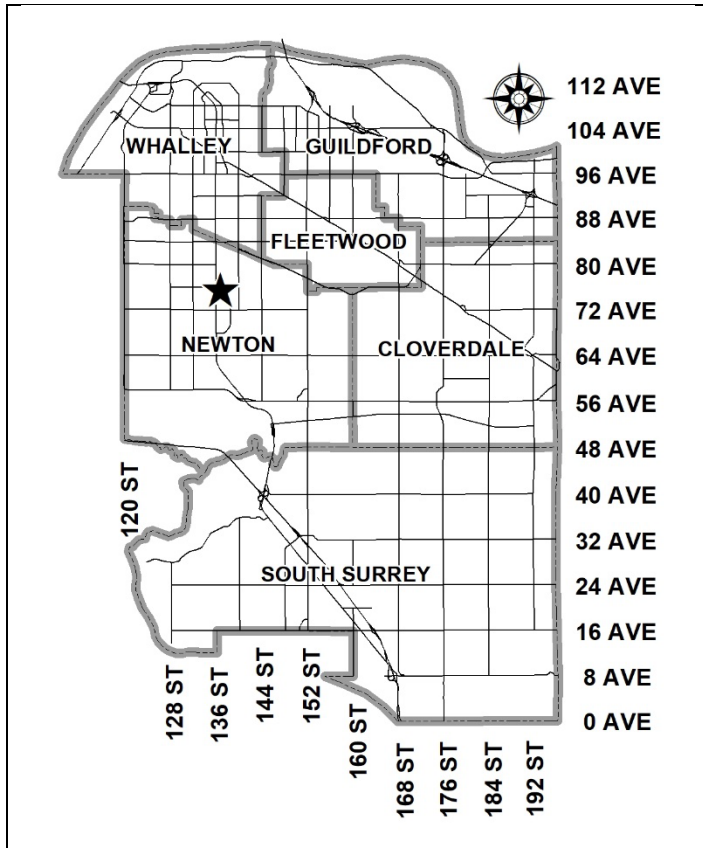


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0294-00

Planning Report Date: February 26, 2024



**PROPOSAL:**

- **Temporary Use Permit**

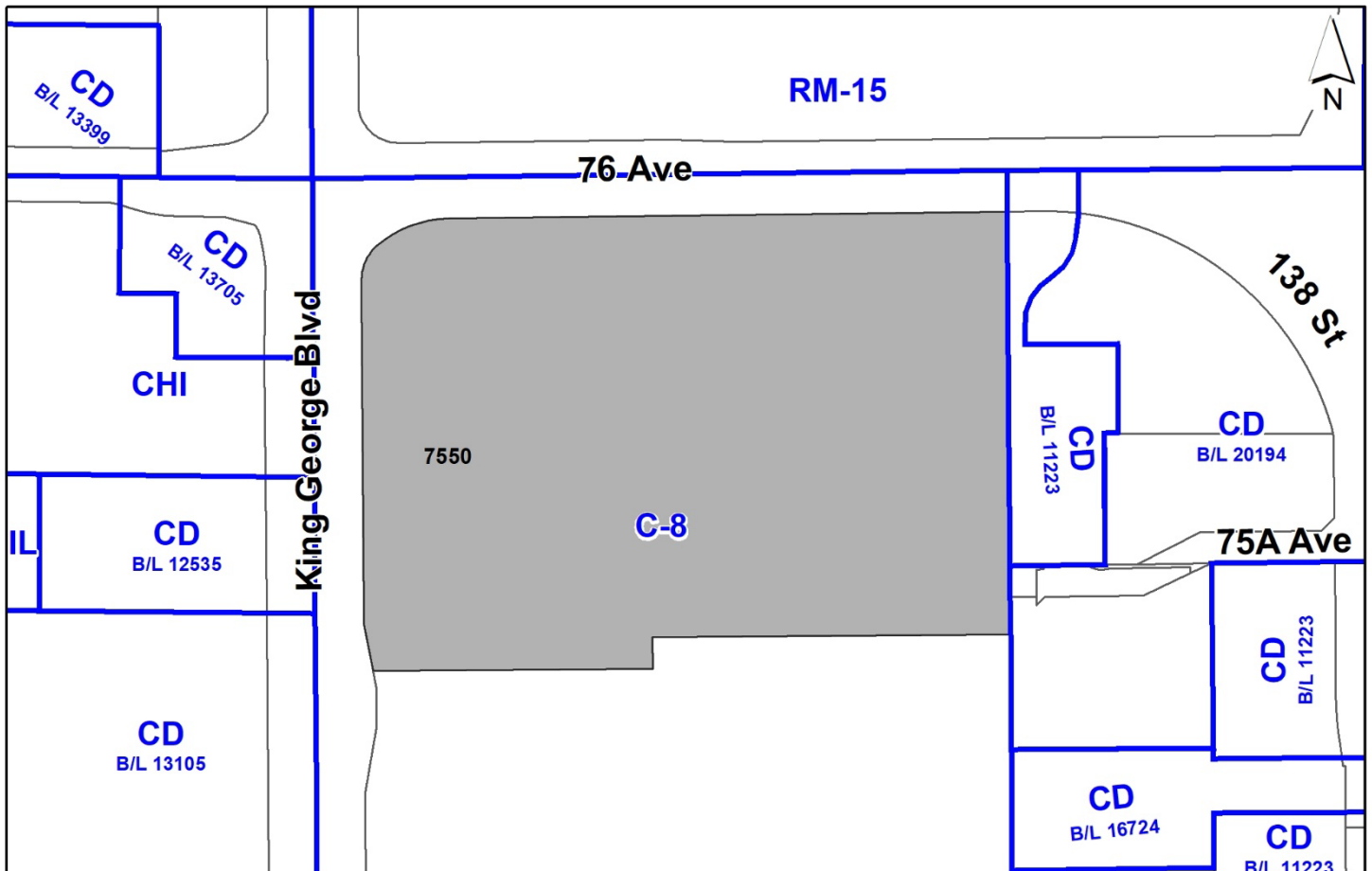
to permit the location of a 6.0 metre long modified shipping container on a non-industrial zoned lot for a Return-it Express & Go Station for beverage container recycling.

**LOCATION:** 7550 King George Blvd

**ZONING:** C-8

**OCP DESIGNATION:** Commercial

**NCP DESIGNATION:** (Newton Town Centre) Mass Merchandising



**RECOMMENDATION SUMMARY**

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- Proposing to vary Part 17 of the Zoning Bylaw General Provisions to allow for a 6.0 metre long modified shipping container to be located on a non-industrial zoned lot.

**RATIONALE OF RECOMMENDATION**

- The proposed siting allows for a shipping container to be utilized as a self-service recycling facility, diverting potential waste to landfills, and locating the service within an established commercial location adjacent to a major grocery store to optimize user convenience.
- This service will remain visually unobtrusive to the streetscape and does not remove any parking for the retailer (The Real Canadian Superstore). The proposed siting should not impact the public realm as it is away from the main thoroughfares and circulation roadways, it will be placed to the rear of the building on the north side, sufficiently visible for use but setback enough to not impact the current operations of the site.

## RECOMMENDATION

The Planning & Development Department recommends that Council approve Temporary Use Permit No. 7923-0294-00 (Appendix I) varying the following, to proceed to Public Notification:

- (a) to vary Part 17 of the Zoning Bylaw General Provision to permit the location of a 6.0 metre long modified shipping container on a lot in a non-industrial zone

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Large scale commercial and associated parking lot	Commercial/ Mass Merchandising	C-8
North (Across 76 Ave):	Townhouses	Urban/ N/A (Outside Newton Town Centre Plan)	RM-15
East (Across lane):	Low-rise apartments	Multiple Residential/ High Density Residential	CD
South:	Commercial	Commercial/ Mass Merchandising	C-8
West (Across King George Boulevard):	Commercial	Mixed Employment/ Mass Merchandising	CD and CHI

### Context & Background

- The subject site is designated “Commercial” in the Official Community Plan (OCP).
- As part of the application, staff have received a letter of support for the location of the shipping container from Loblaw Properties Limited (Real Canadian Superstore) which occupies the subject property.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing a Temporary Use Permit to allow for the siting of a 6.0 metre long modified shipping container on a non-industrial zoned lot for a Return-it Express & Go Station for beverage container recycling.

- This proposal varies Part 17 of the Zoning Bylaw General Provisions that limits the use, placement, storage, repair, cleaning, upgrading, or modification of a shipping container to lots zoned industrial. Furthermore, under the C-8 Zone, a beverage container return centre is permitted, provided it is confined to an enclosed building or part of an enclosed building, hence a TUP is proposed to allow for this use in a modified shipping container which is currently not considered a building or a structure.

## Referrals

Engineering: The Engineering Department has no objection to the project.

## Transportation Considerations

- The shipping container recycling depot will utilize the current Real Canadian Superstore accesses from King George Boulevard and 76 Avenue. The depot will be located at the northeast corner of the property, closer to the 76 Avenue access.

## POLICY & BY-LAW CONSIDERATIONS'

### Zoning By-law

- The proposed temporary use will collocate two commercial uses and allow a recycling service with a focus on convenience and user friendliness to expand within Surrey. Further, the operator (Return-It) has a commitment to redirecting recyclable materials from landfills.
- This temporary use application is required due to the following policies:
  - Part 17 of the Zoning Bylaw General Provision limits the locating of a shipping container to lots in industrial zones.
  - As a permitted use under the C-8 Zone, all beverage container return centres are confined to an enclosed building or part of an enclosed building, which a modified shipping container currently does not meet the definition.
- The proposed shipping container recycling depot location does not subtract any parking from Real Canadian Superstore, as there are currently no parking spots located in the intended spot. The proposed location is near the northeast corner of the building and it is not anticipated to have any visual or operating impacts to the streetscape or adjacent properties due to its setback and location away from the entrance of the retailer and main circulation roadways.

- The depot is intended to be operated on a model different than a traditional bottle depot, as no recycling will take place on site. It will be unstaffed, cashless, contactless, and solar-powered, allowing customers to simply drop off used beverage containers in a quick and accessible format, receiving money back electronically. This model allows Return-It to expand their coverage and their efforts to divert waste from landfills by providing a more accessible, flexible, smaller scale option where a traditional bottle depot would be unviable. Locating the depot on the side of an established big box store in an existing commercial area with buffering to adjacent residential areas will mitigate any nuisances, given its size, scale, operational model, and proposed locational context. This model would be the first instance in the City of Surrey, however it has proved successful elsewhere in Metro Vancouver (District of North Vancouver) in a very similar context.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Temporary Use Permit No. 7923-0294-00  
Appendix II. Aerial Photos

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

PD/ar

CITY OF SURREY

(the "City")

**TEMPORARY USE PERMIT**

NO.: 7923-0294-00

Issued To:

("the Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 015-289-354  
Lot 1 Section 21 Township 2 Plan 83554 Nwd  
7550 King George Blvd

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. To permit the location of a 6.0 metre long modified shipping container on a non-industrial zoned lot for a Return-it Express & Go Station for beverage container recycling
5. The temporary use permitted on the Land shall be in accordance with:
  - (a) The appearance and location of the modified shipping container as shown on Schedule A and numbered 7923-0294-00 (1) through to and including 7923-0294-00 (3) (the "Drawings") which is attached hereto and forms part of this permit.

7. The temporary use shall be carried out according to the following conditions:
  
8. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use by removing the modified shipping container and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00.

9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
  
10. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
  
11. This temporary use permit is not transferable.
  
14. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .

ISSUED THIS      DAY OF      , 20 .

---

Mayor – Brenda Locke

---

City Clerk – Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

---

Authorized Agent: Signature

---

Name (Please Print)



TO THE CITY OF SURREY:

I, \_\_\_\_\_ (Name of Owner)

being the owner of \_\_\_\_\_

(Legal Description)

known as \_\_\_\_\_

(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

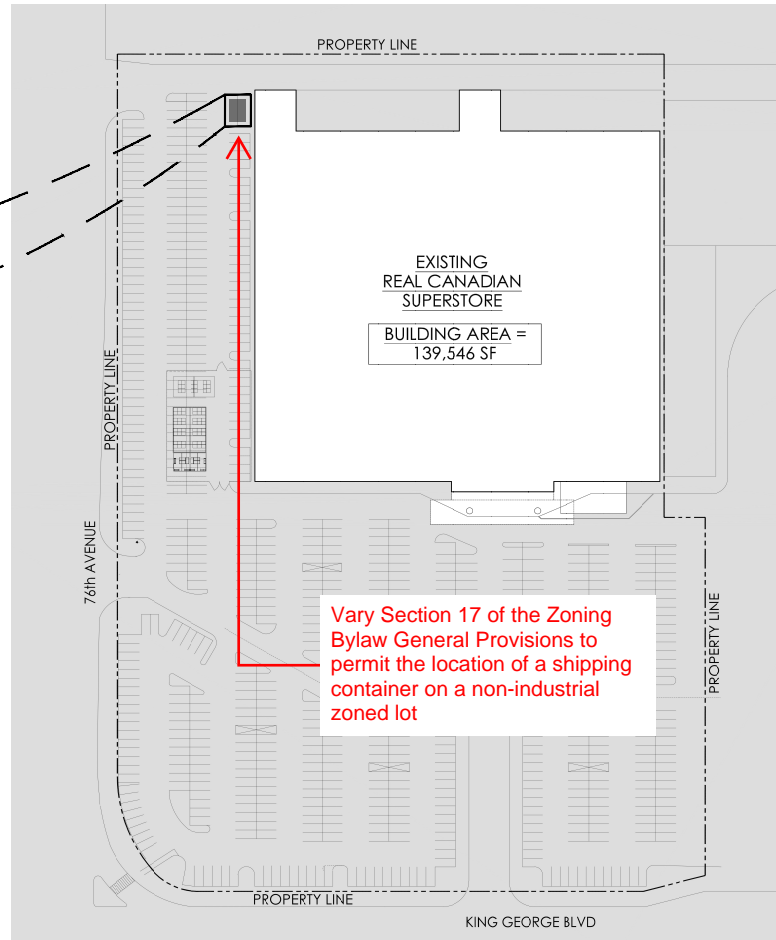
This undertaking is attached hereto and forms part of the temporary use permit.

\_\_\_\_\_  
(Owner)

\_\_\_\_\_  
(Witness)



7550 KING GEORGE BLVD  
SURREY, BC V3W 2T2



Vary Section 17 of the Zoning Bylaw General Provisions to permit the location of a shipping container on a non-industrial zoned lot

SITE PLAN



MAP - BIRDS EYE VIEW



DRAWING LIST	
ARCHITECTURAL	
A000	TITLE SHEET
A010	GENERAL LAYOUT
A020	CONTAINER DETAILS

LEGAL DESCRIPTION	
DESCRIPTION:	LOT 1, SECTION 21, TOWNSHIP 2, PLAN W195534-A-RVND
CIVIC ADDRESS:	7550 KING GEORGE BLVD, SURREY, BC
PID:	015-289-354
ZONING:	C-8

TECHNICAL DATA SUMMARY	
TOTAL CONTAINER AREA:	14.86 M <sup>2</sup>
TOTAL FLOOR SPACE:	14.86 M <sup>2</sup>
SITE COVERAGE:	N/A
BUILDING HEIGHT:	SINGLE STOREY CONTAINER MODEL
YARD SETBACKS:	N/A
FIR STATEMENT:	N/A

DIRECTORY

CLIENT: ENCORP PACIFIC  
2750 WEST 37TH AVENUE  
VANCOUVER, BC V6V 4T2

DESIGNER: JANG DESIGN GROUP  
3750 WEST 37TH AVENUE  
VANCOUVER, BC  
V6V 4T2

CONTACT: JEREMY ZUBERVELL  
CHRIE CAMPBELL  
DOUG MEYERER

CONTACT: REBEKAH LEWIS  
RYAN DEVARAJ  
INTERIOR DESIGNER

EMAIL: jzuber@jdsdgroup.com  
ccamp@jdsdgroup.com  
dmeyer@jdsdgroup.com

EMAIL: info@jdsdgroup.com  
info@jdsdgroup.com

Rev #	Date	Revision Description
01	MAY 25, 2023	ISSUED FOR REVIEW
02	JUN 20, 2023	ISSUED FOR REVIEW
03	OCT 03, 2023	ISSUED FOR PERMIT

Drawing Status:	
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<input type="checkbox"/>	Issued For LL Review
<input checked="" type="checkbox"/>	Issued For Permit
<input type="checkbox"/>	Issued For Tender
<input type="checkbox"/>	Issued For Construction

Arch:

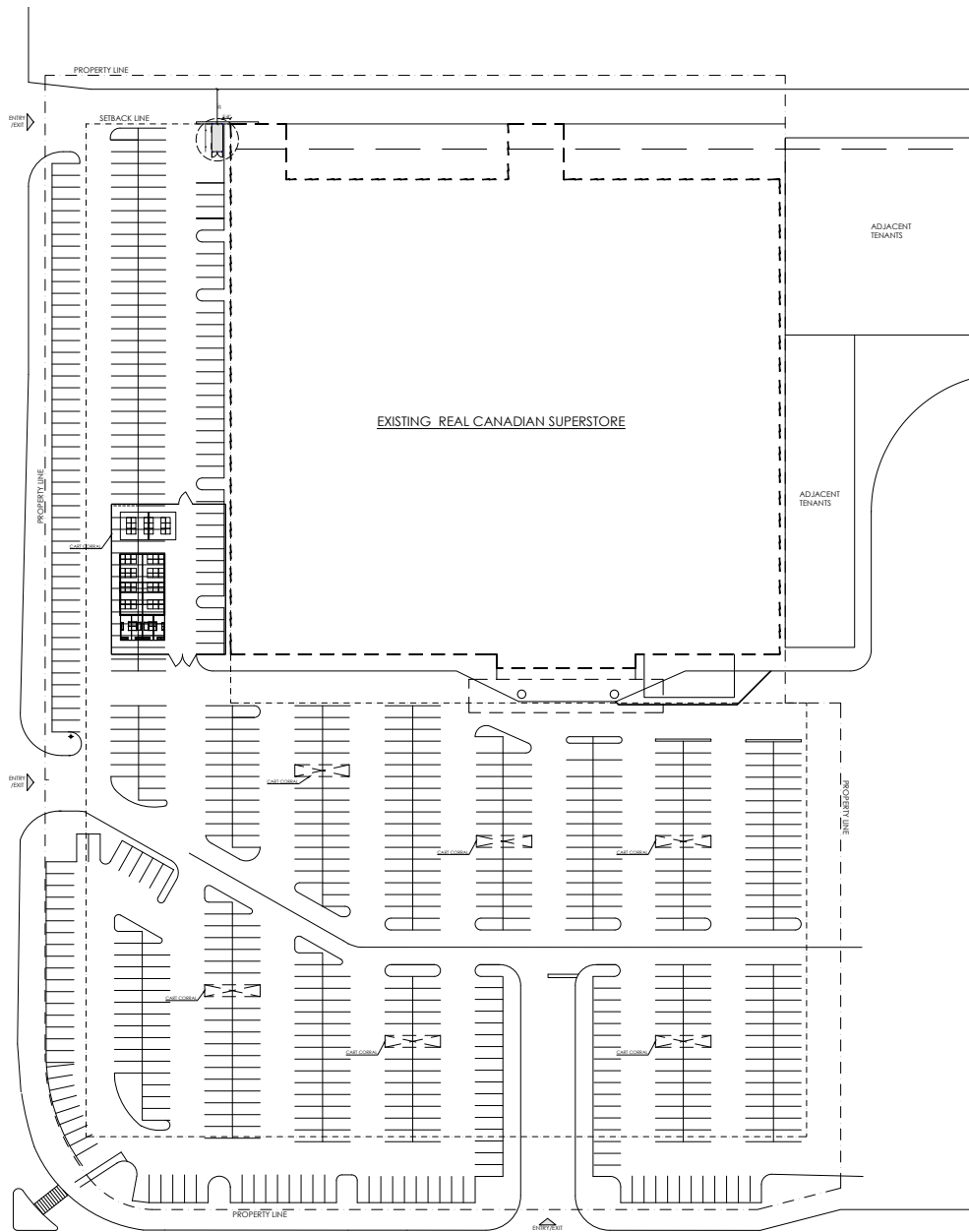


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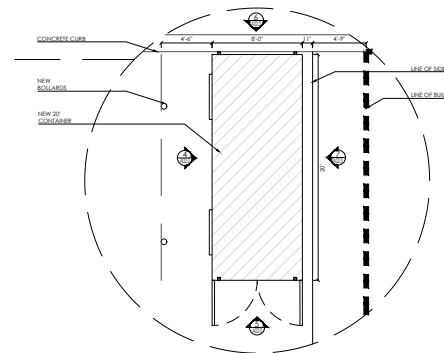
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7550 KING GEORGE BLVD  
SURREY, BC

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Drawn By:	Start Date:
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Scale:	Sheet #:
AS NOTED	A00.0




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CONTAINER LAYOUT  
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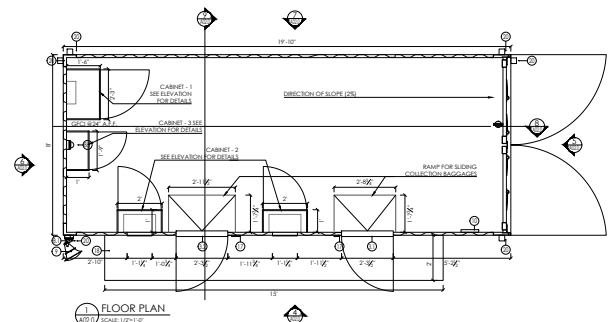
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03	OCT 03, 2023	ISSUED FOR PERMIT

 Drawing Status:  
 Issued For Review  
 Issued For LL Review  
 Issued For Permit  
 Issued For Tender  
 Issued For Construction  
 PROJECT: NORTH  
 Arch:

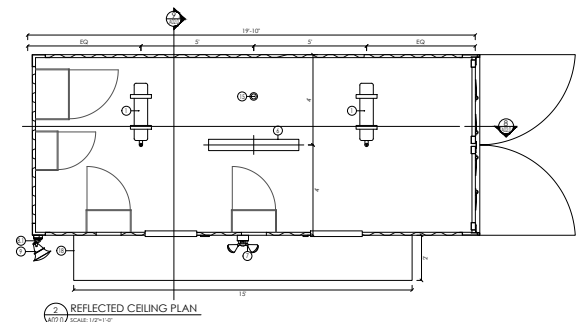
  
**JDG.**  
 Interior Design +  
 Janke design group  
 201 - 1220 East Pender St.  
 Vancouver, B.C. V6A 1W8  
 Phone: 604.266.5478  
 Fax: 604.266.5478  
 email: info@jankegroup.com  
 Client:  
**ENCORP PACIFIC**

Project:  
**RETURN IT - EXPRESS & GO**  
 7500 KING GEORGE BLVD  
 SUITE 101

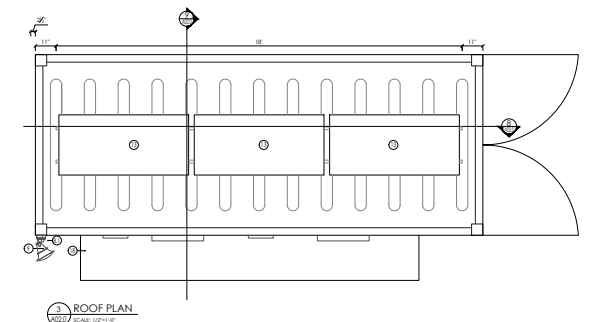
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 CJ: 02/08/19  
 Scale: Sheet #:  
 AS NOTED **A01.0**



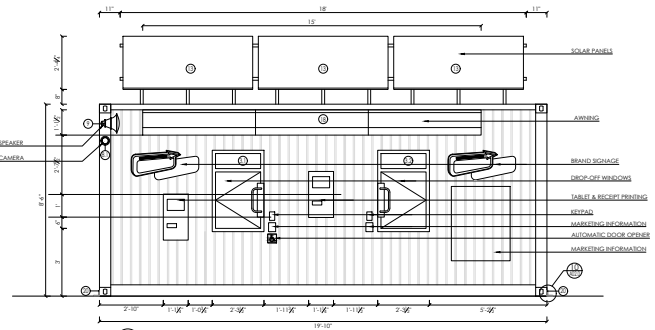
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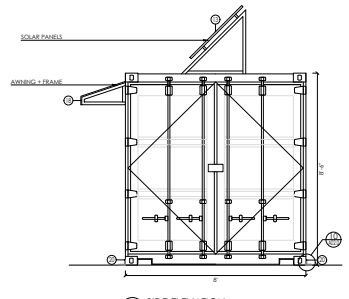
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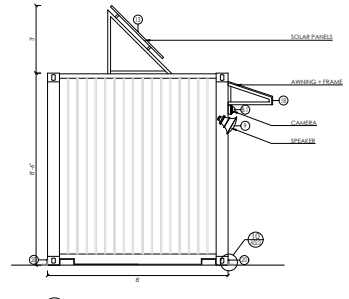
3 ROOF PLAN  
SCALE 1/2"=1'-0"



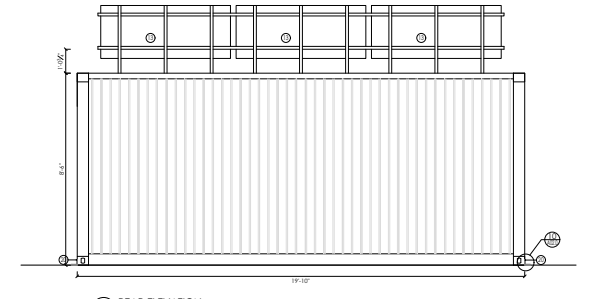
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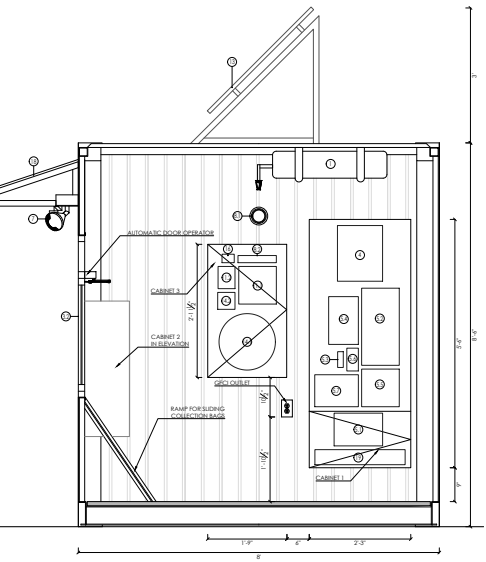
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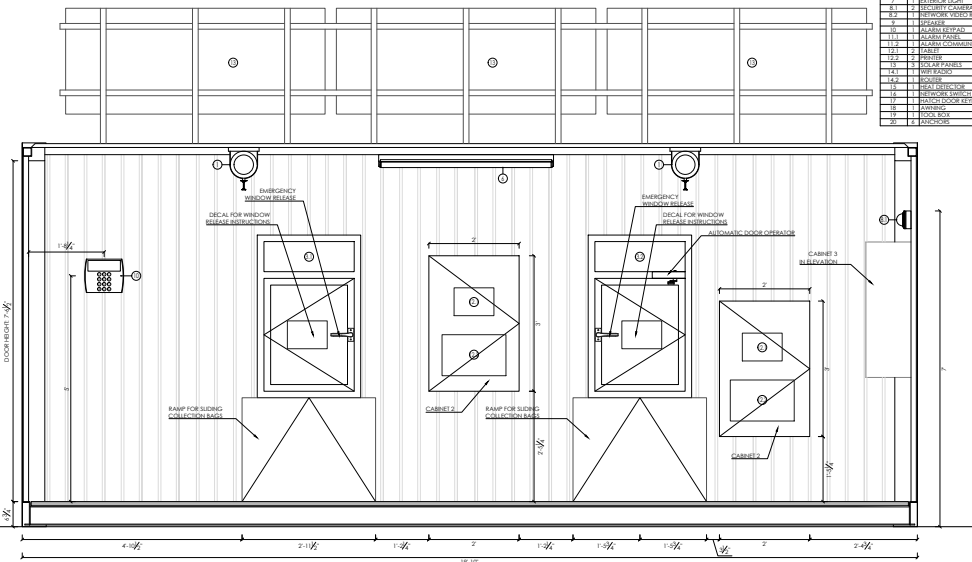
6 SIDE ELEVATION  
SCALE 1/2"=1'-0"



7 REAR ELEVATION  
SCALE 1/2"=1'-0"



8 SHORT SECTION  
SCALE 1"=1'-0"



9 LONG SECTION  
SCALE 3/4"=1'-0"

REV NO	DESCRIPTION	MANUFACTURER	MODEL NO	COMMENTS
1	SEE SUPPLEMENTAL SHEETS			
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3	BRACKETS	ALUMINUM	1000	
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49	BRACKETS	ALUMINUM	1000	
50	BRACKETS	ALUMINUM	1000	

**NOTES**  
 REFER TO ELECTRICAL DRAWING FOR SINGLE LINE DRAWINGS AND FURTHER DETAILS.  
 \*A CONCRETE PAD WILL BE INSTALLED PRIOR IF THE CONTAINER IS LOCATED ON GRAVEL.  
 \*A TOTAL OF 4 ANCHORS TO BE INSTALLED: 2 ON THE FRONT, 2 ON THE BACK AND 1 ON EACH SIDE.

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02	JUN 26, 2023	ISSUED FOR REVIEW
03	OCT 01, 2023	ISSUED FOR PERMIT

Drawing Status:  
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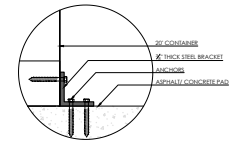
**JDG.**  
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 Phone: 604.266.5474  
 Fax: 604.266.5478  
 email: info@jankegroup.com

Client: **ENCORP PACIFIC**

Project: **RETURN IT - EXPRESS & GO**  
 7550 KING GEORGE BLVD  
 SURREY, BC

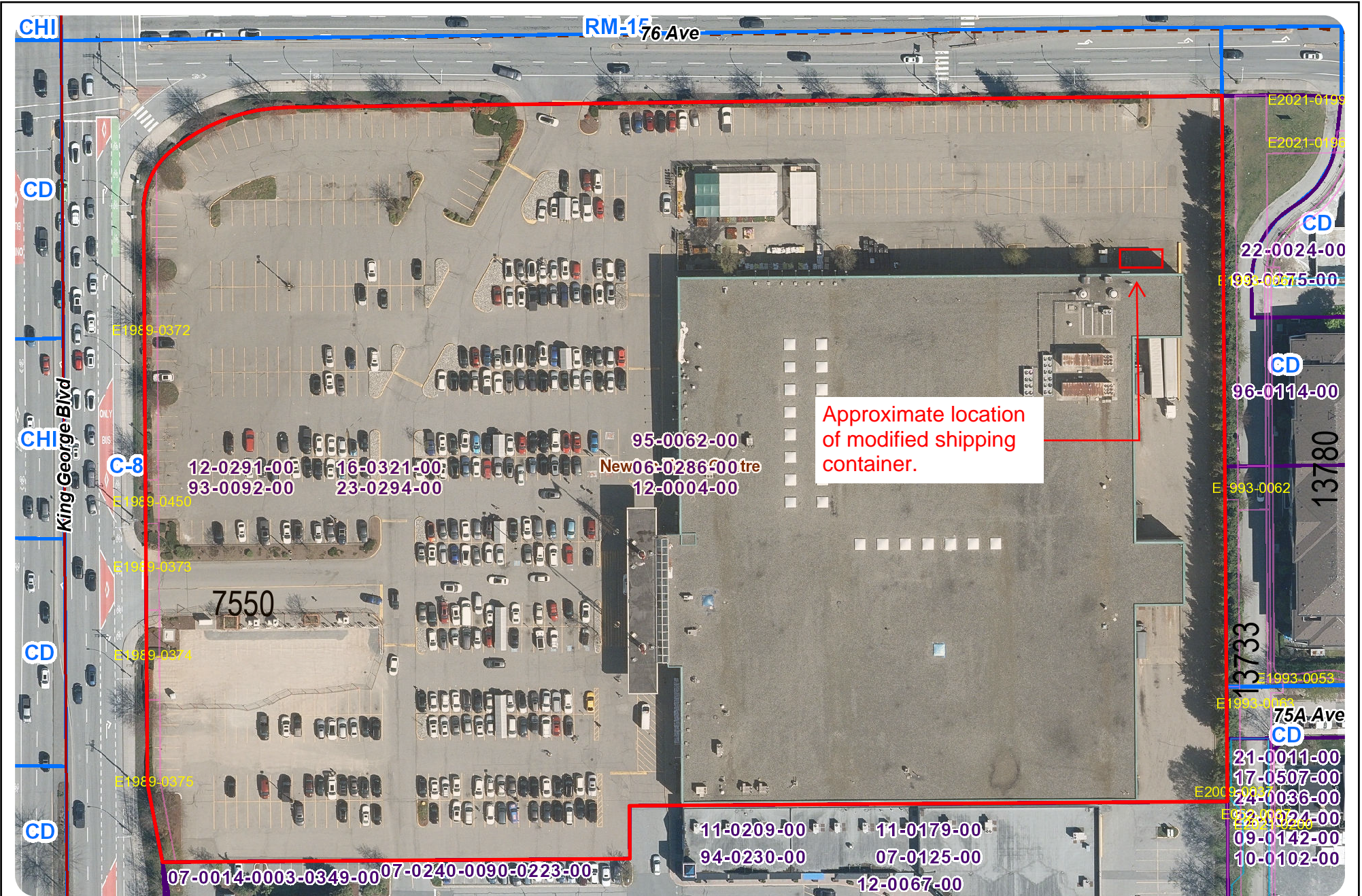
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Drawn By: [Signature]  
 Scale: AS NOTED  
 Start Date: 02/05/19  
 Sheet #: **A02.0**



10 DETAIL A  
SCALE 3/4"=1'-0"





**Aerial View Showing Proposed Modified Shipping Container**

Scale: 1:1,184

The data provided is compiled from various sources and is NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, legal descriptions and encumbrances must be confirmed at the Land Title Office. Use and distribution of this map is subject to all copyright and disclaimer notices at cosmos.surrey.ca

