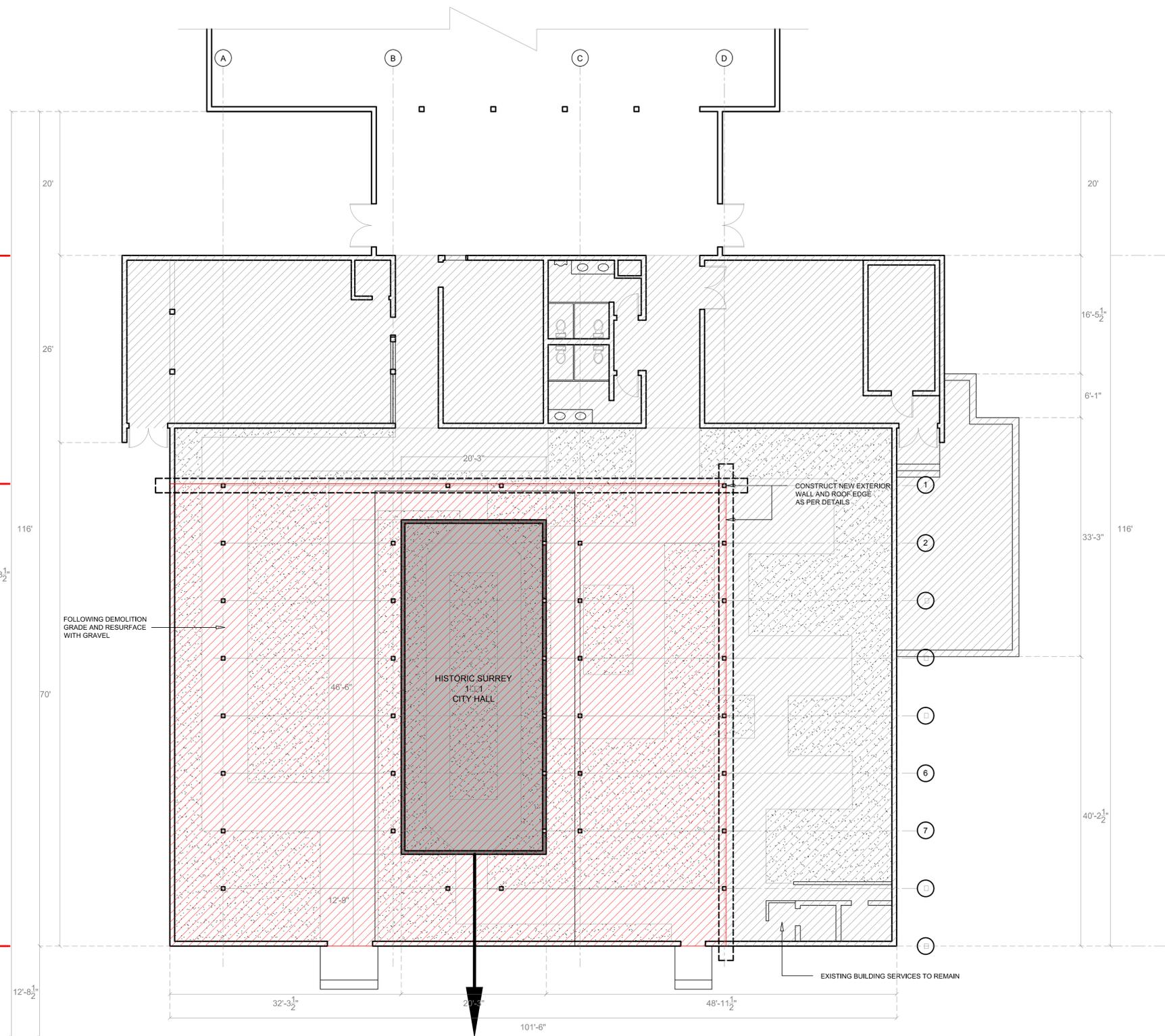
EXISTING

EXISTING

AREA OF STRUCTURE TO REMAIN

AREA TO REMAIN

AREA OF STRUCTURE TO BE DEMOLISHED



FOLLOWING DEMOLITION GRADE AND RESURFACE WITH GRAVEL

CONSTRUCT NEW EXTERIOR WALL AND ROOF EDGE AS PER DETAILS

HISTORIC SURREY CITY HALL

EXISTING BUILDING SERVICES TO REMAIN

HISTORIC CITY HALL EXTRACTION TO THE SOUTH

60TH AVENUE



REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE: **DEMOLITION EXTRACTION CONCEPT PLAN**

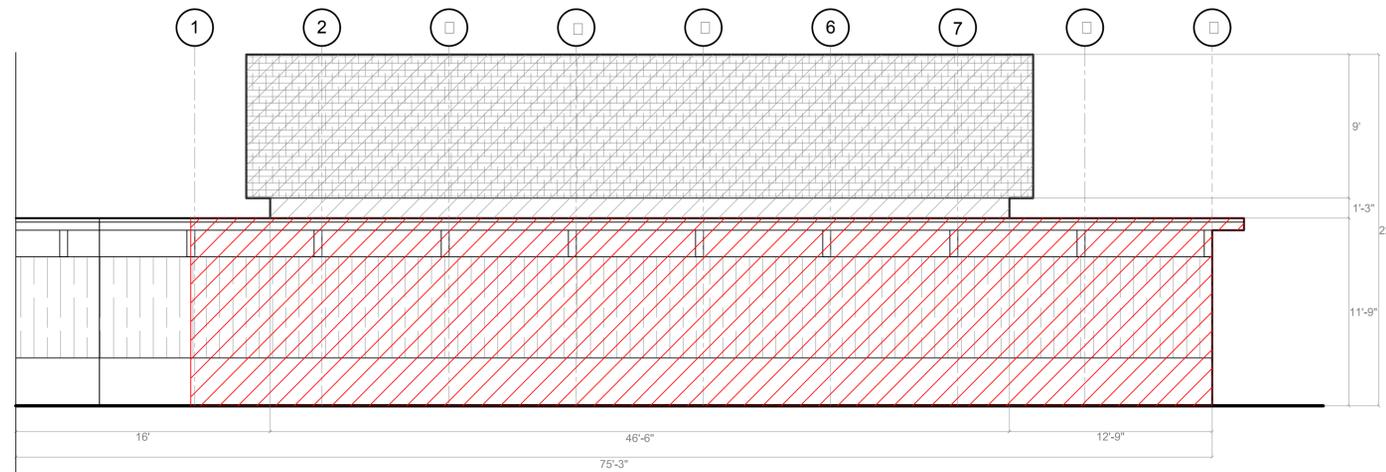
DRAWN BY: SL  
DATE: 06/21/2016  
SCALE: 1/8" = 1'-0"

DWG#: **DE-A1-00**

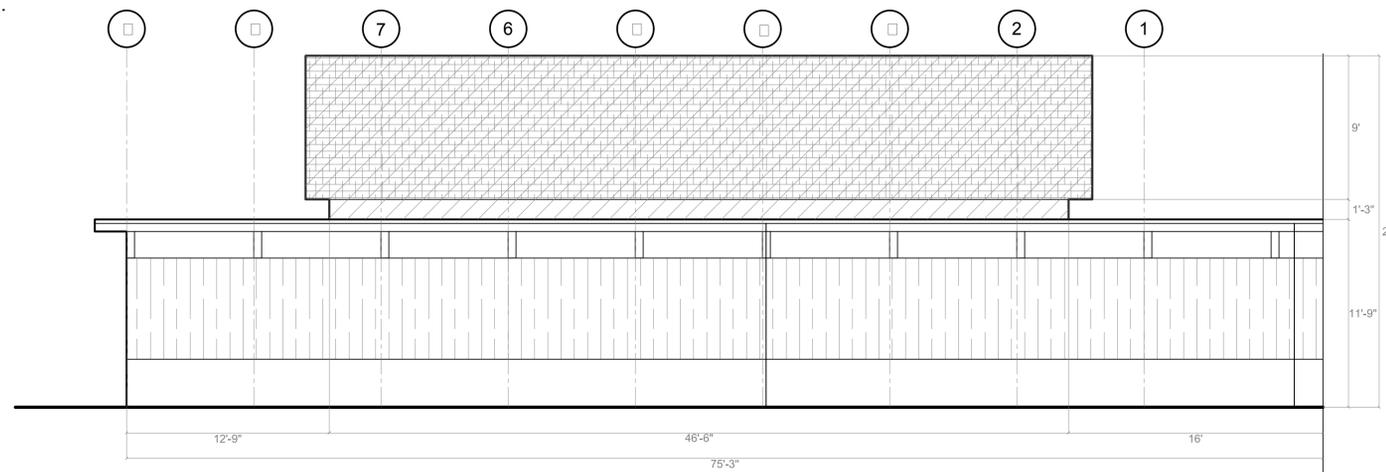
**1** EXTRACTION PLAN  
1/8" = 1'-0"



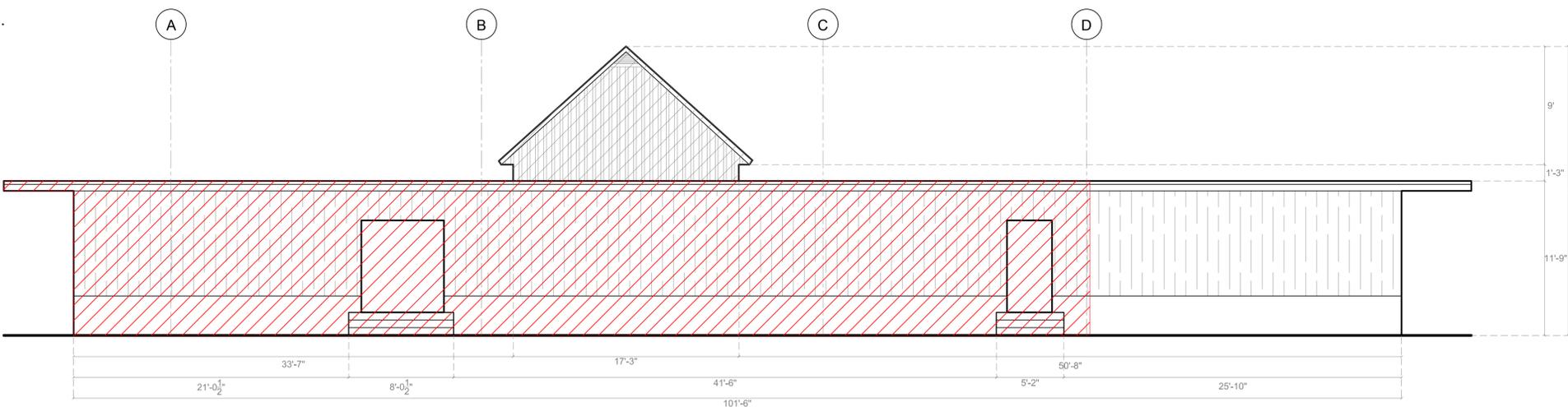
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**1** EXISTING WEST ELEVATION  
3/16" = 1' - 0"



**2** EXISTING EAST ELEVATION  
3/16" = 1' - 0"



**3** EXISTING SOUTH ELEVATION  
3/16" = 1' - 0"

 AREA TO BE RELOCATED

 AREA TO BE DEMOLISHED

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

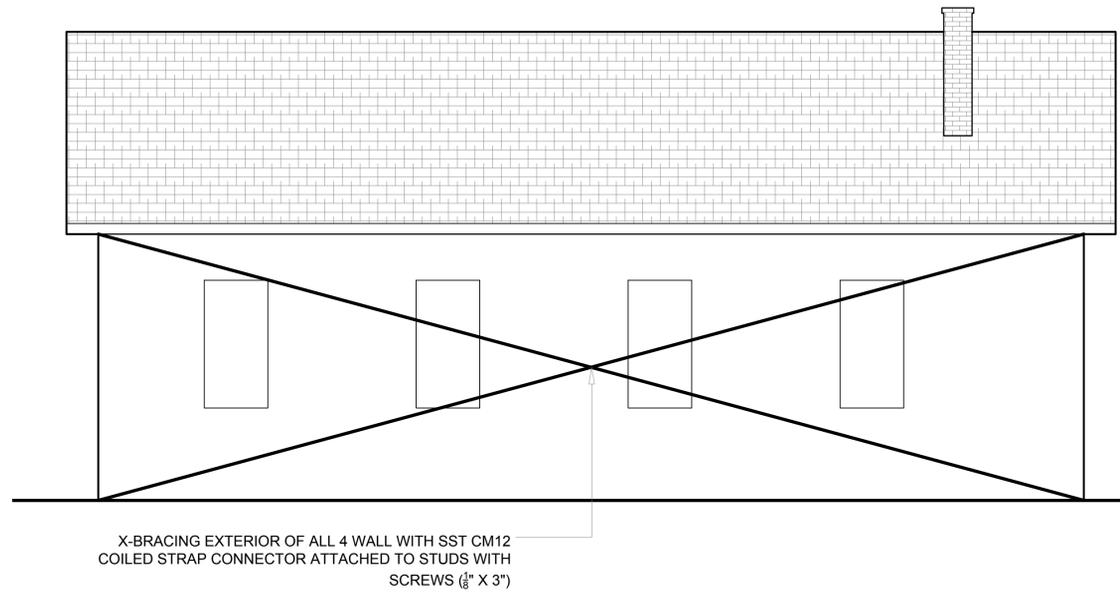
TITLE:  
**DEMOLITION BUILDING ELEVATIONS**

DRAWN BY: **SL**

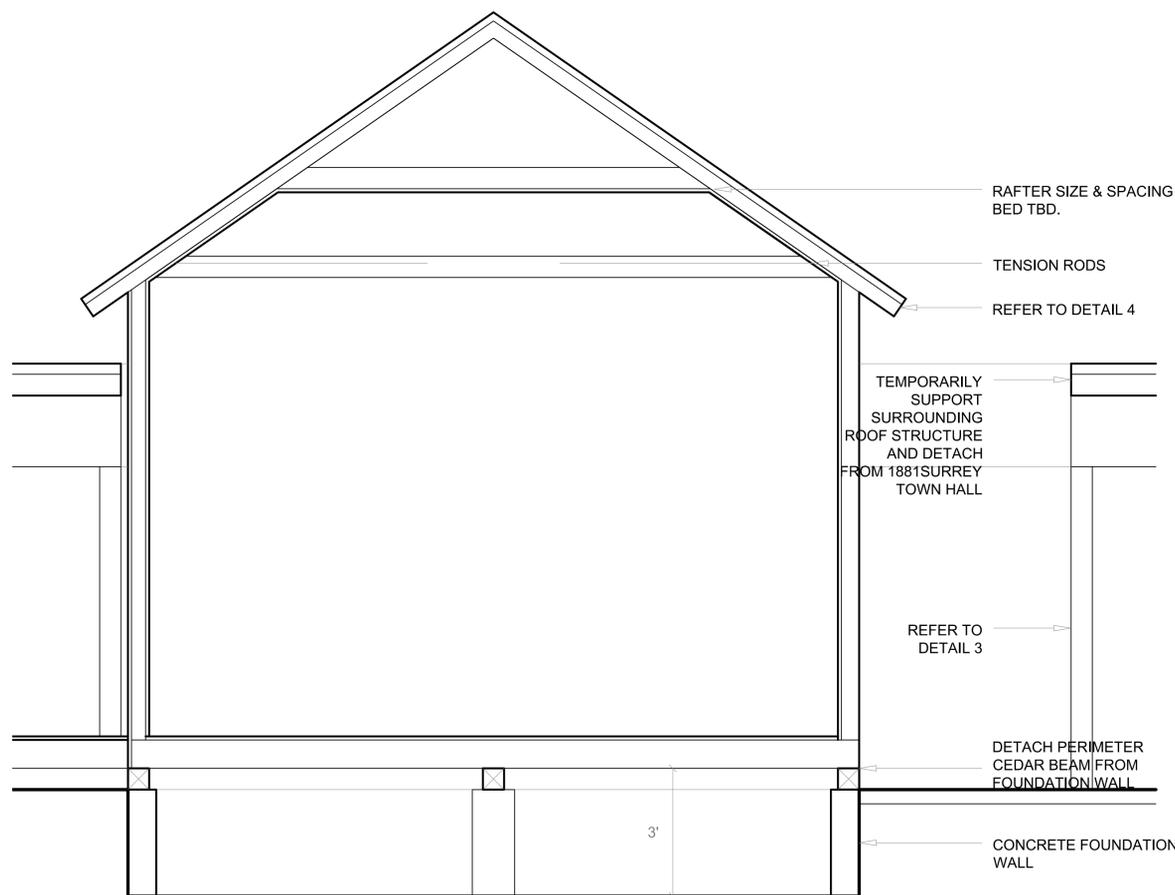
DATE: **06/21/2016**

SCALE: **ARIAS**

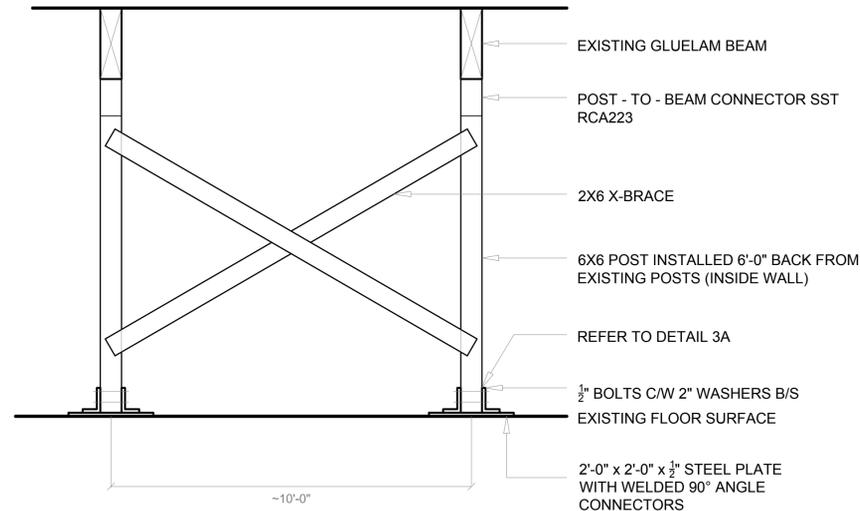
DWG#: **DE-A2-00**



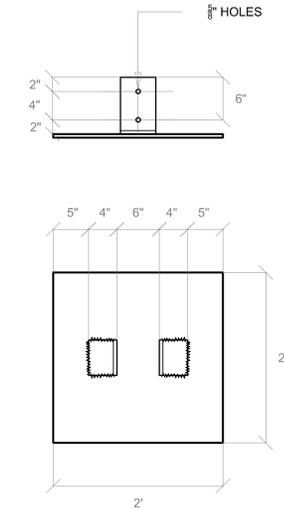
**1** **ALL BRACING DIAGRAM**  
1/4" = 1'-0"



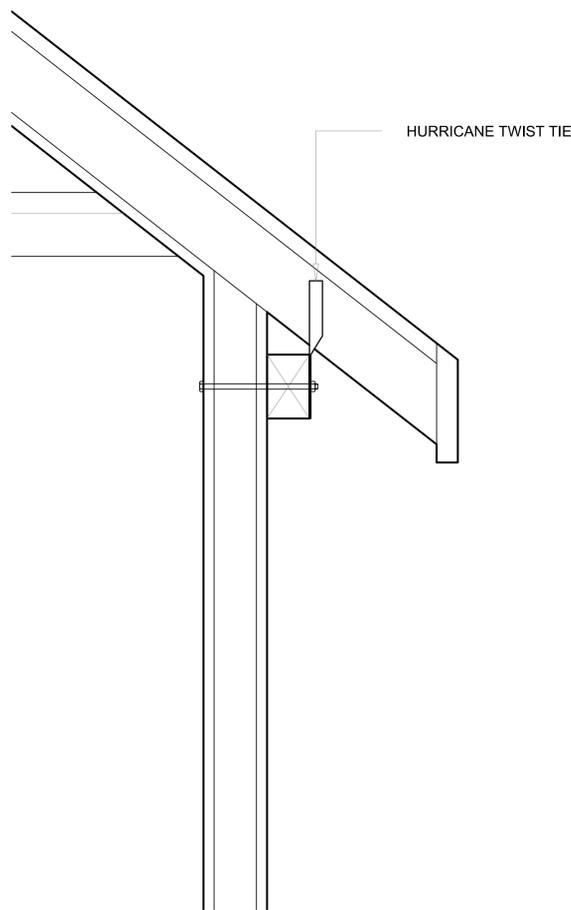
**2** **EXISTING BUILDING SECTION**  
1/2" = 1'-0"



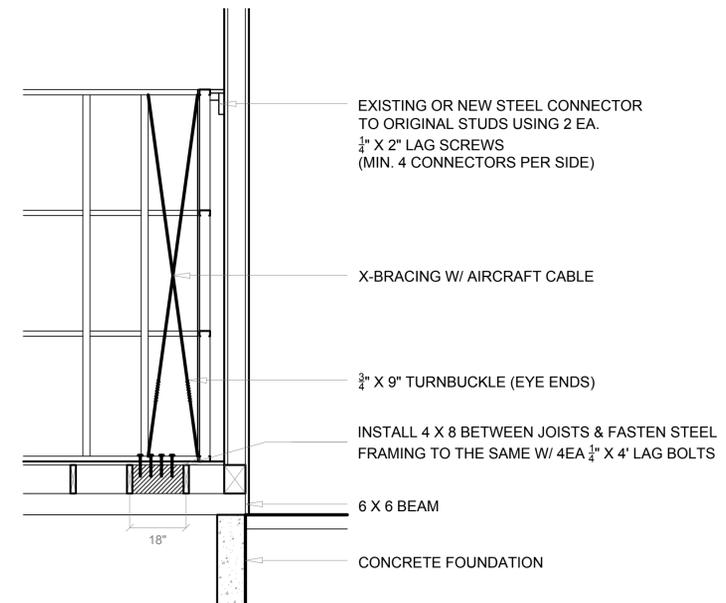
**3** **TEMPORARY SUPPORT FOR EAST ROOF**  
1/2" = 1'-0"



**3A** **PLATE PLATE & SIDE ELEVATION**  
1" = 1'-0"



**4** **ROOF BRACING DETAIL**  
1 1/2" = 1'-0"



**5A** **INTERIOR BRACING SECTION**  
1/2" = 1'-0"



**5** **INTERIOR BRACING PLATE**  
1/2" = 1'-0"

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST. PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

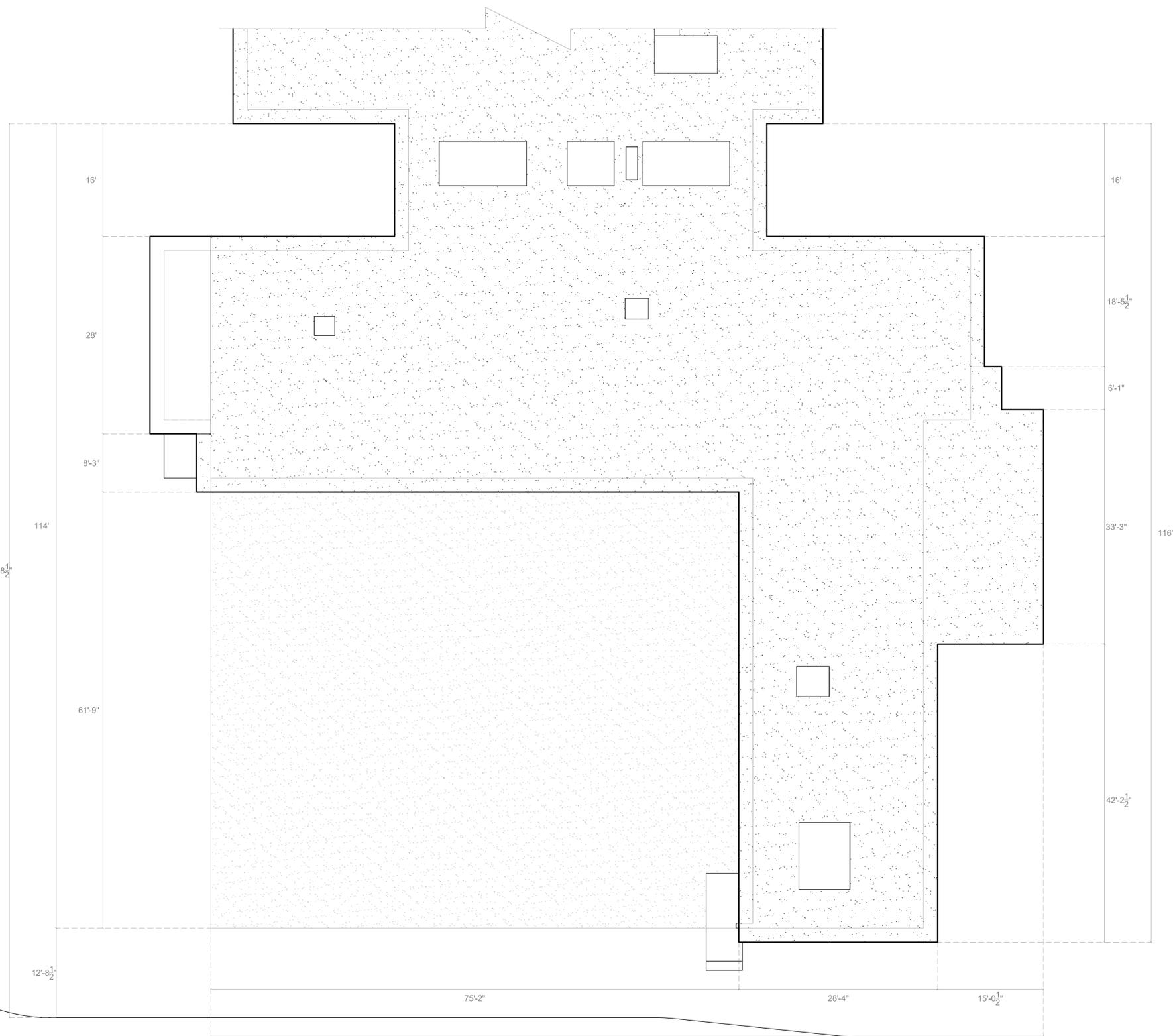
TITLE: **DEMOLITION EXTRACTION BRACING SECTION & DETAILS**

DRAWN BY: **SL**  
DATE: **06/21/2016**  
SCALE: **VARIES**

DWG#: **DE-A3-00**

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176TH STREET



60TH AVENUE

**1** ROOF PLAN  
1/8" = 1'-0"

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

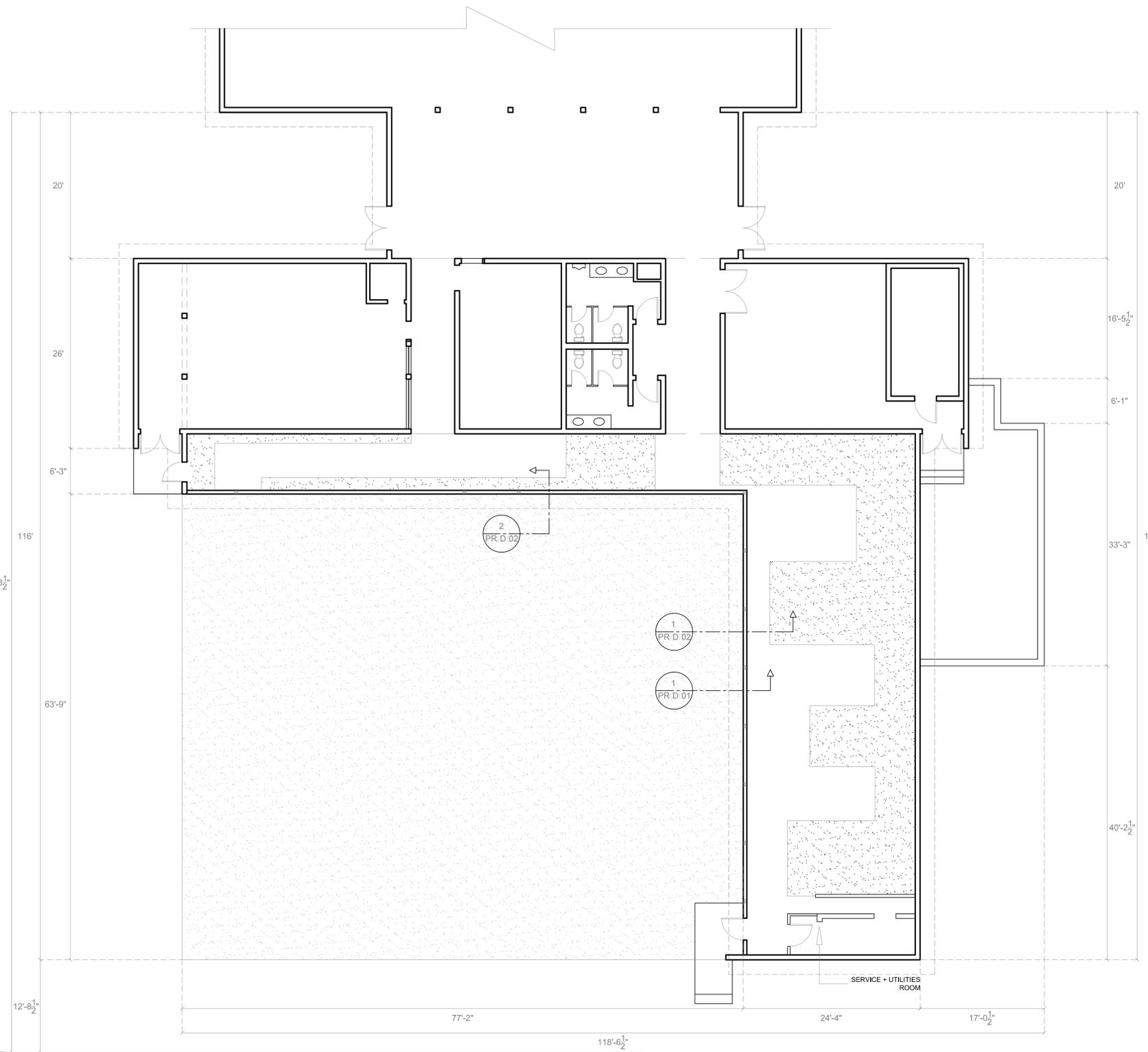
TITLE:  
**PROPOSED ROOF PLAN**

DRAWN BY: **SL**  
DATE: **05/04/2018**  
SCALE: **3/16" = 1'-0"**

DWG#: **PR-00**

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176TH STREET



SERVICE + UTILITIES ROOM

60TH AVENUE

**1** GROUND FLOOR PLAN  
1/8" = 1'-0"

REV.	DESCRIPTION	DATE

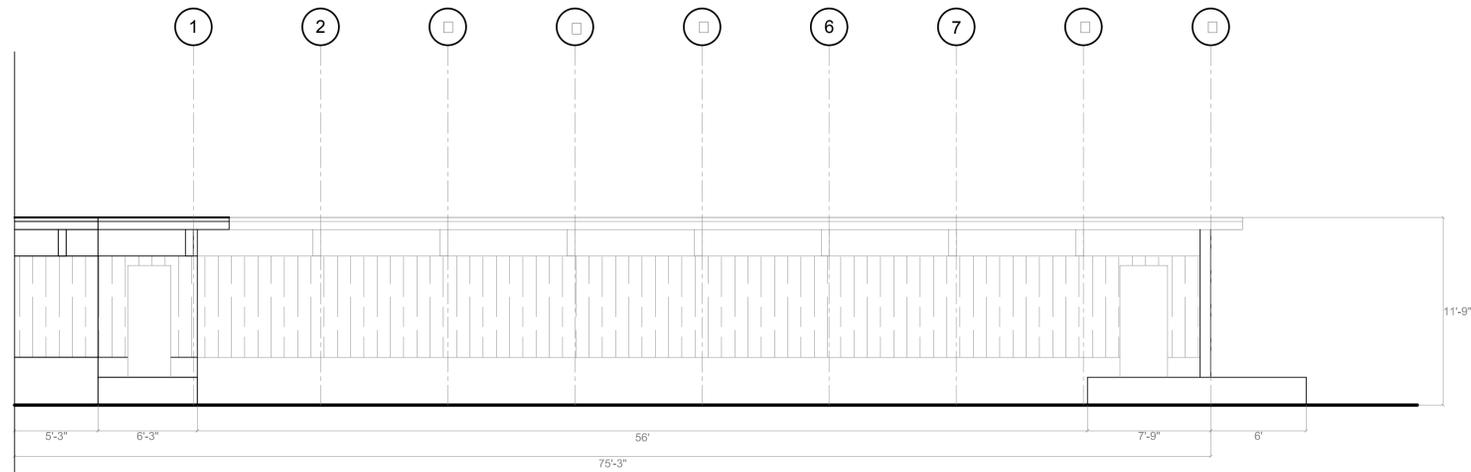
PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE: **PROPOSED GROUND FLOOR PLAN**

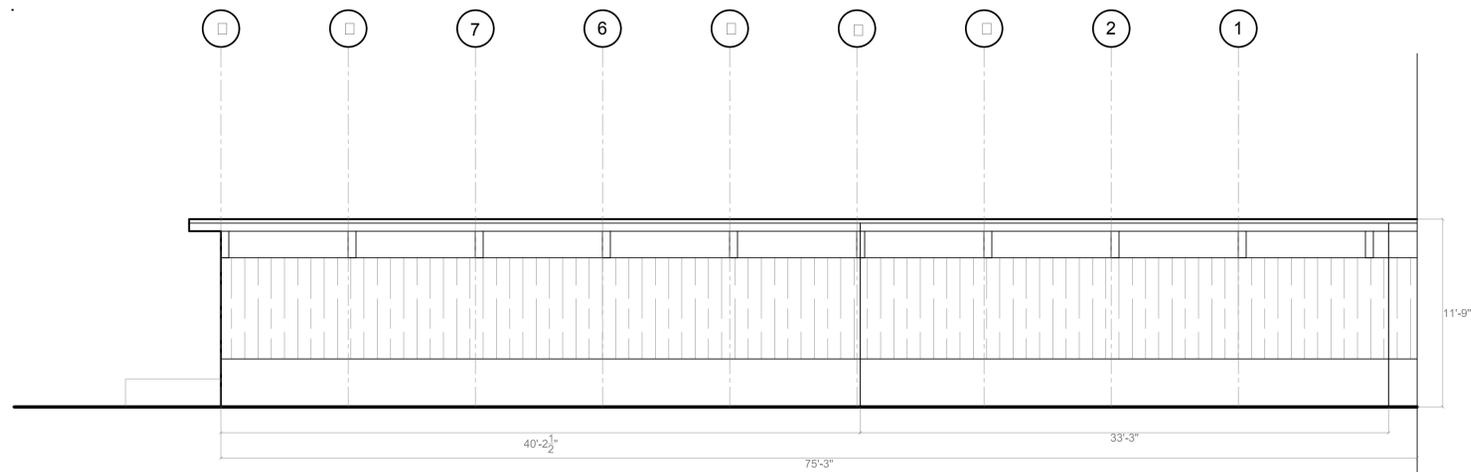
DRAWN BY: **SL**  
DATE: **05/04/2018**  
SCALE: **1/8" = 1'-0"**

DWG#: **PR-A1-00**

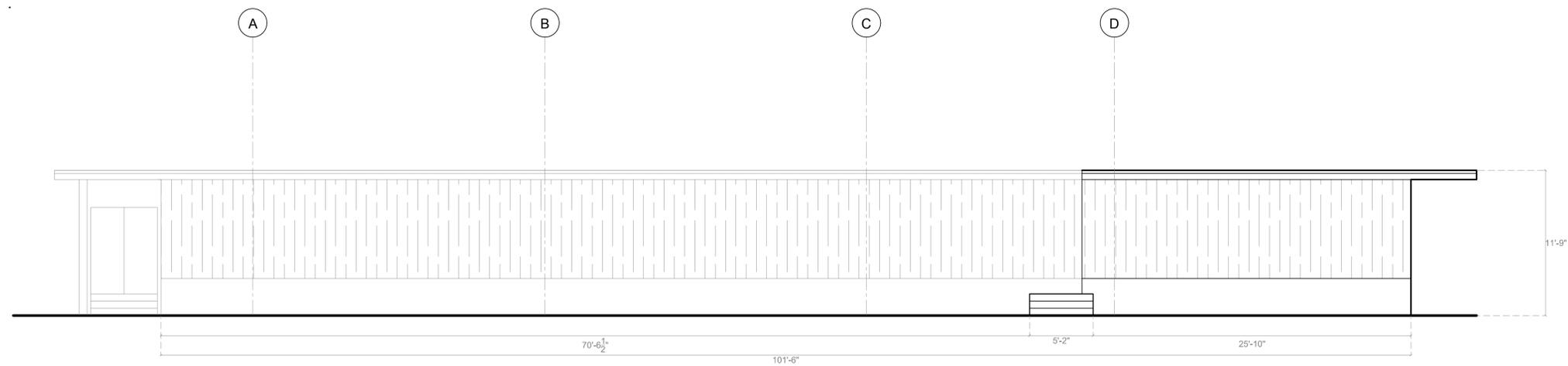
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**1** EXISTING WEST ELEVATION  
3/16" = 1' - 0"



**2** EXISTING EAST ELEVATION  
3/16" = 1' - 0"



**3** EXISTING SOUTH ELEVATION  
3/16" = 1' - 0"

REV.	DESCRIPTION	DATE

PROJECT: **6022 - 176 ST.**  
**PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE: **PROPOSED BUILDING ELEVATIONS**

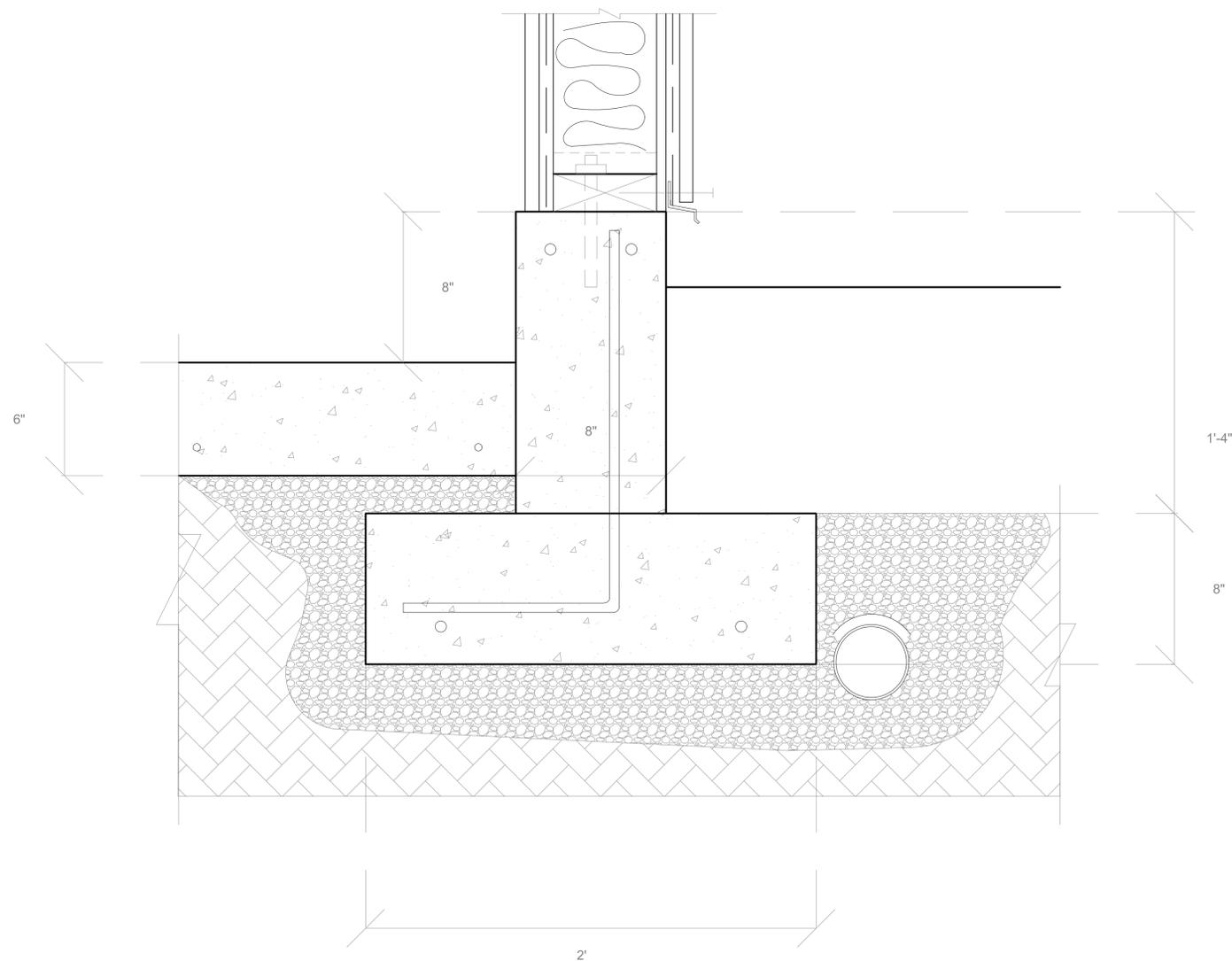
DRAWN BY: **SL**  
DATE: **06/21/2016**  
SCALE: **3/16" = 1' - 0"**

DWG#: **PR-A2-00**

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WALL ASSEMBLY

- 7/8" GWB
- VAPOUR BARRIER
- 2 X 6 STUDS @ 16" O.C
- R15 FIBERGLASS BATT INSULATION
- 1/2" EXTERIOR PLYWOOD SHEATHING
- 2 LAYERS OF #10# BUILDING PAPER
- VERTICAL BOARD SIDING TO MATCH EXISTING



**1** PROPOSED □ ALL □ ASE DETAIL  
3" = 1'-0"

REV.	DESCRIPTION	DATE

PROJECT:  
**6022 - 176 ST. PART  
DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE:  
**PROPOSED WALL  
BASE DETAIL**

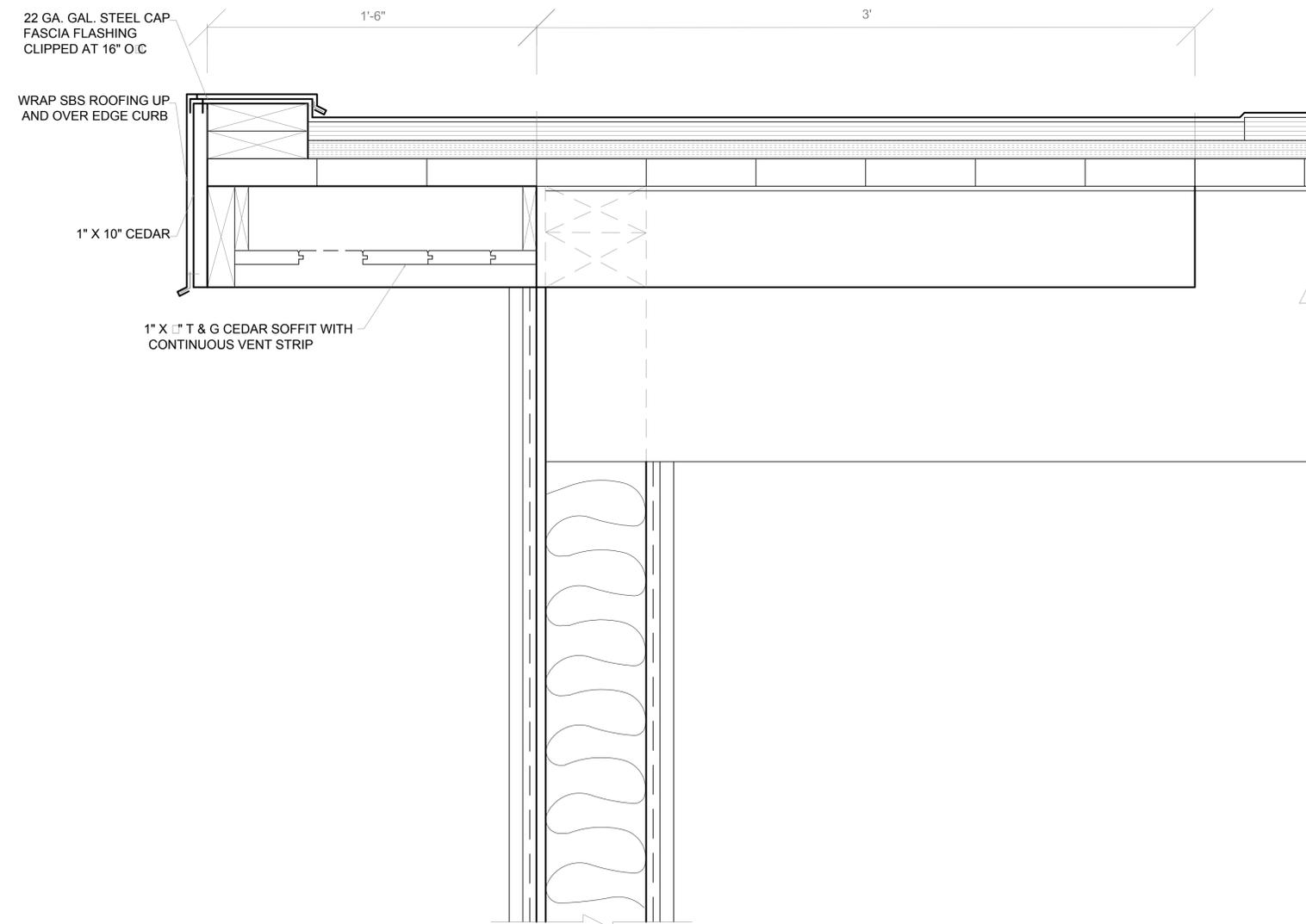
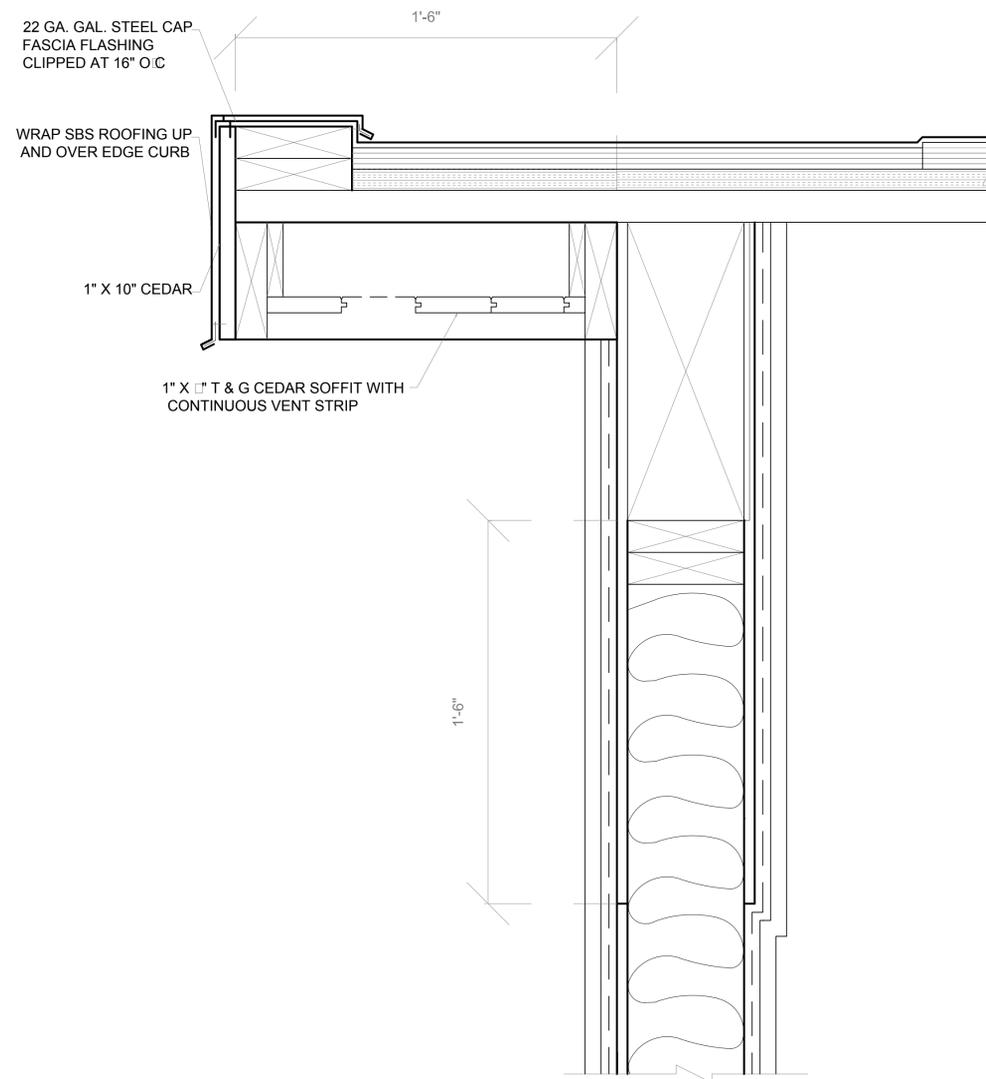
DRAWN BY: **SG**  
DATE: **05/11/2018**  
SCALE: **3" = 1'-0"**

DWG#:  
**PR-D-01**

- WALL ASSEMBLY**
- 7/8" GWB
  - VAPOUR BARRIER
  - 2 X 6 STUDS @ 16" O.C
  - R11 FIBERGLASS BATT INSULATION
  - 1/2" EXTERIOR PLYWOOD SHEATHING
  - 2 LAYERS OF #10 BUILDING PAPER
  - VERTICAL BOARD SIDING TO MATCH EXISTING

- WALL ASSEMBLY**
- 7/8" GWB
  - VAPOUR BARRIER
  - 2 X 6 STUDS @ 16" O.C
  - R11 FIBERGLASS BATT INSULATION
  - 1/2" EXTERIOR PLYWOOD SHEATHING
  - 2 LAYERS OF #10 BUILDING PAPER
  - VERTICAL BOARD SIDING TO MATCH EXISTING

- ROOF ASSEMBLY**
- 2 PLY SBS MEMBRANE TORCHED TO EX. BUR
  - ASPHALT ENPREGNATED SUBSTRATE BOARD TO MATCH BUR HEIGHT
  - 1" RIGID INSULATION
  - 1" CEDAR DECORATING



**1** PROPOSED ROOF DETAIL  
3" = 1'-0"

**2** PROPOSED ROOF DETAIL  
3" = 1'-0"

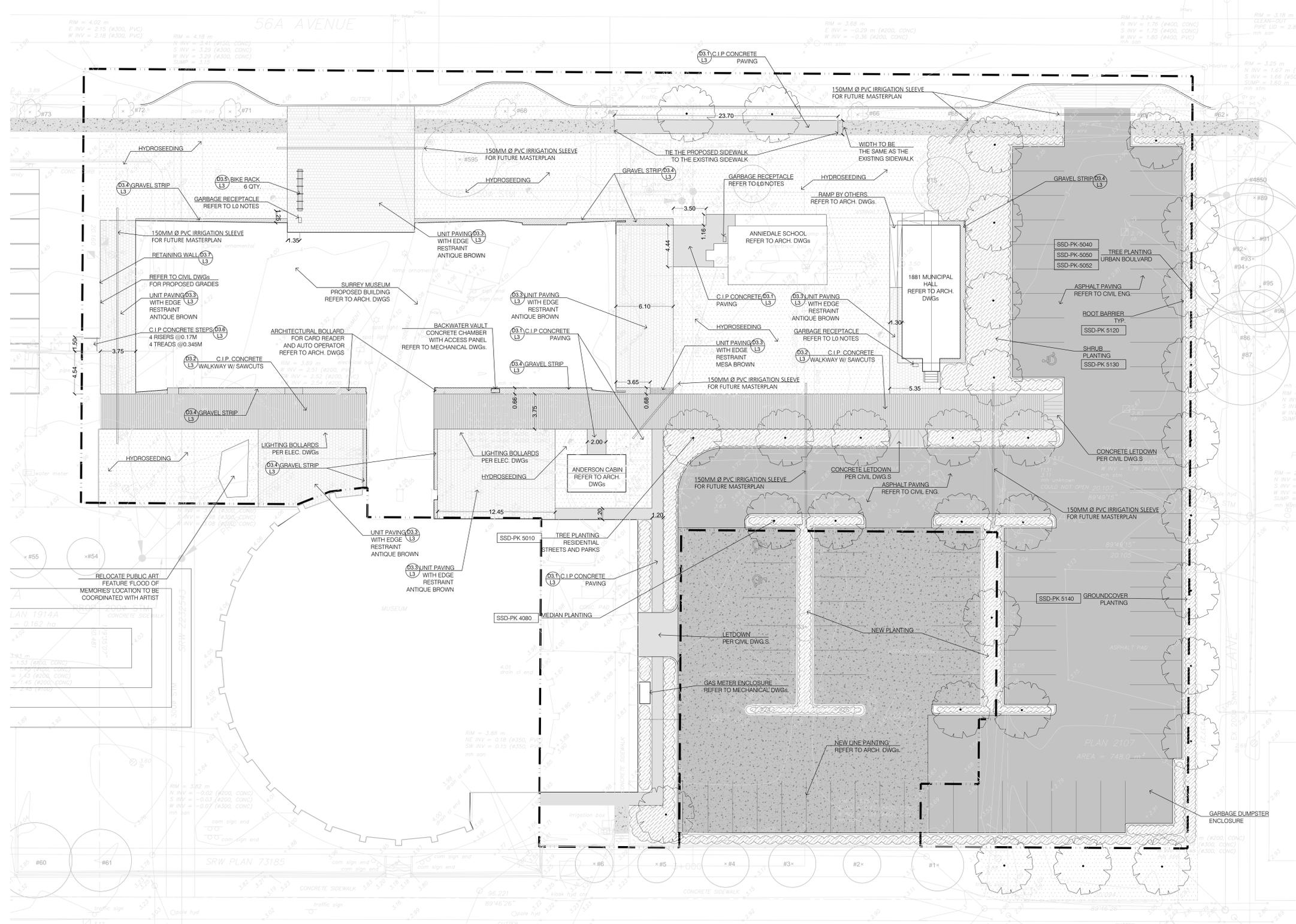
REV.	DESCRIPTION	DATE

PROJECT:  
**6022 - 176 ST. PART DEMO & REPAIR**  
6022 176 STREET, SURREY, BC

TITLE:  
**PROPOSED ROOF DETAIL**

DRAWN BY: **SG**  
DATE: **05/14/2018**  
SCALE: **3" = 1'-0"**

DWG#:  
**PR-D-02**



**MATERIALS LEGEND**

ASPHALT PAVING (NEW)	EXISTING CONCRETE PAVING	SHRUB PLANTING (ALL SHRUB PLANTING TO BE MEDIUM HEIGHT (1M - 1.5M) 450MM DEPTH GROWING MEDIUM)
C.I.P. CONCRETE WALKWAY WITH PARALLEL SAW-CUTS SEE DETAIL 3.2	HYDROSEEDED LAWN (150MM DEPTH GROWING MEDIUM)	EXISTING TREE TO BE RETAINED (REFER TO TREE RETENTION PLAN)
BROADWAY 3' X 18' NOMINAL ANTIQUE BROWN PRECAST CONCRETE UNIT PAVERS - SEE DETAIL D3.3	ASPHALT PAVING (EXISTING)	PROPOSED TREE
C.I.P. CONCRETE PAVING	GRAVEL STRIP	LIMIT OF WORK

SSD-PK 5010 CITY OF SURREY STANDARD DETAIL  
 LX/DX SPACE2PLACE STANDARD DETAIL

**SURVEY BENCHMARK**

REV	DATE	DESCRIPTION	BY

Professional Engineer, in good standing in and for the Province of British Columbia, hereby certifies that the works as herein set out on the attached drawings have been designed to good engineering standards and in accordance with the latest edition of the City of Surrey Design Criteria Manual, the M.C.D., and the City of Surrey Standard Construction Documents (General Conditions, Supplementary Specifications and Supplementary Standard Drawings) adopted by the City of Surrey.

**CONSULTANT**

**CITY OF SURREY**

**CLIENT**

City of Surrey

**TITLE** Surrey Museum Expansion  
Landscape Materials Plan

**LEGAL DESCRIPTION:**  
LOT 1, SECTION 8, TOWNSHIP 8,  
NEW WESTMINSTER DISTRICT,  
PLAN BC11474

**CIVIC ADDRESS:**  
17710 56A AVENUE, SURREY, BC,  
Canada V3S 5H8

**SCALE:** 1:150

**DATE:** (2017.09.22)

**CONSULTANT PROJ. NO.:** 16-003

**DWG. NO.:** L2.1

**DESIGNED:** PW / JC

**DRAWN:** PW / NR

**REVIEWED:** JC

**SURVEY PROJECT NUMBER**

**SURVEY DRAWING NUMBER**

## STRUCTURAL ASSESSMENT FOR RELOCATION OF SURREY 1881 TOWNHALL

The Townhall is located in the Cloverdale Truck Museum site, completely surrounded by structures built after the Townhall was relocated to this site in 1937.

### STRUCTURAL ASSESSMENT OF THE TOWNHALL STRUCTURE.

The Townhall structure walls were placed on a concrete perimeter foundation that created a crawl space about 3' high. The walls are resting on the perimeter cedar beam as this was one of the common foundations for buildings in the 19<sup>th</sup> century in Lower Mainland. The beam is placed on top of the concrete foundation.



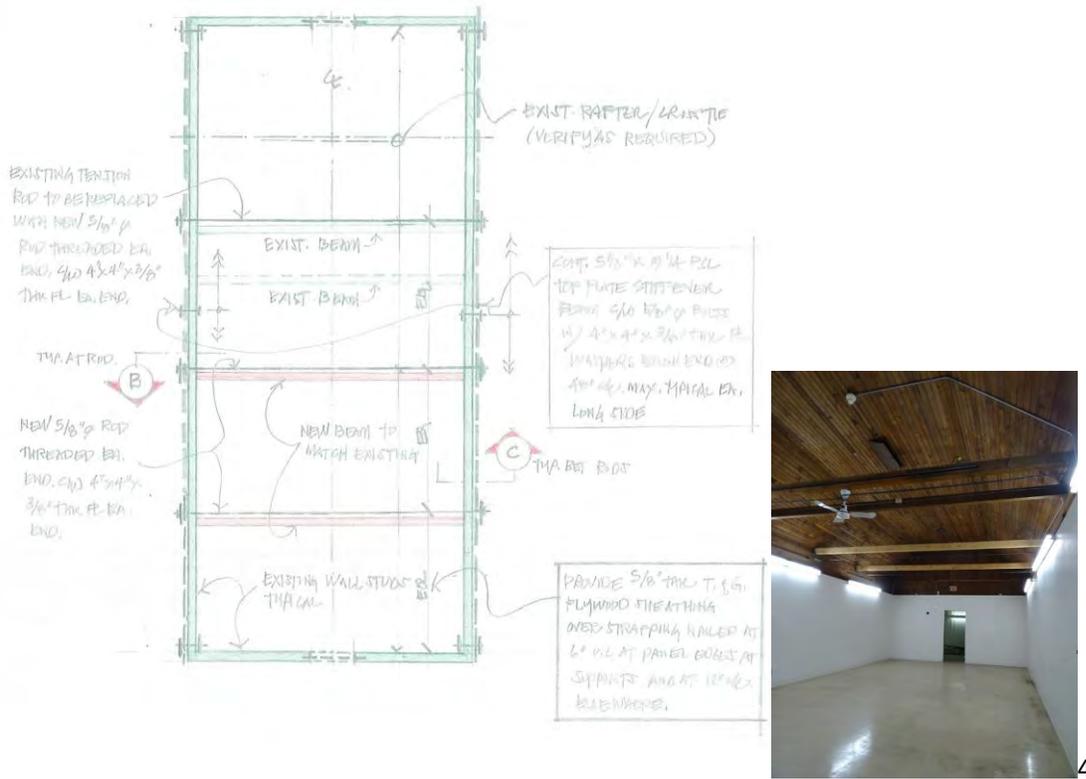
The floor joists are rough cut 2x8 spaced 18" running parallel to the shorter walls, about 20 feet in length. The floor joist are seated on the perimeter foundation beam and on the centrally located 6x6 rough cut beam so that the active load bearing length of the joists is 10 feet. The beam is supported by piers consisting of a combination of concrete blocks, 6x6 timber and 2x8 RC lumber. The joists are shimmed by lumber wedges where required. The floor boards appear to be 2x8 RC lumber.



The floor structure is capable of meeting the assembly loads in compliance with the current building code.

The walls of the Townhall are framed using 2x4 assumed RC lumber for studs and 1x4 T&G horizontal interior cladding. The walls are about 11 feet high. Exterior wall siding was not accessible for inspection.

The superstructure was subject to repairs to correct the sagging roof in the summer of 2014. The then existing one tension rod and two compression beams were augmented by installation of two new similar elements.



This 2014 installation will be very helpful for preparing the structure for the planned relocation.

As there is no access to the attic, we cannot comment on the roof structure other than the roof has been in place for over 130 years and still serves well. The roof cladding indicates that there is a collar tie fixing the rafter pairs and wall top plate from lateral spreading. The cedar shake roofing was replaced in 2015, unfortunately all we can deduce from the inspection photos is that the rafters are about 2 feet o.c. The size of the rafter is unknown.

The 1881 Townhall has been used as a display museum-type facility and for this function an interior secondary wall structure was erected. This consists of 4" steel stud @ 36" o.c. framing attached to the original walls and floor with horizontal bracing and 1/2" drywall sheathing applied to the steel framing that is some 9 feet high. This installation also will be of benefit for the planned relocation as it will be used for bracing the walls for the move.

#### SIE PREPARATION FOR THE MOVE.

The 1881 Townhall is completely surrounded by structures installed following its relocation to the present location. The Townhall has to be moved in southerly direction to 60<sup>th</sup> Avenue as the first step

once the structure is loaded onto lowboy. The entire south side frontage of the current building has to be removed to accommodate the move, including the raised concrete slab and wall foundation.

The north, west and east structures will have to be removed for minimum of four (4) feet measured from the perimeter walls of the Townhall. This would include removal of the foundation, concrete slabs and adjustments to roof supporting structural elements – gluelam beams and supporting columns.



South



West

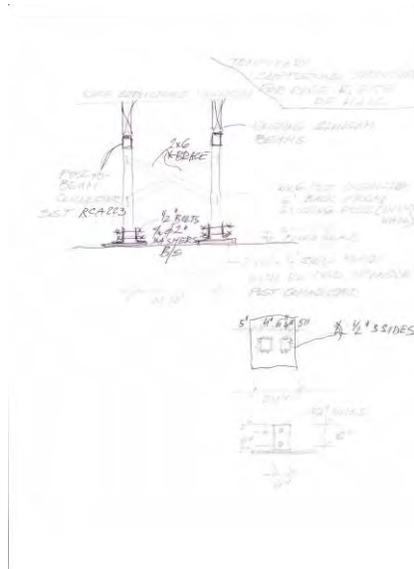


North



East

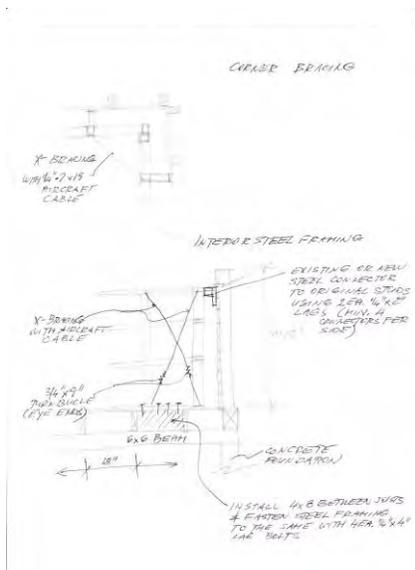
The 6x24 beams will have to be cut back 4 ft. and supported by temporary 6x6 columns allowing for some 24" cantilever as per the following sketch.



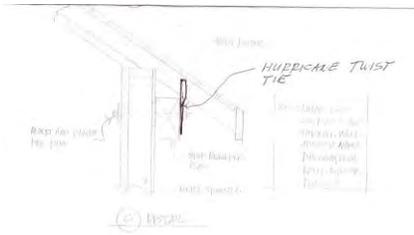
HERE COMES THE SKETCH

### 1881 TOWNHALL STRENGTHENING FOR RELOCATION

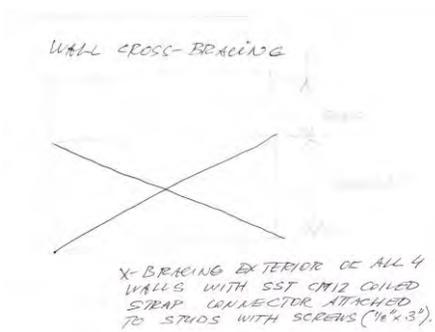
It is proposed to strip the drywall off the interior wall steel framing to expose the original walls. The steel framing shall be used to stiffen the heritage structure by attaching the it to the floor and wall studs. The corners of the structure shall be stiffened and cross-braced as per the CORNER BRACING SKETCH.



The roof rafters shall be attached to the exterior existing stiff beam (installed in 2014) using SST hurricane stiff ties.



The exterior of the building shall be cross-braced using SST CM12 coiled strap ties as per WALL CROSS-BRACING sketch



As the original exterior siding of the 1881 Townhall has been clad with a variety of lumber products (e. g. 1x6 shiplap) this cladding may be retained to apply the cross-bracing and then removed following the relocation.

Thomas Day-Madunicky

TDM Projects Inc.

## 1881 Town Hall

17635 60 Avenue, Surrey, British Columbia, V3S, Canada

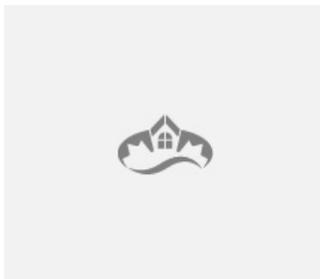
Formally Recognized: 1982/10/04



oblique view



Now part of Surrey Museum



## OTHER NAME(S)

1881 Town Hall  
Old Surrey Municipal Hall  
Surrey Museum

## LINKS AND DOCUMENTS

[Surrey Heritage Register](#)

## CONSTRUCTION DATE(S)

1881/01/01

LISTED ON THE CANADIAN REGISTER: 2006/08/02

 STATEMENT OF SIGNIFICANCE

## DESCRIPTION OF HISTORIC PLACE

The 1881 Town Hall is a single-storey, single-roomed, wood-frame building, rectangular in plan, with a front gable roof, clad in vertical board and batten. The building is now completely encased within a later building, with only the peak of its gabled roof visible from the street. The original interior and most of the exterior are preserved, and can be seen inside the enclosing building.

## HERITAGE VALUE

The 1881 Surrey Town Hall is valued for its role in the history of the City and as a testament to the generosity, determination, and civic will of the area's pioneers. Abraham Huck, the area's first settler, bought land at Surrey Centre in 1872. Gradually, more settlers arrived and began laying the foundations of the community. In 1879 the District of Surrey was incorporated, but at the time there was no public meeting place. Abraham Huck donated one acre of his Surrey Centre land for the construction of this Hall, and the first meeting in the building was held on May 2, 1881. The erection of the Town Hall, which was also used for church services until Christ Church was completed nearby, symbolized rapid progress within the community.

The Town Hall is also significant as an example of early frontier wooden construction, with vertical board and batten siding and square forged nails. The simplicity of the design reflects vernacular building techniques, and the modest pioneer origins of Surrey.

The heritage value of the Town Hall also lies in its interpretive value. The building is an important cultural feature for the interpretation of Surrey's civic heritage to the public. It was moved, in 1938, to the Cloverdale Exhibition Grounds, and later became Surrey's first museum, indicative of Surrey's commitment to preserving and interpreting its built and cultural heritage.

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Source: Heritage Planning Files, City of Surrey

#### CHARACTER-DEFINING ELEMENTS

Key elements that define the heritage character of the 1881 Town Hall include its:

- symmetrical form, scale and massing, as expressed by its simple rectangular floor plan;
- front gabled roof with cedar shingle cladding;
- exterior vertical board and batten siding, with original square forged nails;
- original multi-paned double-hung panelling and wooden floors.

#### RECOGNITION

##### JURISDICTION

British Columbia

##### RECOGNITION AUTHORITY

Local Governments (BC)

##### RECOGNITION STATUTE

Local Government Act, s.967

##### RECOGNITION TYPE

Heritage Designation

##### RECOGNITION DATE

1982/10/04

#### HISTORICAL INFORMATION

##### SIGNIFICANT DATE(S)

1938/01/01 to 1938/01/01

##### THEME - CATEGORY AND TYPE

Governing Canada

Government and Institutions

Building Social and Community Life

Education and Social Well-Being

##### FUNCTION - CATEGORY AND TYPE

###### CURRENT

Leisure

Historic or Interpretive Site

###### HISTORIC

Government

Town or City Hall

##### ARCHITECT / DESIGNER

n/a

##### BUILDER

n/a

#### ADDITIONAL INFORMATION

##### LOCATION OF SUPPORTING DOCUMENTATION

Heritage Planning Files, City of Surrey

##### CROSS-REFERENCE TO COLLECTION

FED/PROV/TERR IDENTIFIER

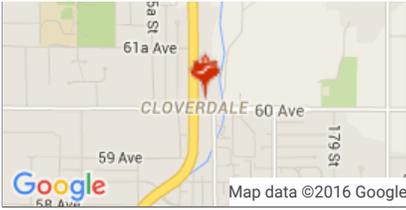
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STATUS

Published

RELATED PLACES

n/a



NEARBY PLACES



**Cloverdale United Church**  
17553 58A Avenue, Surrey, British Columbia

The Cloverdale United Church is a stucco-clad Gothic Revival-inspired church with a later bell...



**Dr. Sinclair House**  
17725 58A Avenue, Surrey, British Columbia

Set on a single-family residential lot, the Dr. Sinclair House is a two and one-half storey...



**Highway Garage**