



PURCHASING SECTION
13450 – 104 Avenue, Surrey, BC V3T 1V8
Tel: 604-590-7274
E-mail: purchasing@surrey.ca

ADDENDUM No. 3

REQUEST FOR QUOTATION No.: 1220-040-2017-083

TITLE: Material Screening and Filling Operation

ADDENDUM ISSUE DATE: June 14, 2017

REVISED DATE: **PREFER TO RECEIVE QUOTATIONS ON OR
BEFORE June 28, 2017.**

INFORMATION FOR CONTRACTOR

Contractors are advised that Addendum No.3 to the RFQ is hereby issued by the City. This addendum shall form part of the Contract Documents and is to be read, interpreted and coordinated with all other parts. The following information is provided to answer question raised by Contractors for the above named project, to the extent referenced and shall become a part thereof. No consideration will be allowed for extras due to the Contractor or any sub-Contractor not being familiar with this addendum. This Addendum No. 3 contains two (2) pages in total.

Clarification:

This Addendum is issued to inform Contractors of the following changes:

- 1.) Under Schedule A – Scope of Work, DELETE subsection (ii) under Additional Scope may include....:**

Additional scope may include the following:

- (i) Potentially screening a portion of the 300,000 cubic metres of structural materials to separate out non-structural and/or organic materials that may be present
- ~~(ii) Compacting and grading the 300,000 cubic meters of materials;~~
- (iii) Trucking the non-structural materials offsite to designated sites as may be determined by the Contractor and/or City.

- 2.) Under Schedule B Sample Contract - Minor Works, Section 2.0 The Work, DELETE subsections 2.1 and 2.2 and REPLACE them with the following:**

2.1 The scope of Work is to:

- (a) Remove 300,000 cubic metres of structural materials from the mound that is approximately 1,000,000 cubic meters in size;

- (b) The 300,000 cubic meters of structural materials is to then be transported a short distance onsite (approximately 850m) for placement and compaction. None of the 300,000 cubic metres of structural fill material is required to be transported offsite.
- (c) Obtain any relevant certificates confirming the Work conforms to requirements of Authorities having jurisdiction.

2.2 Additional scope may include the following:

- (a) Potentially screening a portion of the 300,000 cubic metres of structural materials to separate out non-structural and/or organic materials that may be present.
- (b) Trucking the non-structural materials offsite to designated sites as may be determined by the Contractor and/or City.

3.) DELETE Sections SSP.4, SSP.5 and SSP.12 under Schedule B, Appendix 3 and REPLACE them with the following:

SSP.4 Structural Fill

The structural fill should have a maximum gradation of 3" (75mm), contain no debris / organics and should consist of the following materials:

- Sand & Gravel
- Sand
- Silty Sand
- Sand and Silt

SSP.5 Compaction

The structural fill should be at optimum moisture content for compaction and should be compacted in 1 ft. (300 mm) thick lifts to 95% Standard Proctor density for the subgrade soils. Any fill that is not compacted to 95% Standard Proctor density should be removed.

SSP.12 Fill Approval

A Geotechnical Engineer must sign and seal that the fill contains no debris / organics and each lift of fill has been compacted to 95% Standard Proctor density.

4.) Attachment titled Grading Plan is added to the RFQ.

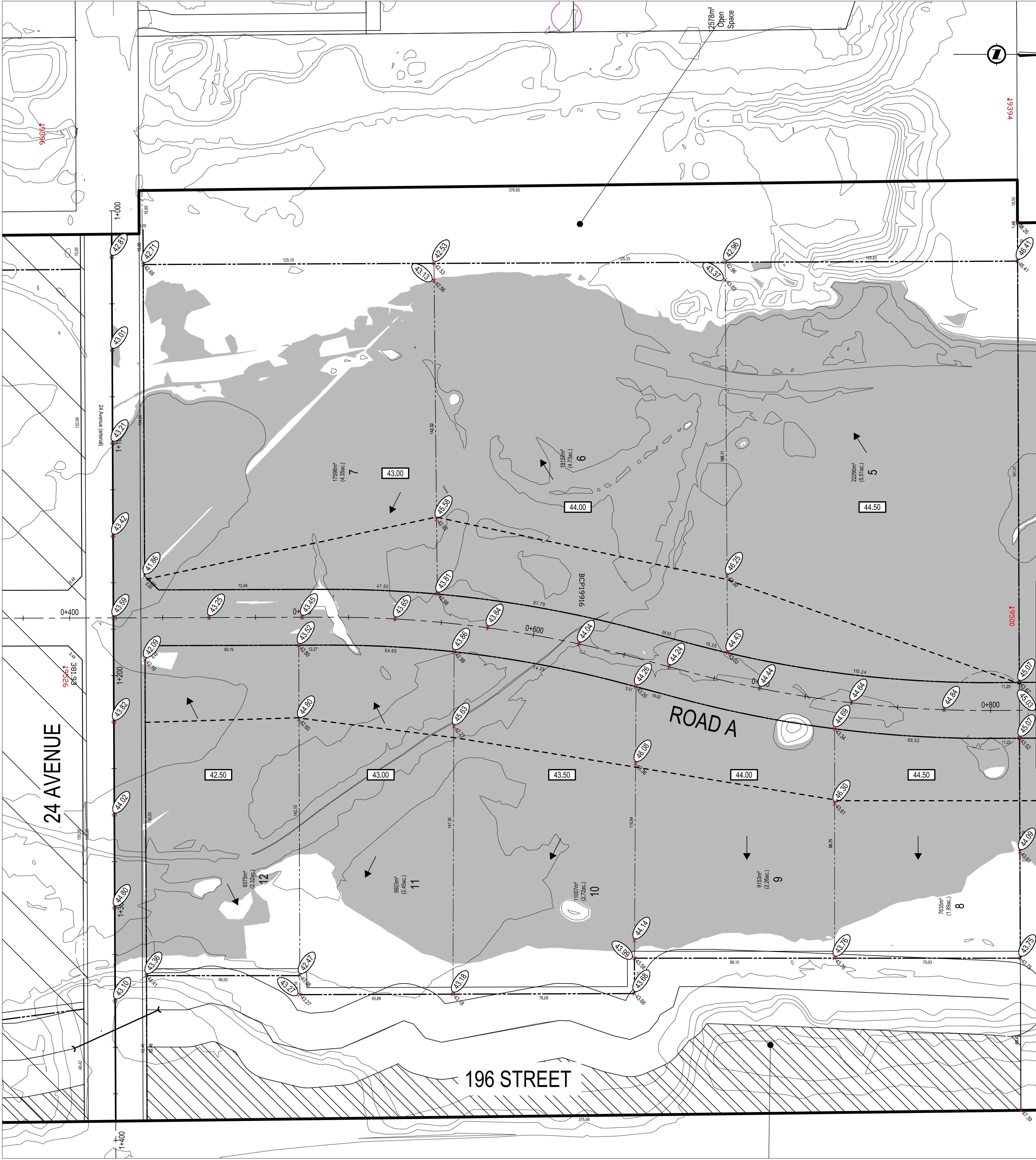
QUESTION AND ANSWER:

Q.1. We would like to formally request an extension of this tender close from June 23rd to July 7th.

A.1. Extension request for July 07, 2017 cannot be granted. The City would prefer to receive Quotations on or before June 28, 2017.

- END OF ADDENDUM -

DATE: 2017-05-03, 15:01 FILE: M:\P0211-13217-00-5202 - 599-Campbell Heights East\100-DRAWINGS\103-1 Model\3172 DESIGN.dwg McElhanney SDO-A1-1545-21

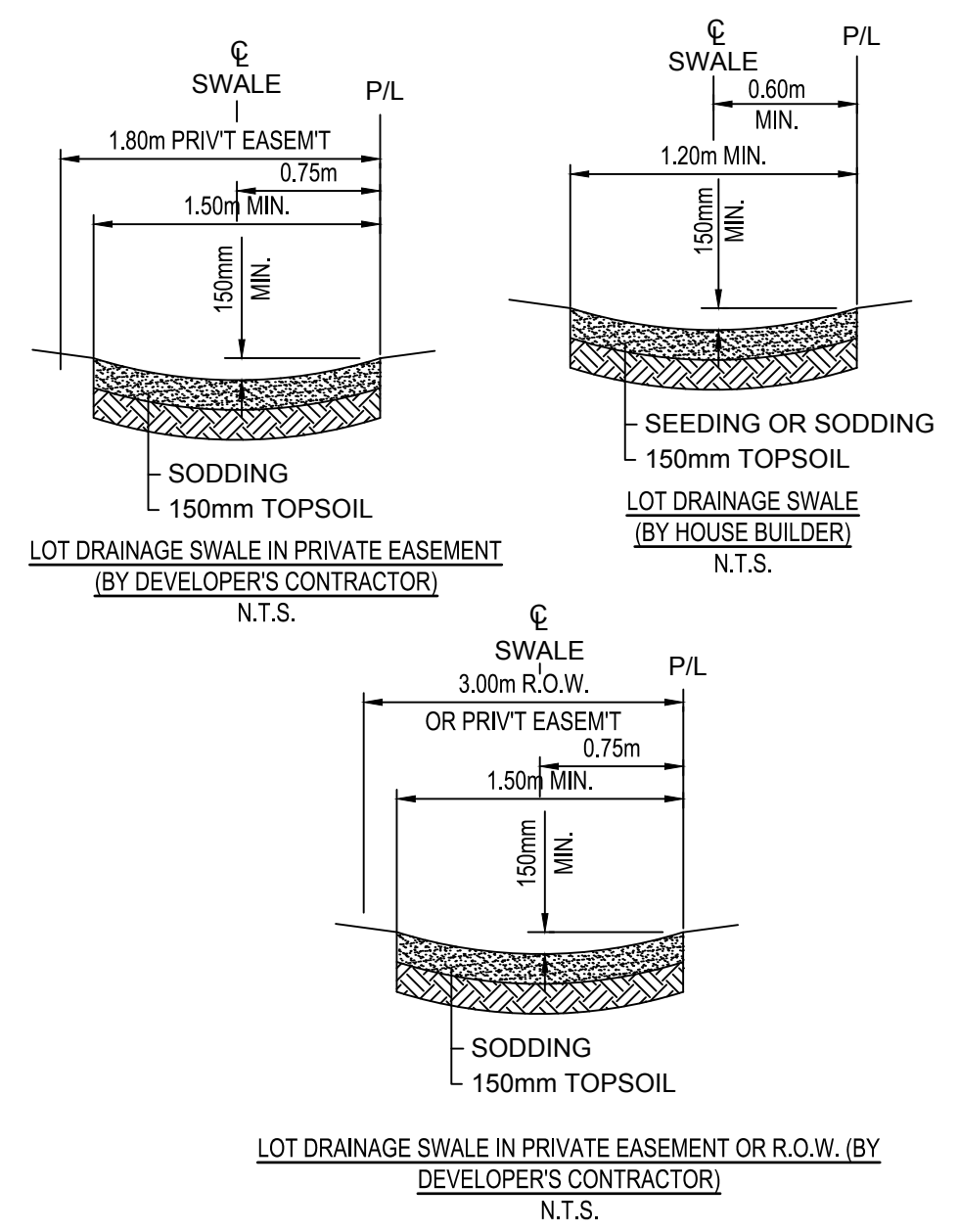


HOUSE BUILDER / DESIGNER / LOT OWNER NOTES:

- VERIFY BY FIELD INSPECTION THAT THE AS-CONSTRUCTED CIVIL SERVICING FEATURES DO NOT CONFLICT WITH THE CONTEMPLATED HOUSE DESIGN (I.E. LOCATIONS OF HYDRANTS, STREETLIGHTS, TRANSFORMERS, PRE-INSTALLED DRIVEWAYS AND CURBS, IN-GROUND KIOSKS AND SERVICE BOXES, LAWN BASINS AND LOT DRAINAGE PIPES IN CONFLICT WITH PROPOSED DRIVEWAYS, WALKS, STAIRWAYS, ETC.). RELIANCE ON DRAWINGS (DESIGN OR AS-CONSTRUCTED) WITHOUT VERIFICATION BY FIELD INSPECTION CONSTITUTES ACCEPTANCE OF ALL RISKS RESULTING FROM THEIR USE. FAMILIARIZE YOURSELF WITH LOCATION AND PURPOSE OF PRIVATE DRAINAGE EASEMENTS AND/OR RIGHTS-OF-WAY ON THE LOT (IF ANY).
- HOUSE BUILDER IS RESPONSIBLE FOR FINE LOT GRADING WHICH INCLUDES INDIVIDUAL SWALE ON LOTS WHERE SHOWN. (SEE LEGEND).
- ALL ROOF LEADERS TO DISCHARGE TO SPLASH PADS.
- FILL MATERIAL ON THE LOT (IF ANY) IS MATERIAL NATIVE OR IMPORTED AS APPROVED BY THE ENGINEER DURING CIVIL CONSTRUCTION. NO REPRESENTATION IS GIVEN AS TO THE DEPTH TO FIRM UNDISTURBED GROUND OR TO THE BEARING CAPACITY OR MOISTURE CONTENT OF SOILS ON THE LOTS IN RELATION TO HOUSE FOUNDATION DESIGN/CONSTRUCTION.
- HOUSE BUILDER TO CONSULT SOILS (GEOTECHNICAL) CONSULTING FIRM, IF FOOTINGS OR SLAB ON GRADE ELEVATION HAPPEN TO BE ABOVE FIRM UNDISTURBED SOIL.
- EXISTING ELEVATIONS AND TOPOGRAPHY IS BASED ON SURVEY COMPLETED ON FEBRUARY 26, 2013 AS SURVEYED BY BUTLER SUNDVICK

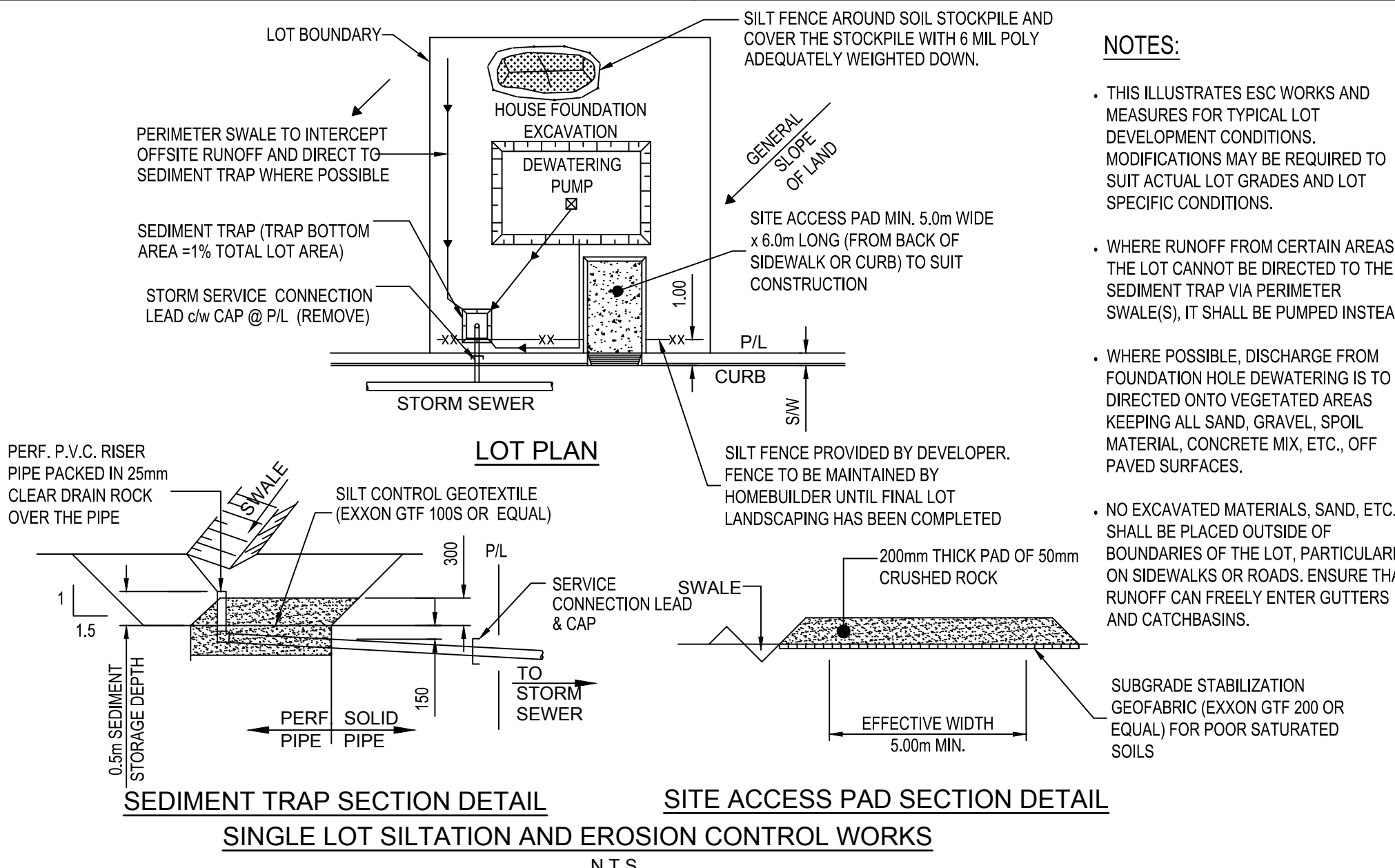
DEVELOPER'S CONTRACTOR NOTES:

- DEVELOPER'S CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF THE LOTS, PROPOSED LAWN BASINS AND THEIR LEADS AND SWALES WHERE SHOWN (SEE LEGEND).
- TOE OF FILL OR CUT ON THE PROPOSED LOTS SHALL NOT BE EXTENDED ONTO ADJACENT PRIVATE LANDS.
- LOT FILL MATERIAL TO BE NATIVE OR IMPORTED MATERIAL APPROVED BY THE ENGINEER DURING CONSTRUCTION.



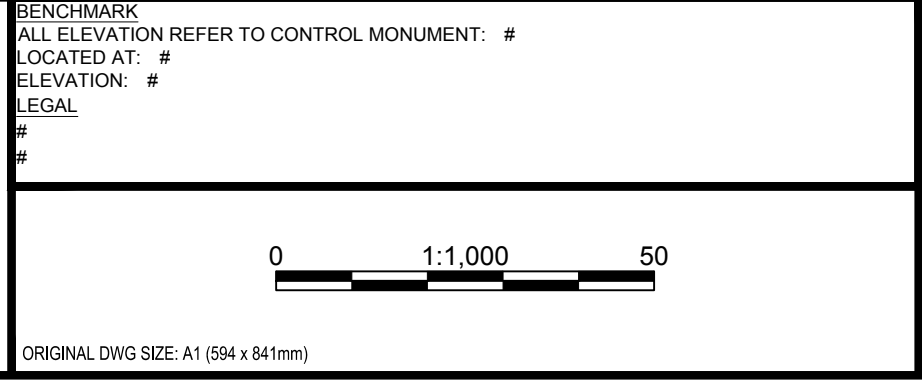
LEGEND

- EXISTING GROUND ELEVATION (PRIOR TO CONSTRUCTION)
- PROPOSED GROUND ELEVATION (BY DEVELOPER'S CONTRACTOR)
- PROPOSED GROUND ELEVATION (BY HOUSE BUILDER)
- FUTURE GROUND ELEVATION (BY DEVELOPER'S CONTRACTOR)
- FUTURE GROUND ELEVATION (BY HOUSE BUILDER)
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- MINIMUM BUILDING ELEVATION (M.B.E.): FOR GRAVITY STORM & GRAVITY SANITARY SERVICING DEFINED AS:
 - ELEVATION OF TOP OF CONCRETE SLAB IN A BASEMENT HOME.
 - ELEVATION OF UNDERSIDE OF JOIST IN CRAWL SPACE OF LESS THAN 1.2m IN HEIGHT.
 - ELEVATION OF TOP OF SKIM COAT IN CRAWL SPACE OF GREATER THAN 1.2m IN HEIGHT.
 - CRAWL SPACE SHALL NOT BE USED FOR STORAGE OF GOODS OR EQUIPMENT DAMAGEABLE BY FLOOD WATERS.
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 - PUMPED SANITARY SERVICING MUST BE SUBMITTED TO AND APPROVED BY THE CITY'S PLANNING AND DEVELOPMENT DEPARTMENT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION
- FUTURE MINIMUM BUILDING ELEVATION (M.B.E.)
- RIDGE LINE (BY DEVELOPER'S CONTRACTOR)
- RIDGE LINE (BY HOUSE BUILDER)
- DIRECTION OF OVERLAND FLOW
- PROPOSED CATCH BASIN & T/F FRAME ELEVATION (WHERE SHOWN)
- PROPOSED 800mm Ø LAWN BASIN & T/F FRAME ELEVATION (WHERE SHOWN)
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- MAJOR 100 YEAR OVERLAND FLOOD ROUTE
- MAJOR 100 YEAR FLOW ROUTE IN PIPE
- MAJOR 100 YEAR BELOW SURFACE
- EX. CONTOURS IN METERS (PRIOR TO CONSTRUCTION)
- EX. TREE TO BE RETAINED c/w TREE PROTECTION BARRIER.



Rev	Date	Description	Drawn	Design	App'd
1	2017.05.03	FIRST SUBMISSION	HR	RS	RS

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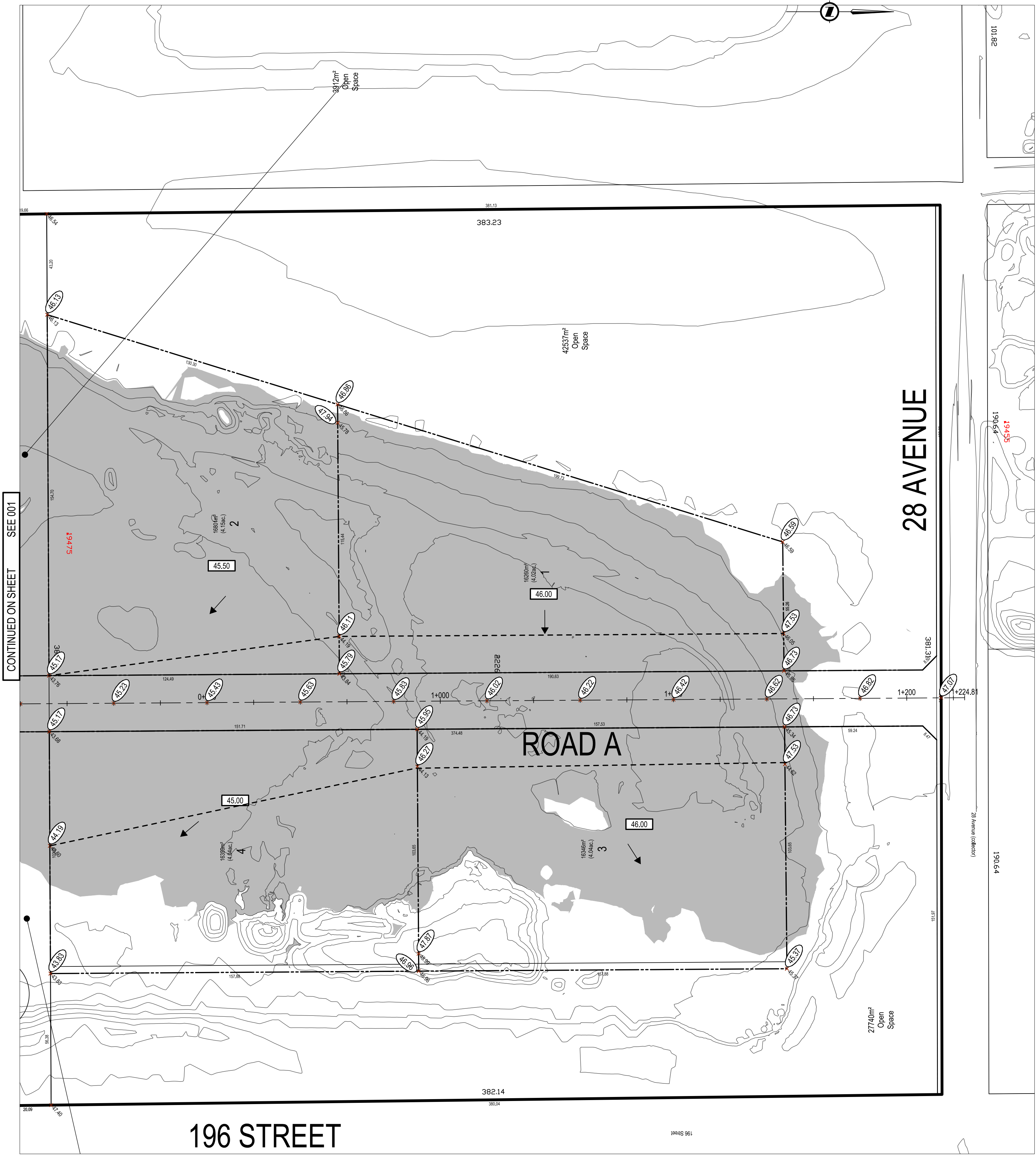
Approved Sealed

SCDC
PRELIMINARY LOT GRADING PLAN
19475 AND 19500 26 AVE.
19526 24 AVE. AND 19525 20 AVE.

Drawing No.
001
Project Number
7919-0009-00
Rev.
1

DESIGN/ALL PRINTS BEARING PREVIOUS REVISION

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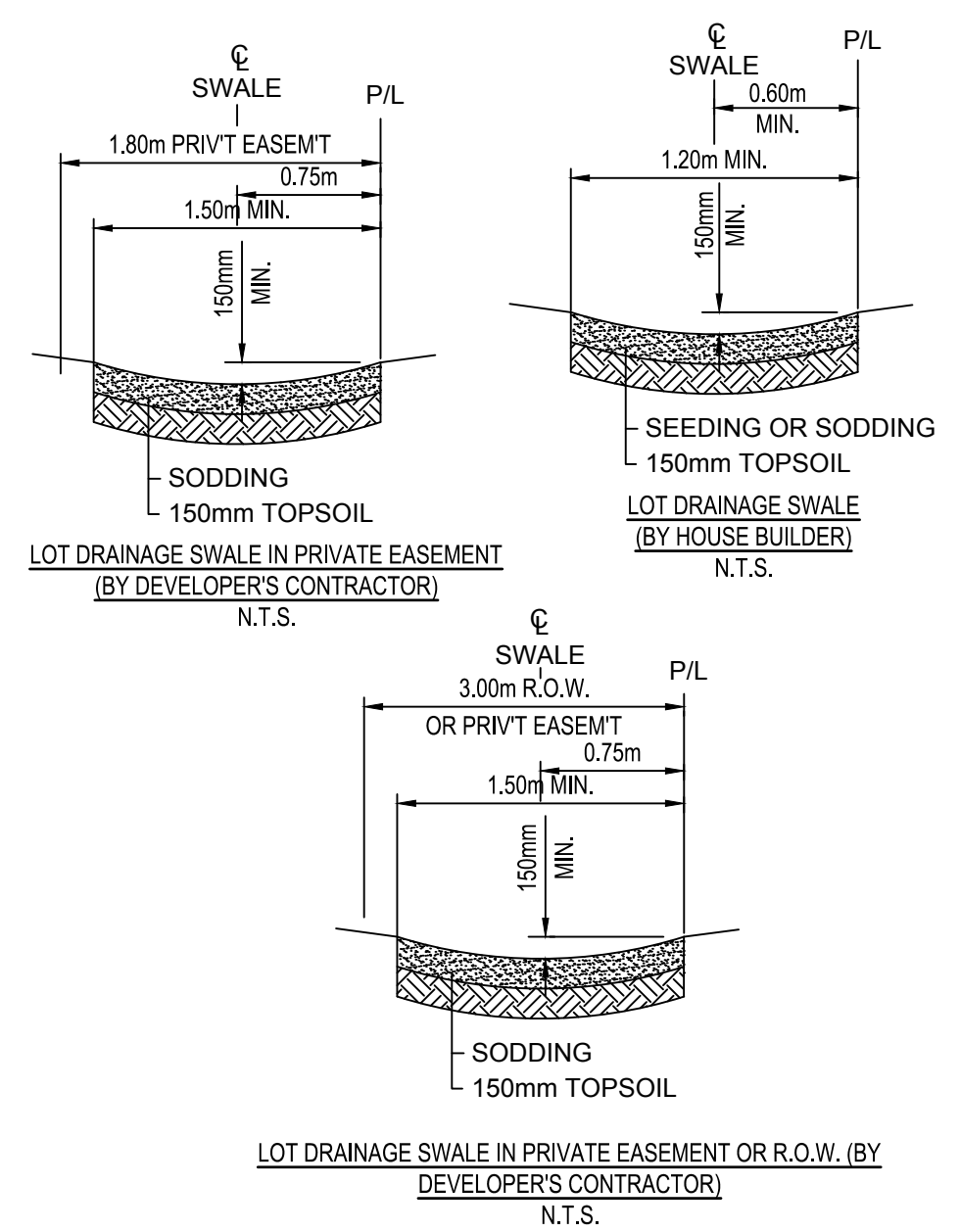


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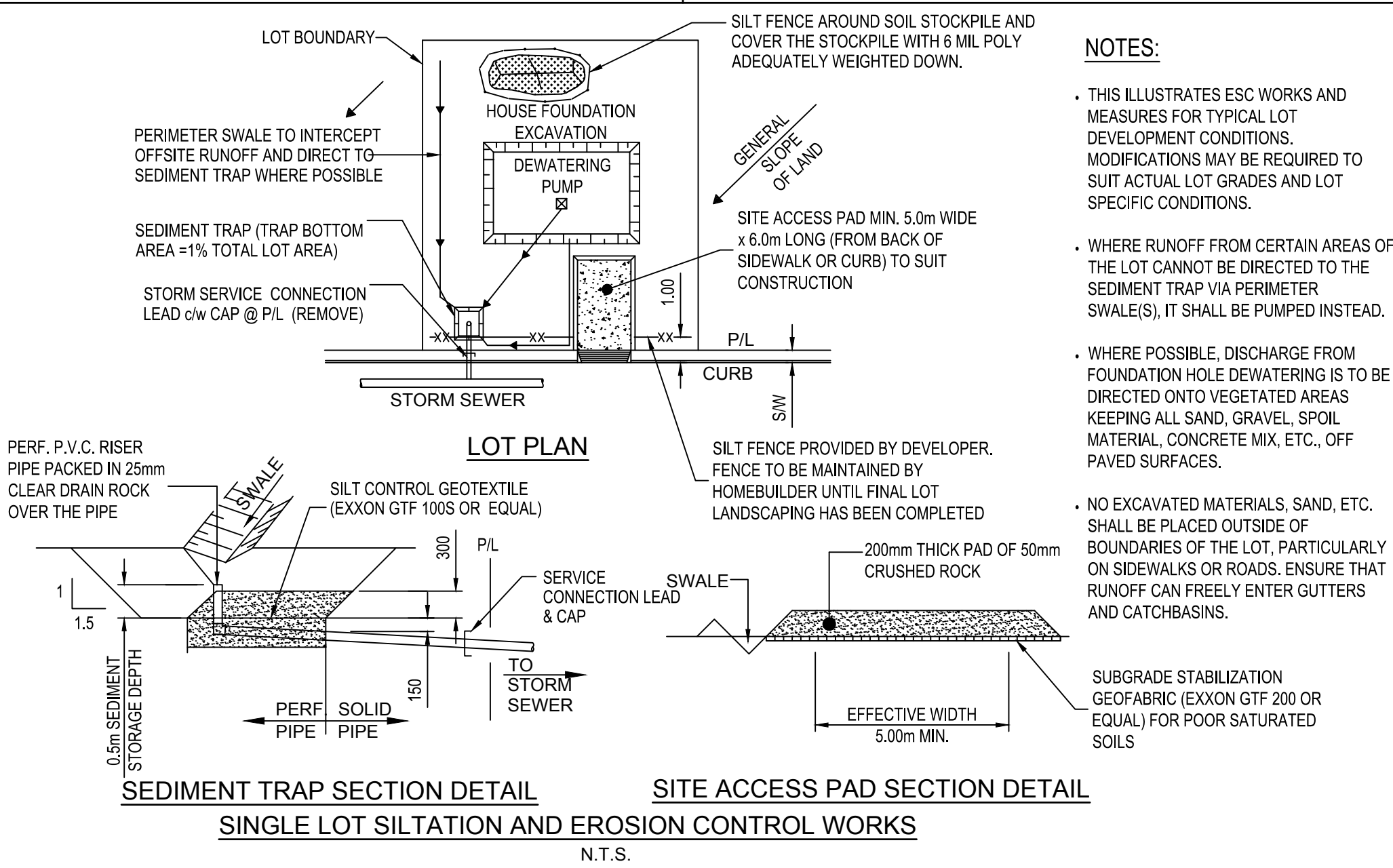
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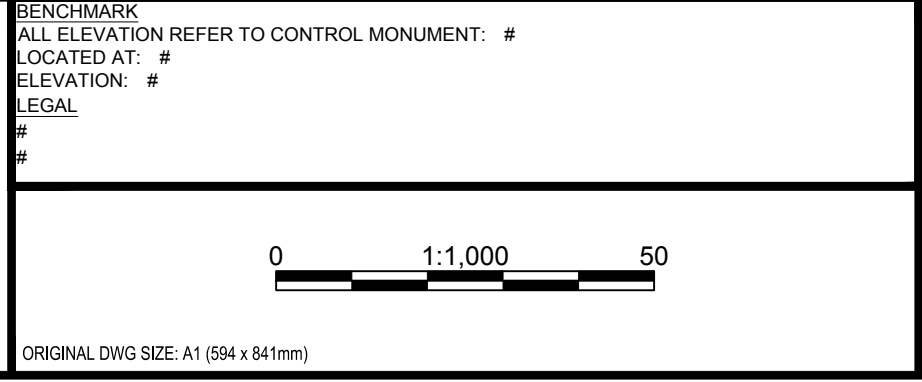


NOTES:

- THIS ILLUSTRATES ESC WORKS AND MEASURES FOR TYPICAL LOT DEVELOPMENT CONDITIONS. MODIFICATIONS MAY BE REQUIRED TO SUIT ACTUAL LOT GRADES AND LOT SPECIFIC CONDITIONS.
- WHERE RUNOFF FROM CERTAIN AREAS OF THE LOT CANNOT BE DIRECTED TO THE SEDIMENT TRAP VIA PERIMETER SWALE(S), IT SHALL BE PUMPED INSTEAD.
- WHERE POSSIBLE, DISCHARGE FROM FOUNDATION HOLE DEWATERING IS TO BE DIRECTED ONTO VEGETATED AREAS KEEPING ALL SAND, GRAVEL, SPOIL MATERIAL, CONCRETE MIX, ETC., OFF PAVED SURFACES.
- NO EXCAVATED MATERIALS, SAND, ETC. SHALL BE PLACED OUTSIDE OF BOUNDARIES OF THE LOT, PARTICULARLY ON SIDEWALKS OR ROADS. ENSURE THAT RUNOFF CAN FREELY ENTER GUTTERS AND CATCHBASINS.
- SUBGRADE STABILIZATION GEOTEXTILE (EXXON GTF 200 OR EQUAL) FOR POOR SATURATED SOILS

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