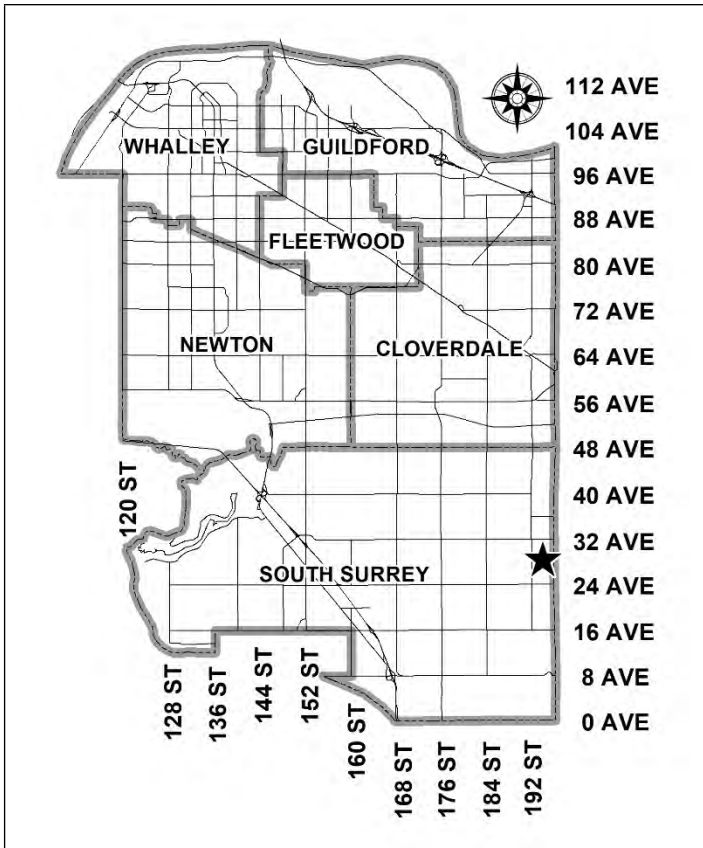


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0312-00

Planning Report Date: July 24, 2023



PROPOSAL:

- **Rezoning** from A-2 to IB-1
- **Development Permit**
- **Development Variance Permit**

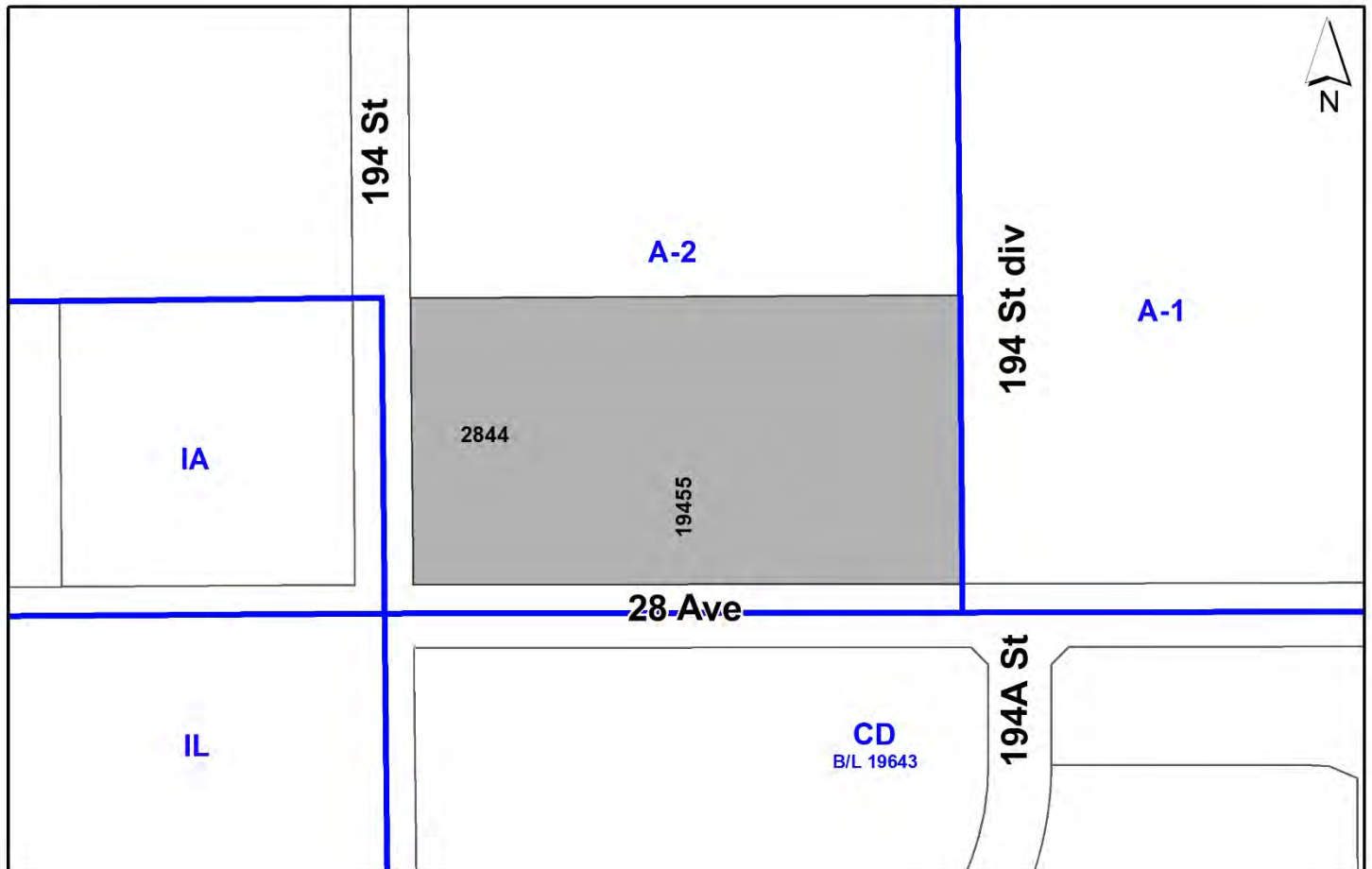
to permit the development of a 10,292-square-metre multi-tenant industrial building.

LOCATION: 2844 - 194 Street (19455 28 Avenue)

ZONING: A-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscape Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a reduction in the east setback (rear) from 7.5 metres to 0.0 metres.
- The applicant is proposing to eliminate the 3-metre landscape strip requirement along 194A Street.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park and Landscape Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal is comprised of one large multi-tenant building, with 3 street interfaces, and loading at the rear.

-
- There is excess road dedication on 194A Street to the east, that the applicant will be leasing from the City through a Highway Licensing Agreement (99-year lease). The excess land will function as the east landscape buffer and setback, and thus any variances that are proposed (for setback and landscaping) will not be noticeable by the public. This will also assist in providing a consistent building setback from the street curb and will prevent the excess road allowance from being unsightly and unkept. From a public view perspective this land will appear as part of the site given the buffer and physical building setback will be similar to what would be observed on other properties in the area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 1 Zone (IB-1)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7922-0312-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7922-0312-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum east side yard setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) to eliminate the 3-metre landscape requirement of the IB-1 Zone along the east property line (194 A Street).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) The applicant is to enter into a Highway Licensing Agreement for the use of a portion of 194A Street, east of the subject site, for a total of 498 square metres;
 - (h) Final Approval from the Ministry of Environment, regarding remediation on the site;
 - (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and

- (j) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Mobile truck and trailer repair company	Business Park and Landscape Strips	A-2
North:	Recently approved multi-tenant industrial building under Development Application No. 7920-0093-00	Business Park	IB-1
East (Across 194A Street):	Forested property	Business Park and Landscape Strips	A-1
South (Across 28 Avenue):	Latimer Park	City Park	CD By-law No. 19643
West (Across 194 Street):	Outdoor storage	Business Park and Landscape Strips	IA

Context & Background

- The subject property is 1.86 hectares (4.6 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Intensive Agricultural Zone (A-2)".
- The site is currently occupied by a mobile truck and trailer repair company. The site is mainly flat with minimal slope.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "Intensive Agricultural Zone (A-2)" to "Business Park Zone (IB-1)" and a Development Permit for Form and Character to permit the development of an industrial business park building with a gross floor area of 10,292 square metres (FAR 0.56). The total site area is 1.86 hectares.
- The building proposed is a multi-tenant industrial building.
- The road dedications required along 194A Street, 194 Street and 28 Avenue was completed as a separate dedication, to allow the proposal to the north to proceed, as that proposal required access to 194A Street. This was done prior to the current development proposal to allow access to the site directly to the north, which recently completed their Development Application No. 7920-0093-00. Without this road dedication, the site to the north would not have had access to 194A Street, and their fire access would have been compromised.

	Proposed
Lot Area	
Gross/Net Site Area:	18,550 square metres
Road Dedication:	n/a
Undevelopable Area:	n/a
Number of Lots:	1
Building Height:	10.66 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.56
Floor Area	
Industrial:	7,565 square metres
Commercial/Office:	2,727 square metres
Total:	10,292 square metres

Environmental Considerations

- There are Class C watercourses fronting 194 Street and 28 Avenue, which are proposed for removal for the widening of 194 Street. The applicant has received confirmation from Water Sustainability Act (WSA) that the watercourse is not considered a stream under WSA.
- A Site Profile has been submitted to the Ministry of Environment (MoE) to remediate contamination on the site. Final Approval from the MoE will be required prior to Final Approval of the development application. The site had previous uses that require remediation, mainly a car repair shop and machine shop, with one enclosed repair bay and four open bays/repair areas.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	Latimer Park is the closest active park which includes a recreational walking trail and is across 28 Avenue from the development. The park also contains natural areas.
Surrey Fire Department:	No concerns.
Ministry of Environment	The MoE is processing the Site Profile that has been submitted by the applicant in support of their proposal. Final Approval from the MoE would be required prior to Final Adoption of the associated Rezoning By-law should Council support the subject development application. The remediation is required due to the vehicle repair business that is currently operating on the site.
Advisory Design Panel:	The application was not subject to review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The road dedication required along 194A Street, 194 Street and 28 Avenue was provided previously, to allow the development to the north to proceed, as they required access to 194A Street.
- The site will be accessed via three driveways. The driveway on 28 Avenue to the south is proposed for vehicular access, and two shared accesses with the property to the north for loading/trucks are proposed on 194 Street and 194A Street. There is also an easement proposed along the northern property line, to facilitate maneuvering for the loading bays.
- For parking, a total of 144 parking spaces are required, and 144 parking spaces are provided.
- The proposed truck loading bays are located along the northern portion of the site, with some landscaping and screening both to the east and west.
- The closest bus route is a north/south route on 192 Street, approximately 400 metres from the subject site.
- The closest bike routes are a north/south route on 192 Street, approximately 400 metres from the subject site, and a bike route west of 192 Street on 28 Avenue, also approximately 400 metres from the subject site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- Roofing material will consist of a ballasted EPDM roof system with light gray washed river worn rock at 17 PSF and a Solar Reflectance Index (SRI) value between 50 and 65 SRI. SRI value will vary due to the natural pigment variation of the river rock. This is less than the 75 SRI that is typically associated with a high-albedo roof.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along all street frontages (194 Street, 28 Avenue and 194A Street, with building articulations and expansive two-level spandrel glazing at the southwest corner. There are two public amenity plazas at the southwest and southeast corners).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes two plazas at the southwest and southeast corners of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to minimize public view, and to allow for the building to be used as screening for portions of the site. The loading is accessed from both 194 Street and 194A Street and has screening walls on both sides. Loading will not be visible from 28 Avenue, as this area will be screened by the building itself).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the "Business Park" and "Landscape Strips" land use designation in the Campbell Heights Local Area Plan (LAP).

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corners and along the 28 Avenue frontage. There is also added articulation for the building along 194A Street).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances for all facades, and building articulation is achieved through stepping of the building along 194A street following the curved road alignment, and at the southwest corner, by offsetting the office portion further south from the remainder of the building).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.00	0.56
Lot Coverage:	60%	46%
Yards and Setbacks		
North:	7.5 metres	21 metres
East:	7.5 metres	0.0 metres (DVP)
South:	7.5 metres	20 metres
West:	7.5 metres	7.5 metres
Height of Buildings		
Principal buildings:	14 metres	10.66 metres
Accessory buildings:	6 metres	n/a
Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial/Office:	68	68
Industrial:	76	76
Total:	144	144

Setback/Landscaping Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum east side yard setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) to eliminate the 3-metre landscape requirement of the IB-1 Zone along the east property line (194 A Street).
- There is excess road dedication on 194A Street to the east, that the applicant will be leasing from the City through a Highway Licensing Agreement. That excess portion will function as the east landscape buffer and setback, so the variances requested by the applicant (setback and landscaping) will not be noticeable by the public. This will also assist in providing a consistent building setback from the curb and will prevent the excess road allowance from being unsightly and unkept. For the public, this will not look different from other sites where there is a 7.5-metre building setback where no parking is proposed between the property line and the building. In that regard, the east buffer and setback will feel the same as the west buffer and setback.
- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 28, 2022, and the Development Proposal Signs were installed on July 03, 2023. Staff received no responses or concerns.
- The subject development application was reviewed by the Friends of Semiahmoo Bay Society, Little Campbell Watershed Society and Cloverdale District Chamber of Commerce. No comments have been received by staff.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).

- The proposed building is oriented east-west along 28th Avenue with surface parking between the building and this street. At the southwest corner, the offices are brought forward to provide more visual interest and articulation along the street. Along the east façade, the building follows the curved road, and also adds articulation for visual interest.
- The building articulation has also been added vertically, with subtle changes in building height, and colours, to provide more interest along the long façade on 28 Avenue.
- The applicant has worked with staff to increase articulation of the building along the street, provide further screening of the loading bays, and to provide a design that would incorporate the unused road allowance along the east portion of the site.
- The proposal includes fascia signs for each units and a free-standing sign with the building address. Signs are well designed and incorporated into the building.

Landscaping

- Landscaping consists of a 7.5-metre landscape buffer along the west portion of the site, a 6-metre buffer (4 metres of planting and 2 metres of bioswale) along 28 Avenue, and a varying landscape buffer along the east portion of the site, from 7.5 metres to 8.2 metres. Portions of the east landscape buffer are within the road allowance and will be secured through a Highway Licensing Agreement.
- There are two corner plazas with seating and amenities, on the southeast and southwest corners of the site.
- The new trees on the site will consist of a variety of trees including Pin Oak, Katsura Tree, Black Hawthorn, Honey Locust, Japanese Snowbell, Pyramidal American Linden, Flame Amur Maple, Columnar Hornbeam, Douglas Fir, Western Red Cedar, Hemlock and a variety of shrubs.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, which do not affect the overall character or quality of the project.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Sarah Bishop, ISA Certified Arborist of Koome Urban Forestry Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Douglas Fir	4	4	0
Sitka Spruce	1	1	0
Western Red Cedar	3	3	0
Total (excluding Alder and Cottonwood Trees)	8	8	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		67	
Total Retained and Replacement Trees Proposed		67	
Estimated Contribution to the Green City Program		n/a	

- The Arborist Assessment states that there are a total of 8 mature trees on the site, with no Alder and Cottonwood trees. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The report shows an additional 100 trees to be removed within the 194A Street road allowance. These trees are being removed as part of the development proposal to the north, which already received final approval and it is currently under construction. The Arborist Report was submitted prior to the application to the north receiving Final Approval, so it still references the same trees.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 16 replacement trees on the site. The applicant is proposing 67 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Pin Oak, Katsura Tree, Black Hawthorn, Honey Locust, Japanese Snowbell, Pyramidal American Linden, Flame Amur Maple, Columnar Hornbeam, Douglas Fir, Western Red Cedar, Hemlock and a variety of shrubs.
- In summary, a total of 67 trees are proposed to be retained or replaced on the site with an no contribution required to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Variance Permit No. 7922-0312-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

LM/ar

**PROPOSED
CAMPBELL 28
INDUSTRIAL BUILDING**
ADDRESS: 19455 28 AVE, SURREY, B.C.



ARCHITECTURAL DRAWING LIST

COVER PAGE	A-0.0
SITE PLAN	A-1.0
BASE PLAN	A-1.1
SITE DETAILS	A-1.2
ENLARGED ANCHITY PLANS	A-1.3
FIRE ACCESS PLAN	A-1.4
MAN FLOOR PLAN	A-2.0
UPPER FLOOR PLAN	A-2.1
ROOF PLAN	A-3.0
COLORLED ELEVATIONS	A-4.0
SECTIONS	A-5.0

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IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2828A ALLIANCE STREET, ANIMATOPONG, B.C., V2B 3J9
TEL: (604) 857-8838 EMAIL: DAVE@DFDESIGN.CA

SCALE

PROJECT MANAGERS / CONTRACTORS



ORION CONSTRUCTION
UNIT 105 19623 80A AVE
LANGLEY, B.C. V3V 0E2
PHONE: (604) 362-2994

DEVELOPER:



NO.	DATE	Y/M/D	DESCRIPTION
1	SEP 24	20	ISSUED FOR CLIENT REVIEW
2	SEP 13	20	ISSUED FOR DEVELOPMENT PERMIT
3	SEP 13	20	RE-SUBMITTED DEVELOPMENT PERMIT

NO.	DATE	Y/M/D	DESCRIPTION

NO.	DATE	Y/M/D	DESCRIPTION

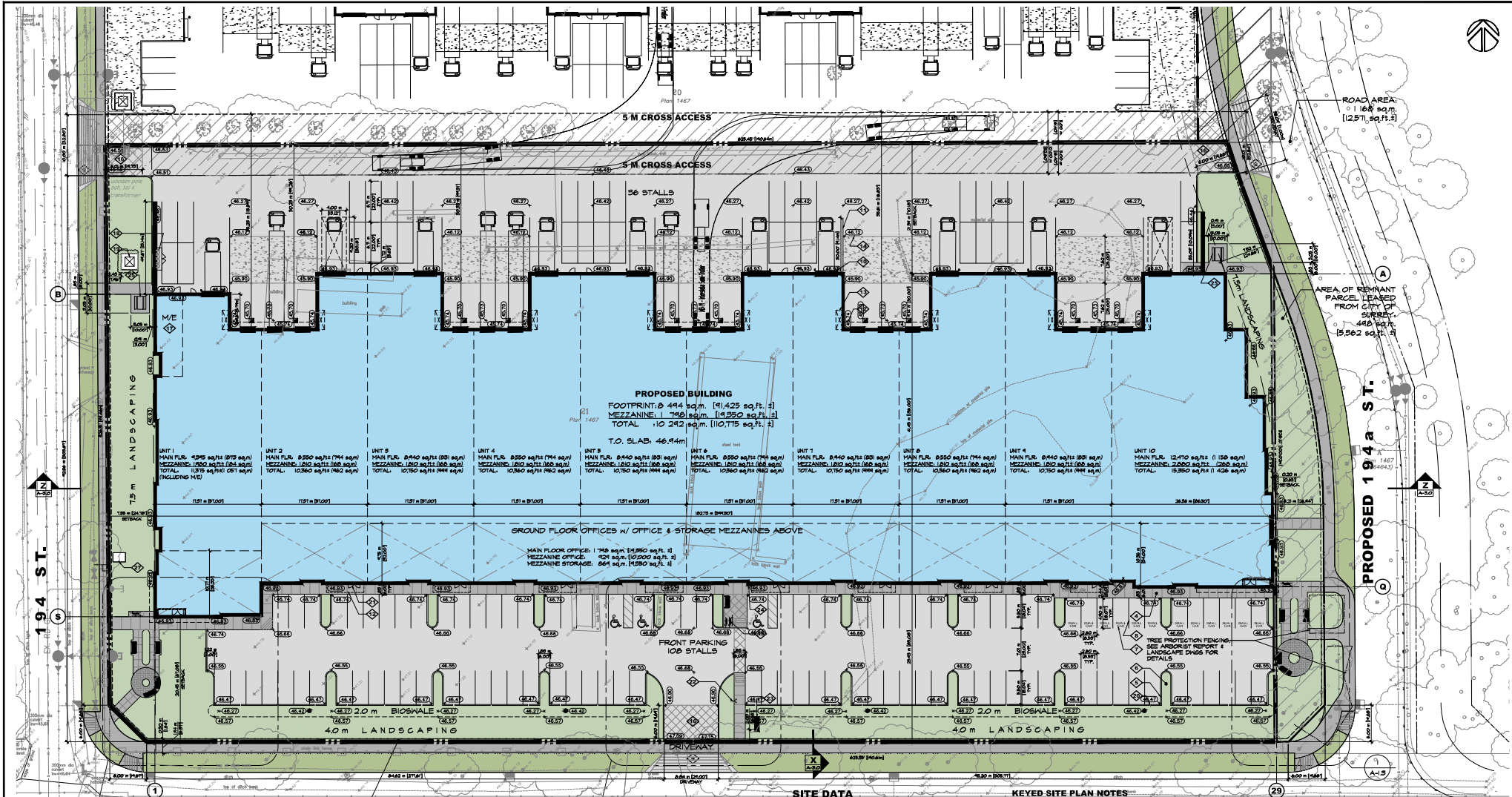
PROPOSED INDUSTRIAL BUILDING PER

CAMPBELL 28

ADDRESS: 19455 28 AVE, SURREY, B.C.

DRAWING:
COVER PAGE

DESIGN V.P.	CHECKED
DATE	B.D.
PLLOT DATE	
REV	
3	A-0.0



PROPOSED BUILDING
 FOOTPRINT: 0.444 sq.m. [4,425 sq.ft.]
 MEZZANINE: 1.748 sq.m. [18,950 sq.ft.]
 TOTAL: 10.242 sq.m. [110,715 sq.ft.]
 T.O. SLABS: 46.94m

UNIT 1 MAIN FLR. 4.395 sq.m. [470 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.378 sq.m. [1121 sq.ft.] (INCLUDING ME)
 UNIT 2 MAIN FLR. 4.350 sq.m. [465 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 3 MAIN FLR. 4.340 sq.m. [463 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 4 MAIN FLR. 4.350 sq.m. [465 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 5 MAIN FLR. 4.340 sq.m. [463 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 6 MAIN FLR. 4.340 sq.m. [463 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 7 MAIN FLR. 4.340 sq.m. [463 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 8 MAIN FLR. 4.350 sq.m. [465 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 9 MAIN FLR. 4.340 sq.m. [463 sq.ft.] MEZZANINE 1.950 sq.m. [211 sq.ft.] TOTAL: 10.350 sq.m. [1116 sq.ft.]
 UNIT 10 MAIN FLR. 12.470 sq.m. [1350 sq.ft.] MEZZANINE 2.000 sq.m. [215 sq.ft.] TOTAL: 15.350 sq.m. [1665 sq.ft.]

GROUND FLOOR OFFICES w/ OFFICE & STORAGE MEZZANINES ABOVE
 MAIN FLOOR OFFICE: 1.748 sq.m. [18,950 sq.ft.]
 MEZZANINE OFFICE: 424 sq.m. [4560 sq.ft.]
 MEZZANINE STORAGE: 849 sq.m. [9190 sq.ft.]

FRONT PARKING 108 STALLS

BIOSHALE
 4.0m LANDSCAPING

BIOSHALE
 4.0m LANDSCAPING

SITE DATA
 ACCESS: 1455 28 AVE. SURREY, B.C.
 LEGAL DESCRIPTION: LOT 21 SECTION 22 TOWNSHIP 1 PLAN N146471
 EXISTING ZONING: R1-12
 PROPOSED ZONING: AC-2
 GROSS LOT AREA: 1.26 ha [30,674 sq.ft.]
 PROPOSED BUILDING AREA: 0.444 ha [4,425 sq.ft.]
 SITE COVERAGE: 60% MAX.
 F.A.R.: 1.0 MAX.
 SETBACKS:
 FRONT (WEST): 1.5m [5.0 ft.]
 SIDE (NORTH): 1.5m [5.0 ft.]
 SIDE (SOUTH): 4m [13.1 ft.]
 REAR (EAST): 0m
 HEIGHT: 14.0 m [45'4"] MAX. 10.86 m [35'-7"]

LEGEND
 EXISTING GRADE X 0.55
 PROPOSED GRADE X 1.10

KEYED SITE PLAN NOTES
 1. INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT
 2. HALL MOUNTED AC SIGN PER DETAIL 2/A-12
 3. 2.0' MIN. CLEARANCE TO OVERHEAD UTILITIES
 4. GARAGE BENCHES TO BE ABOVE ADJACENT ASPHALT LIGHT BROWN FINISH
 5. ALL BUSHES TO BE REMOVED AND REPLACED WITH LANDSCAPING PER DETAIL 2/A-12
 6. LANDSCAPING PER LANDSCAPE ARCHITECT'S DRAWINGS
 7. PAINT OR ASPHALT
 8. 4" PAINT STRIPE, TYPICAL
 9. ASPHALT CROSSING TO MUNICIPAL STREET
 10. 8" X 12" WALK CORNER WITH 9" RISER
 11. TO MATCH EXISTING JOINTS AND TO BE TYPICAL AT ALL GRADE CHANGES
 12. DETAIL 2/A-12
 13. ALL BUSHES TO BE REMOVED AND REPLACED WITH LANDSCAPING PER DETAIL 2/A-12
 14. ELECTRICAL ROOMS, SEE ELECTRICAL DRAWINGS
 15. LINE OF CANOPY ABOVE SEE PLANS AND DETAILS FOR MORE INFORMATION
 16. GARAGE BENCH LOCATION INSIDE BUILDING TYPICAL
 17. CONCRETE DOLLY PAD

18. BICYCLE PARKING (2 UNITS) PER DETAIL 2/A-12
 19. SAWTOOTH CONCRETE, 100mm x 400
 20. ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
 21. GWS DESIGN PLACING THE EXISTING CURB PER MECHANICAL DRAWINGS
 22. TO BE REMOVED AND REPLACED WITH LANDSCAPING PER DETAIL 2/A-12
 23. ELECTRICAL ROOMS, SEE ELECTRICAL DRAWINGS, PER DETAIL 2/A-12
 24. FULLY SCREENED SEE LANDSCAPE
 25. 2'-0" WIDE SLOTTED CURB FOR DRAINAGE INTO BIOSHALE
 26. TYPICAL ACCESSIBLE ENTRANCE
 27. FIRE DEPT. CONNECTION, SEE MECHANICAL DRAWINGS
 28. PREFABRICATION SIGN, SEE 2/A-12 FOR DETAILS
 29. WEATHER-PROOF EXTERIOR FIRE ANNUNCIATOR PANEL, SEE ELECTRICAL DRAWINGS
 30. FINISH BENCH PER LANDSCAPE
 31. FIRE HYDRANT, SEE CIVIL
 32. WATER ENTRY CHAMBER, SEE CIVIL
 33. BENCH PER LANDSCAPE
 34. WEATHER-PROOF EXTERIOR CONCRETE GYM BEER STORY (PPG-3002-64) CONCRETE PAINT
 35. PER DETAIL 2/A-12

PARKING REQUIRED:
 11 BICYCLE: 1.5m [5.0 ft.]
 12 OFFICE: 1.5m [5.0 ft.]
 13 1ST FLR. INDUSTRIAL: 12.075 / 1016 = 610
 14 OFFICE: 12.550 / 435 = 28.8
 15 MEZZ. OFFICE: 10.000 / 1016 = 9.8
 16 MEZZ. STORAGE: 8.490 / 1016 = 8.3
 17 TOTAL: 12.550 / 1016 = 12.3

PARKING PROVIDED:
 18 20% SMALL CARS ALLOWED = 50 STALLS - PROVIDED = 11
 19 2% ACCESSIBLE STALLS REQ'D = 2.8 STALLS - PROVIDED = 3
 20 BICYCLE PARKING PROVIDED: 1 SPACES (4 RACKS)

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 TEL: (604) 271-8888 FAX: (604) 271-8889
 WWW.ARCHITECTUREPANEL.COM

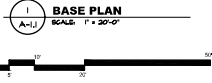
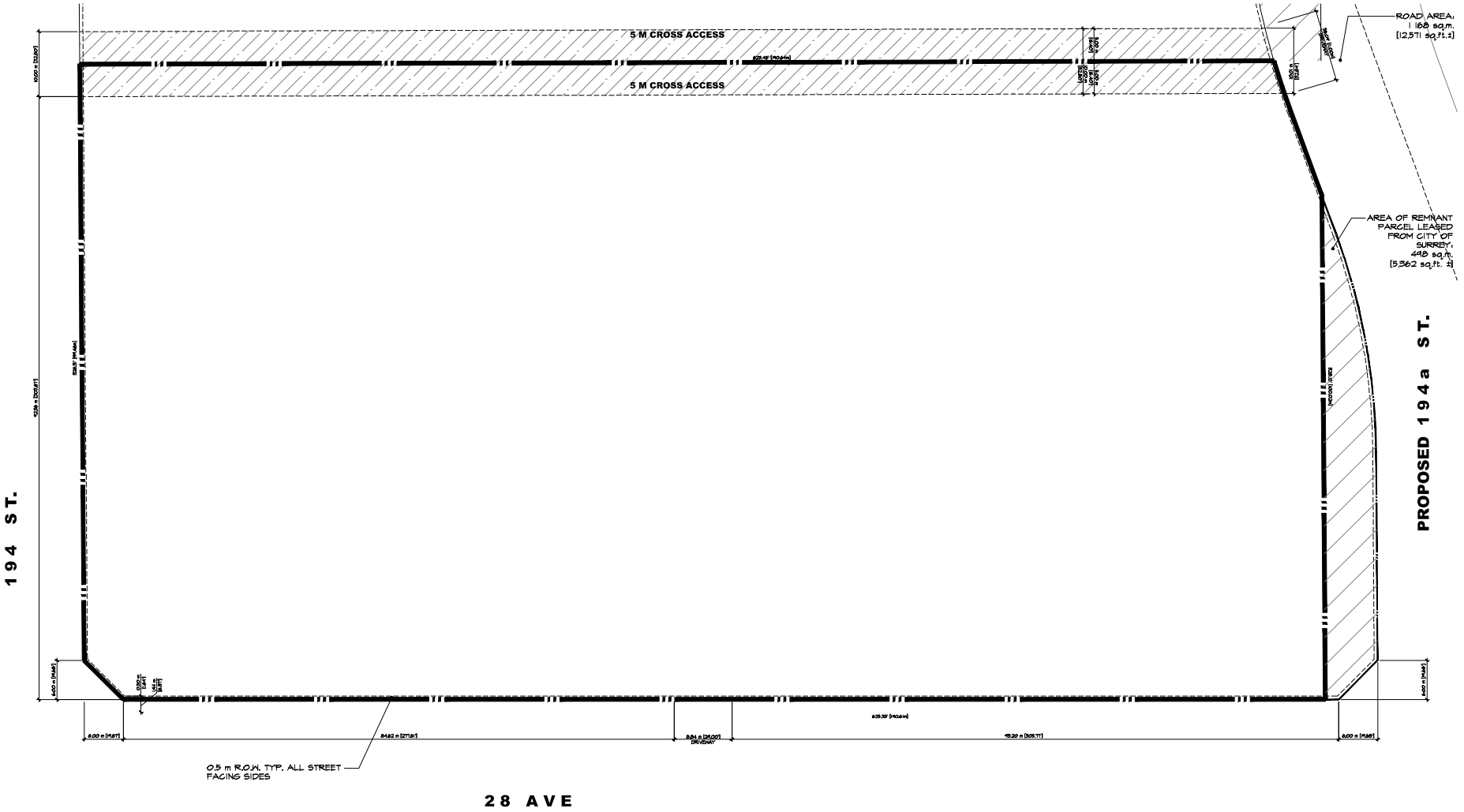
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 1455 28 AVE. SURREY, B.C. V3R 2J9
 TEL: (604) 271-8888 FAX: (604) 271-8889
 WWW.DFORCEDESIGN.COM

PROJECT MANAGERS / CONTRACTORS
ORION CONSTRUCTION
 105 19923 80A AVE.
 LANGLEY, B.C. V2Y 0E2
 PHONE: (604) 362-0396

DEVELOPER
CEDAR COAST

NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	10/20/22	ML	CONCEPT PLAN	11	10/20/22	ML	CONCEPT PLAN
2	10/20/22	ML	CONCEPT PLAN	12	10/20/22	ML	CONCEPT PLAN
3	10/20/22	ML	CONCEPT PLAN	13	10/20/22	ML	CONCEPT PLAN
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30	10/20/22	ML	CONCEPT PLAN	40	10/20/22	ML	CONCEPT PLAN

PROPOSED MATERIALS / SUBSTITUTION
CAMPBELL 28
 ADDRESS: 1455 28 AVE. SURREY, B.C.
 DRAWING: **SITE PLAN**
 REV: 7
 DRAWING NUMBER: **A-1.0**



ARCHITECTURE PANEL INC.
 280-1101 120th Street Unit 100, Langley BC V2Y 0E2
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 WWW.ARCHITECTUREPANEL.COM

IN ASSOCIATION WITH
D.FORCE DESIGN INC.
 2800 ALLIANCE BLVD., ANNEBOROUGH, B.C. V8B 3J9
 TEL: (604) 887-5555 FAX: (604) 887-5556
 WWW.DFORCEDESIGN.COM

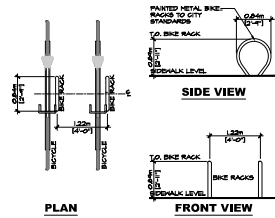
PROJECT MANAGERS / CONTRACTORS:
DORION CONSTRUCTION
 105 19923 30th Ave, Langley, BC V2Y 0E2
 PHONE: (604) 882-0394

DEVELOPER:
CEDAR COAST
 105 19923 30th Ave, Langley, BC V2Y 0E2
 PHONE: (604) 882-0394

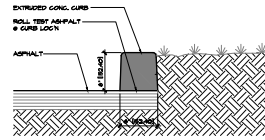
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11	22	2012		23			
12	22	2012		24			

PROPOSED INDUSTRIAL BUILDING FOR
CAMPBELL 28
 ADDRESS: 1940 28 AVE. SURREY, B.C.
 DRAWING: **BASE PLAN**

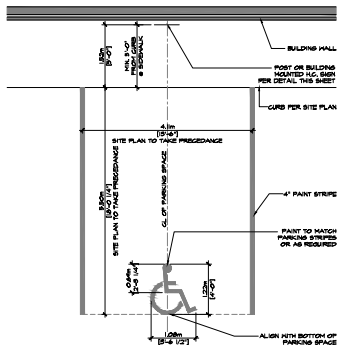
REV. **3**
 DRAWING NUMBER: **A-1.1**



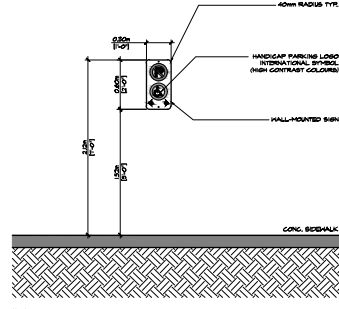
3 BIKE RACK DETAIL
SCALE: 1/4" = 1'-0"



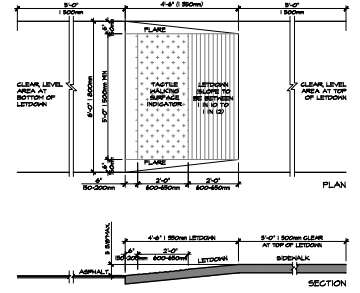
4 CURB DETAIL
SCALE: 1/2" = 1'-0"



5 HANDICAP PARKING STALL DETAIL
SCALE: 1/4" = 1'-0"

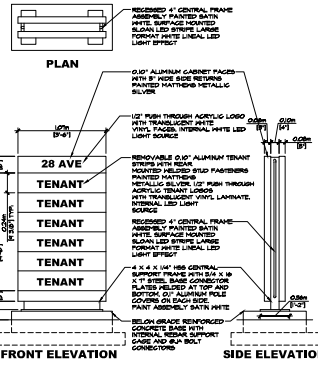


2 HANDICAP PARKING SIGN DETAIL
SCALE: 1/2" = 1'-0"

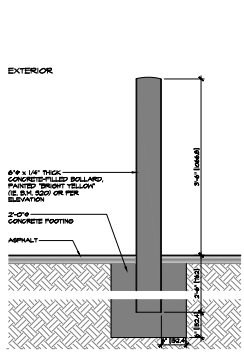


1 LETDOWN DETAIL
SCALE: 1/2" = 1'-0"

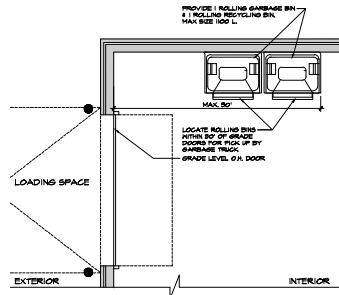
SIGN SUPPLIER TO PROVIDE SEALED ENGINEERED SHOP DRAWINGS FOR ALL ASPECTS OF SIGNAGE INCLUDING FOOTINGS



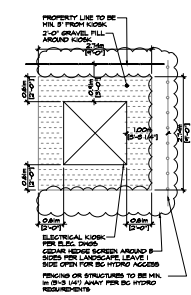
10 FREESTANDING SIGN
SCALE: 1/2" = 1'-0"



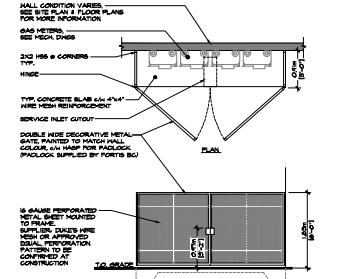
4 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



8 INTERIOR GARBAGE DETAIL
SCALE: 1/4" = 1'-0"



7 ELECTRICAL KIOSK DETAIL
SCALE: 1/4" = 1'-0"



6 GAS METER DETAIL
SCALE: 1/4" = 1'-0"



GENERAL ENCLOSURE NOTES:
1) FOOTING TO BE DESIGNED BY OTHERS TO MEET LOCAL SOIL CONDITIONS.
2) ENCLOSURE TO BE MADE OF STEEL FRAMING.
3) WITHIN BIBLE DIMENSIONS ARE MAINTAINED.
4) ENCLOSURE MUST BE SECURE FROM VANDALISM.

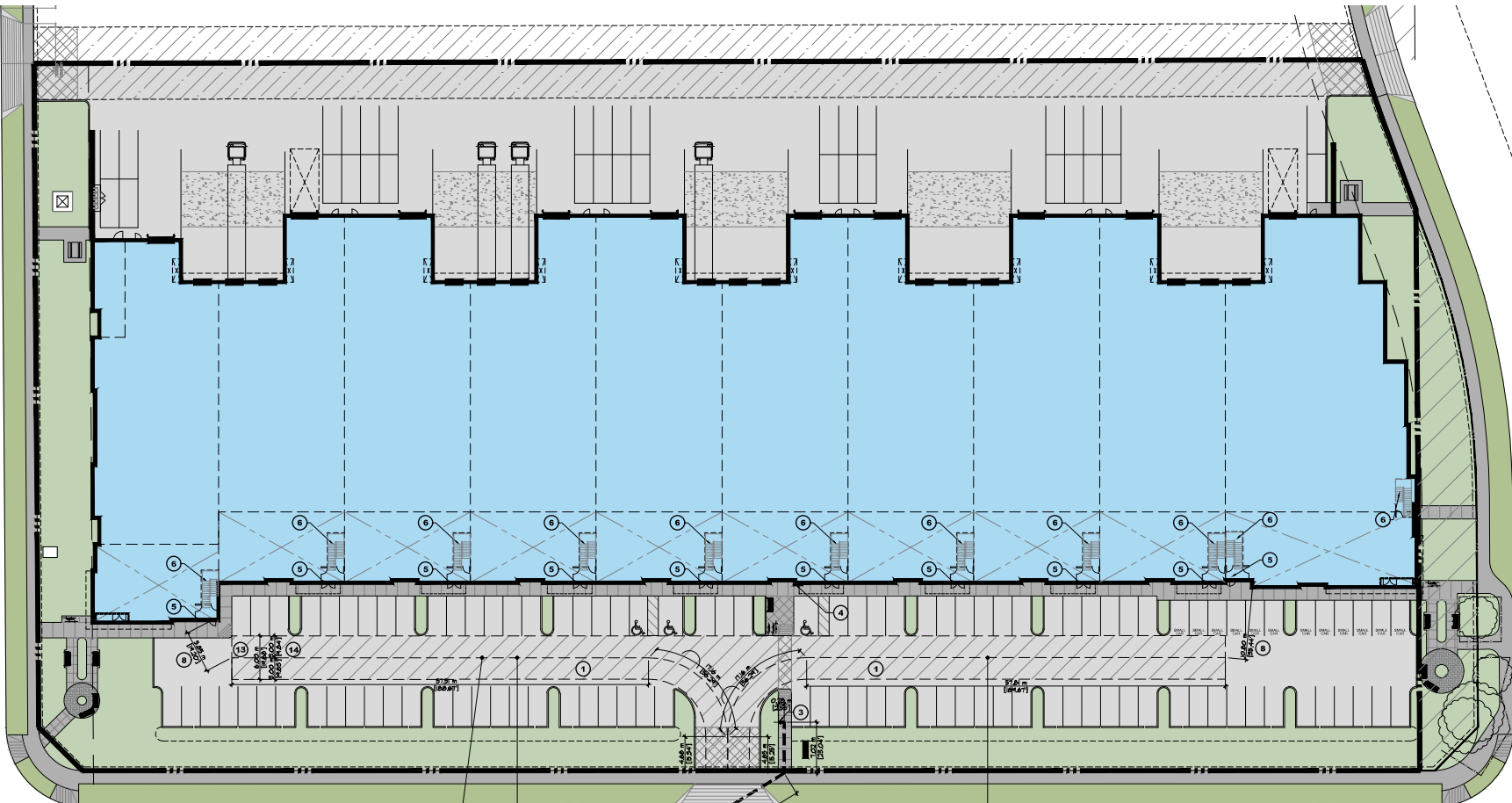
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
ARCHITECTURE PANEL INC.
DRAFTING PANEL INC.

ORION CONSTRUCTION
CEDAR COAST

NO.	DATE	DESCRIPTION
1	11/13/2022	PRELIMINARY DESIGN
2	01/12/2023	ISSUED FOR DEVELOPMENT PERMIT
3	01/12/2023	PRELIMINARY DEVELOPMENT PERMIT
4	01/12/2023	01/12/2023
5	01/12/2023	01/12/2023
6	01/12/2023	01/12/2023
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11	01/12/2023	01/12/2023
12	01/12/2023	01/12/2023

NO.	DATE	DESCRIPTION
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14	01/12/2023	01/12/2023
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23	01/12/2023	01/12/2023
24	01/12/2023	01/12/2023

PROPOSED MATERIAL SCHEDULE FOR
CAMPBELL 28
ADDRESS: 3805 28 AVE. SUDBURY, BC
SITE DETAILS
REV. **3**
DRAWING NUMBER: **A-1.2**



12 HATCHED AREA INDICATES THE TRUCK ACCESS ROUTE TO BE MAINTAINED FOR FIRE. THIS AREA SHALL BE KEPT CLEAR OF ALL OBSTRUCTIONS AND SHALL BE ACCESSIBLE TO THE TRUCK AT ALL TIMES. A TRUCK SHALL BE ABLE TO TURN 180 DEGREES AND BE ABLE TO CARRY FIRE TRUCK LOADS. THE TRUCK SHALL BE ABLE TO ACCESS THE PORTION OF THE BUILDING THAT IS HATCHED. THE CONNECTION WITH A FIRE TRUCK SHALL BE MAINTAINED AT ALL TIMES.

FIRE ACCESS PLAN
SCALE: 1" = 20'-0"



KEYED FIRE RESPONSE PLAN NOTES

- 1 A CLEARLY IDENTIFIED OR MARKED ACCESS ROUTES
- 2 THE LOCATION OF VEH AND LANDING FIRE WORKINGS
- 3 THE LOCATION OF THE FIRE DEPARTMENT CONNECTIONS
- 4 THE LOCATION OF THE FIRE ALARM ANNUNCIATOR PANELS
- 5 THE LOCATION OF THE PRIMARY ENTRANCE TO THE BUILDING AND ANY PRIMARY ENTRANCES TO UNITS NOT CONNECTED TO THE BUILDING THROUGH AN INTERNAL CORRIDOR
- 6 THE LOCATION OF STAIRWELLS THAT PROVIDE ACCESS TO ABOVE GRADE AND BELOW GRADE LEVELS. THE STAIRWELL STAIRS SHALL BE ABOVE GRADE AND BELOW GRADE LEVELS. IF IT IS PROVIDED AT THE PRIMARY RESPONSE POINT.
- 7 THE OBSTRUCTED DISTANCE FROM THE ENTRANCE TO THE CLOSEST PORTION OF THE ACCESS ROUTE (BASIC 12.2.2)
- 8 THE OBSTRUCTED DISTANCE FROM THE PRINCIPAL ENTRANCE TO THE CLOSEST PORTION OF THE ACCESS ROUTE (BASIC 12.2.4)
- 9 THE OBSTRUCTED UNOBTAINED DISTANCE BETWEEN THE FIRE HYDRANT AND THE TRUCK ACCESS ROUTE (BASIC 12.2.5)

- N/A 10 THE OBSTRUCTED DISTANCE FROM THE PRINCIPAL ENTRANCE TO THE CLOSEST PORTION OF THE ACCESS ROUTE (BASIC 12.2.4)
- N/A 11 THE OBSTRUCTED DISTANCE FROM THE PRINCIPAL ENTRANCE TO THE CLOSEST PORTION OF THE ACCESS ROUTE (BASIC 12.2.4)
- N/A 12 THE ACCESS ROUTE THAT MUST BE DESIGNED TO SUPPORT A MINIMUM WEIGHT OF 10,000 LB (BASIC 12.2.2)
- N/A 13 THE OBSTRUCTED WIDTH OF THE ACCESS ROUTE (BASIC 12.2.5)
- N/A 14 THE OBSTRUCTED CENTERLINE WIDTH OF THE ACCESS ROUTE (BASIC 12.2.2)
- N/A 15 IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT SHALL HAVE AN OBSTRUCTED CLEARANCE OF LESS THAN 9' 6" (BASIC 12.2.2.4)
- N/A 16 THE OBSTRUCTED DISTANCE FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE (BASIC 12.2.2)
- N/A 17 IDENTIFY ANY PORTIONS OF THE ACCESS ROUTE THAT SHALL HAVE A CHANGE OF GRADE OR OBSTRUCTION (BASIC 12.2.2.4)

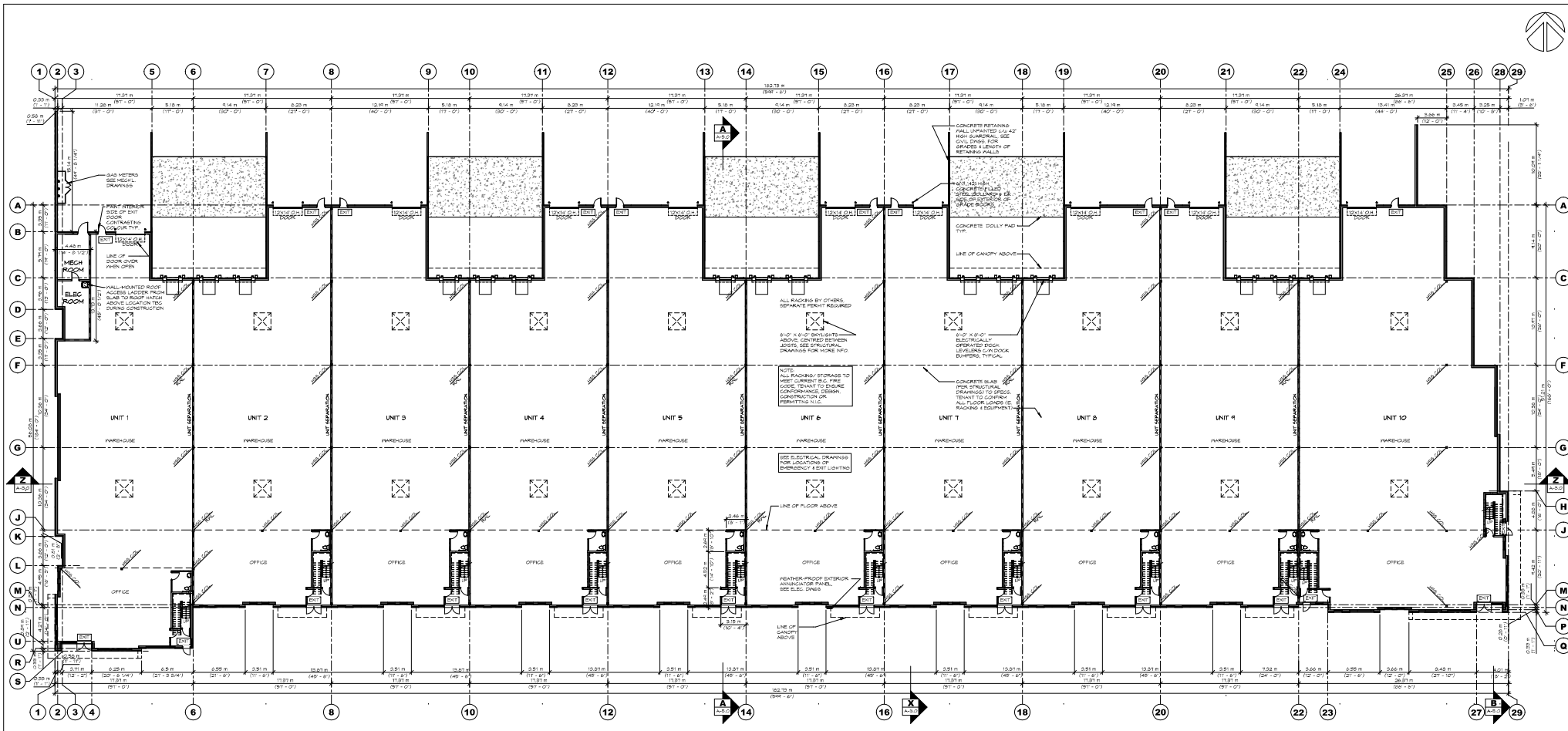
D.FORCE DESIGN INC.
 1000 100TH STREET UNIT 100, SCARSDALE, NY 11783
 TEL: (516) 466-8800 FAX: (516) 466-8801
 WWW.DFORCEDESIGN.COM

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 1000 100TH STREET UNIT 100, SCARSDALE, NY 11783
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 WWW.CEDARCOAST.COM

NO.	DATE	YMD	DESCRIPTION
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25	11	11	11

PROJECT: **CAMPBELL 28**
 ADDRESS: 1800 38 AVE. SUITE 200, B.C.
FIRE ACCESS PLAN
 REV. **2**
 DRAWING NUMBER: **A-1.4**



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

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ARCHITECTURE PANEL INC.
1900 15th Ave S, Suite 100, Grand Rapids, MI 49503
Phone: (616) 453-0000

IN ASSOCIATION WITH
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2525 N. LANSING AVE., SUITE 1000, GRAND RAPIDS, MI 49503
2500 21st Ave S.E., Grand Rapids, MI 49508

SOIL

PROJECT MANAGER/ CONTRACTOR

ORION CONSTRUCTION
UNIT 100, 1900 15th AVE S.E., GRAND RAPIDS, MI 49503
PHONE: (616) 362-2044

DEVELOPER

CEDAR COAST

NO.	DATE	BY	DESCRIPTION
1	11/15/18	JLS	ISSUED FOR CLIENT REVIEW
2	11/16/18	JLS	REQUIRED FOR DEVELOPMENT PERMIT
3	11/16/18	JLS	REQUIRED FOR DEVELOPMENT PERMIT
4	11/16/18	JLS	REQUIRED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
1	11/15/18	JLS	ISSUED FOR CLIENT REVIEW
2	11/16/18	JLS	REQUIRED FOR DEVELOPMENT PERMIT
3	11/16/18	JLS	REQUIRED FOR DEVELOPMENT PERMIT
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PROPOSED INDUSTRIAL BUILDING FOR:

CAMPBELL 28

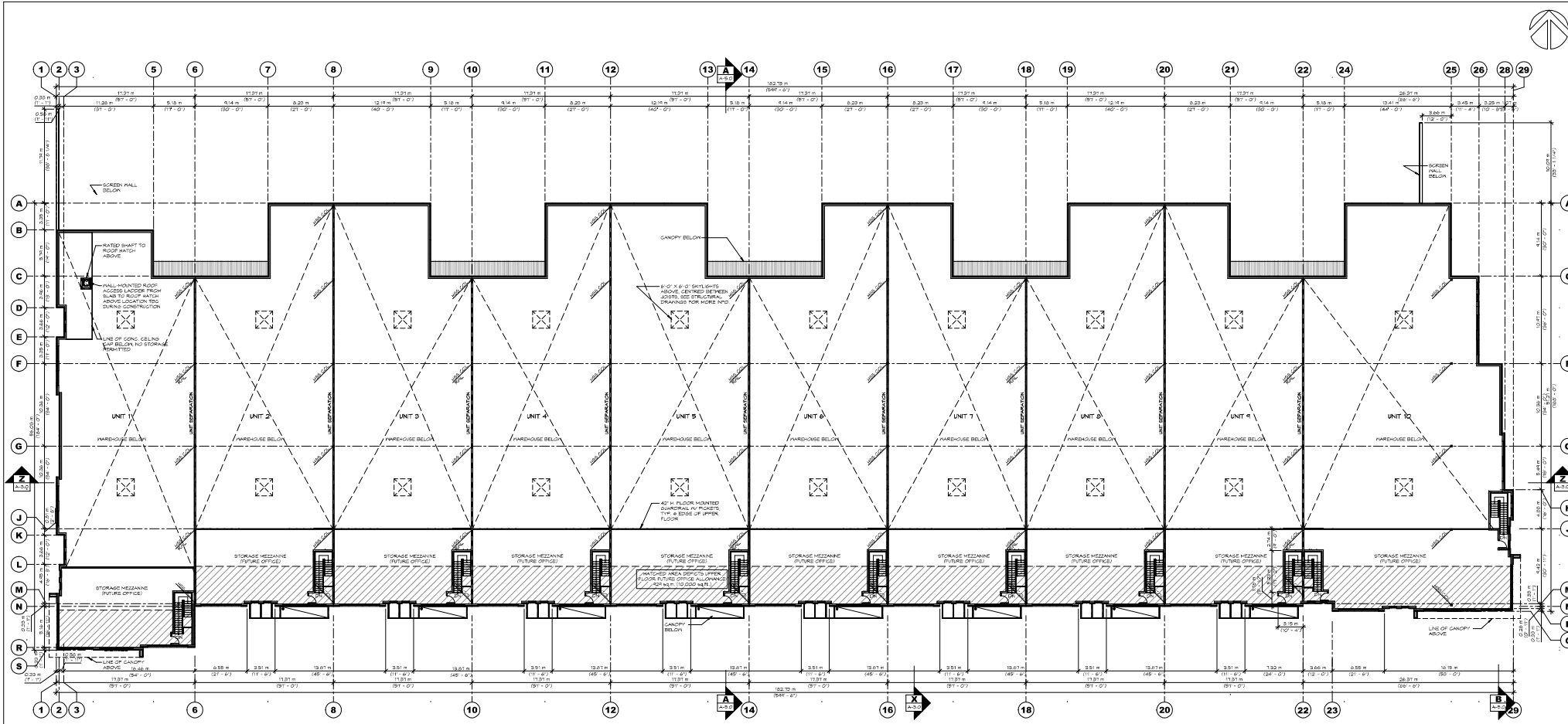
ARCHITECT: ARCHITECTURE PANEL INC.

DRY-BUILD:

MAIN FLOOR PLAN

REV. **4**

DRAWING NUMBER: **A-2.0**



1 UPPER FLOOR PLAN
A-2.1 SCALE: 1/8" = 1'-0"

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IN ASSOCIATION WITH

D.FORGE DESIGN INC.

2025A ALLIANCE BLVD. SUITE 100, RENO, NV 89505
TEL: 775.784.8888 FAX: 775.784.8889
WWW.DFORGEDESIGN.COM

PROJECT MANAGER/CONTRACTOR:

ORION CONSTRUCTION

ORION CONSTRUCTION
UNIT 100, 1600 S. RIVER BLVD.
SUNLVILLE, OH 44134
PHONE: (440) 362-2044

DEVELOPER:

CEDAR COAST

NO.	DATE	BY	DESCRIPTION
1	10/15/23	JK	ISSUED FOR PERMIT REVIEW
2	10/15/23	JK	REVISED FOR DEVELOPMENT PERMIT
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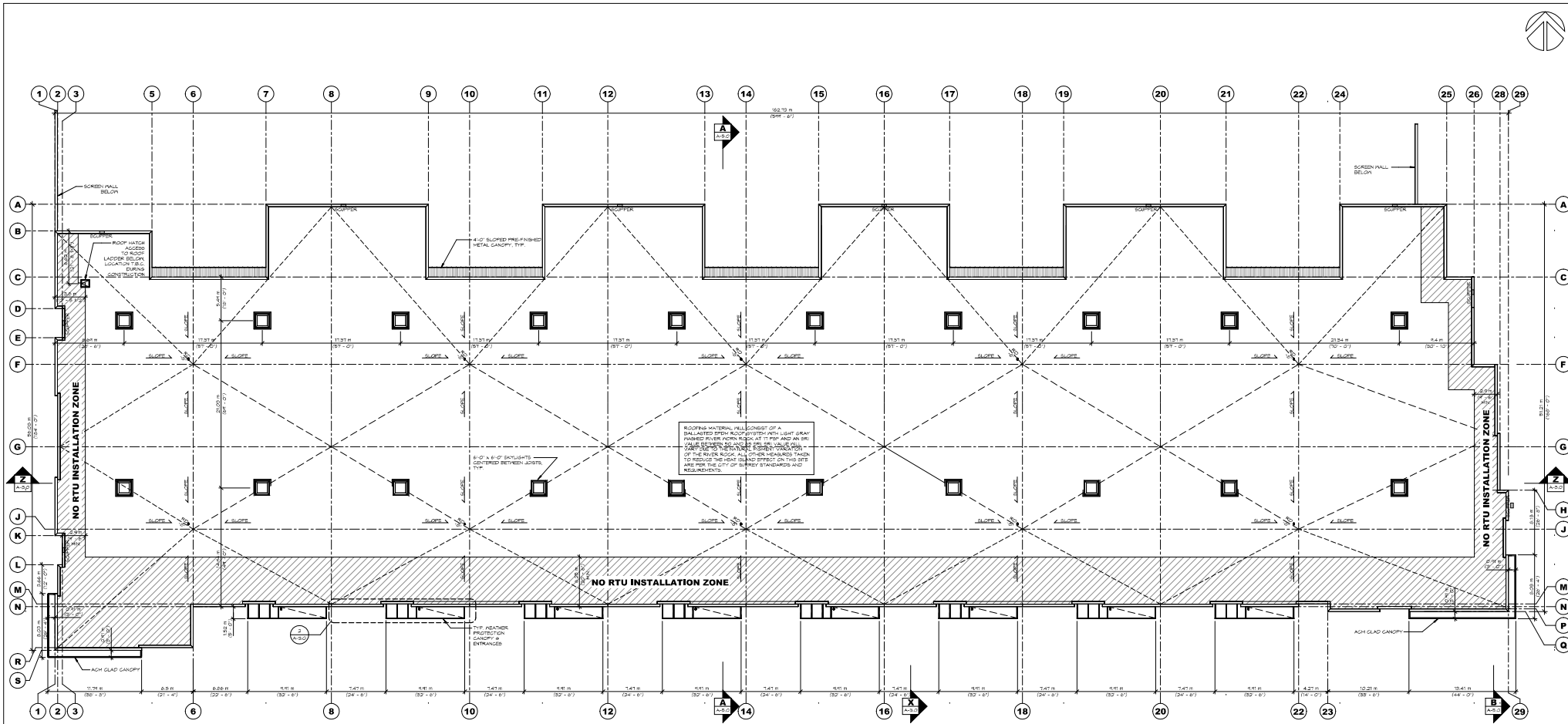
CAMPBELL 28

ADDRESS: 1600 S. RIVER BLVD.
SUNLVILLE, OH 44134

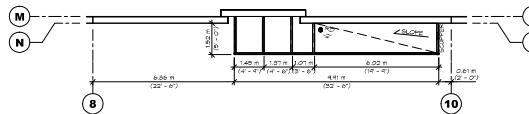
UPPER FLOOR PLAN

REV. 4

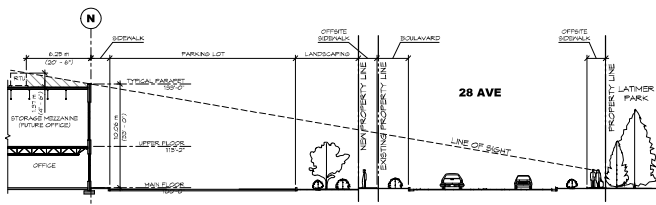
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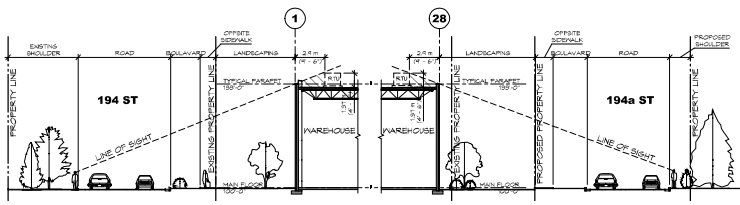
1 ROOF PLAN
A-3.0 SCALE: 1/8" = 1'-0"



2 TYP. ENLARGED CANOPY PLAN
A-3.0 SCALE: 1/8" = 1'-0"



X SITE SECTION X
A-3.0 SCALE: 1/8" = 1'-0"



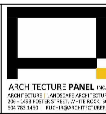
Z SITE SECTION Z
A-3.0 SCALE: 1/8" = 1'-0"

ROOF NOTES

- SEE STRUCTURAL DRAWINGS FOR FINAL STEEL ELEVATIONS
- ALL ASPECTS OF ROOF DESIGN INCLUDING DETAILS TO BE REVIEWED BY QUALIFIED ROOFING CONTRACTOR TO ENSURE COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS PRIOR TO CONSTRUCTION.
- PROVIDE 20 YEAR WEATHER GUARANTEE - 5 YEAR SYSTEMS GUARANTEE
- CONCRETE PAVES RECOMMENDED FOR ALL ROOF TOP EQUIPMENT FOR ENVELOPE END.
- AT THE 20 YEAR WEATHER INSULATION IN 20 YEAR ENERGY MODEL.
- DAYLIGHT INVALE TEG BY ENERGY MODEL.

IMPORTANT NOTE
- ROOF INSULATION & DAYLIGHTS TO FULLY COMPLY WITH ALL APPLICABLE REQUIREMENTS OF ASHRAE 90.1 2010 PRESCRIPTIVE METHOD COMPLIANT FOR CONDO SPACE.
- ROOF # DAYLIGHTS TO BE COMPLIANT TO ALL APPLICABLE REQUIREMENTS FOR NON-CONCRETE CONSTRUCTION PER IBC 5.5.2.2.

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IN ASSOCIATION WITH
D.FORGE DESIGN INC.
2828A ALABAMA STREET, SUITE 100, RICHMOND, B.C., V6V 2J9
TEL: 604.273.8888 FAX: 604.273.8888
WWW.DFORGEDSIGN.COM

ORION CONSTRUCTION
UNIT 100, 1500 104A AVENUE
SHERMAN, BC V0T 0E2
PHONE: (604) 362-2864



NO.	DATE	BY	DESCRIPTION	NO.	DATE	BY	DESCRIPTION
1	08/20/24	MM	ISSUED FOR DEVELOPMENT PERMIT	1	08/20/24	MM	ISSUED FOR DEVELOPMENT PERMIT
2	08/20/24	MM	REVISED FOR DEVELOPMENT PERMIT	2	08/20/24	MM	REVISED FOR DEVELOPMENT PERMIT
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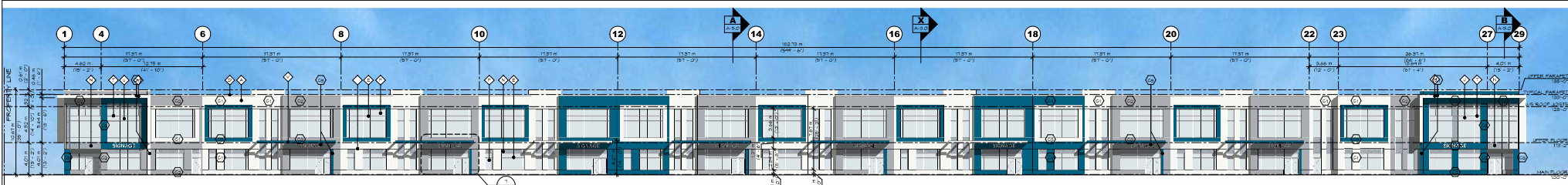
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2	08/20/24	MM	REVISED FOR DEVELOPMENT PERMIT
3	08/20/24	MM	ISSUED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION
1	08/20/24	MM	ISSUED FOR DEVELOPMENT PERMIT
2	08/20/24	MM	REVISED FOR DEVELOPMENT PERMIT
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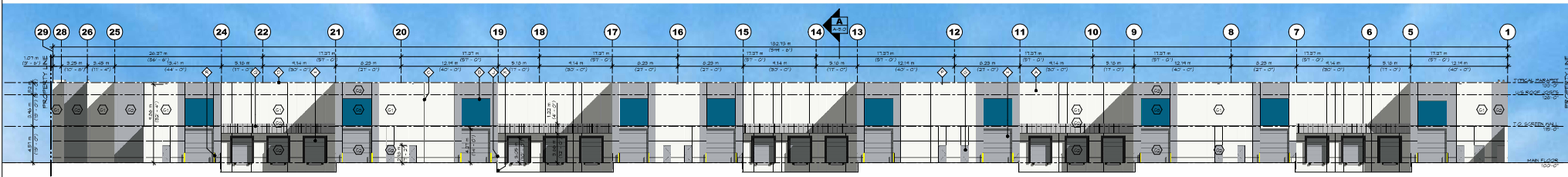
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NO.	DATE	BY	DESCRIPTION
1	08/20/24	MM	ISSUED FOR DEVELOPMENT PERMIT
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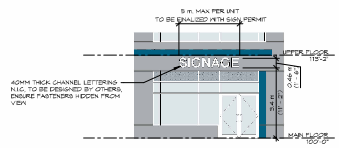
PROPOSED INDUSTRIAL BUILDING FOR:
CAMPBELL 28
ARCHITECTURE PANEL INC.
ROOF PLAN
REV. 3
DRAWING NUMBER: **A-3.0**



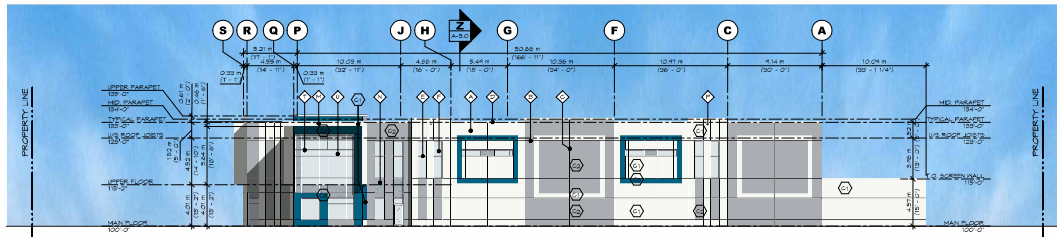
1 SOUTH ELEVATION (FACING 28 AVE.)
SCALE: 1/8" = 1'-0"



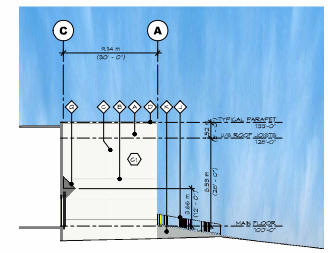
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



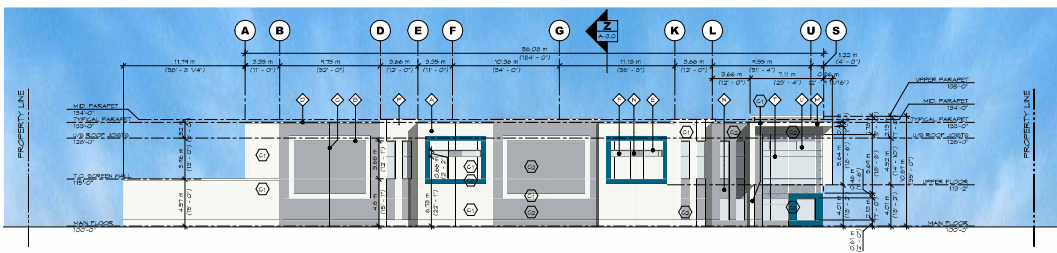
7 TYPICAL FASCIA SIGNAGE DETAIL
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION (FACING 194a ST.)
SCALE: 1/8" = 1'-0"

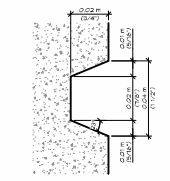


5 TYP. ELEVATION @ GRIDS 9, 13, 17, 21, & GRIDS 7, 11, 15, 19, 24 OPP.
SCALE: 1/8" = 1'-0"



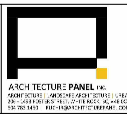
4 WEST ELEVATION (FACING 194 ST.)
SCALE: 1/8" = 1'-0"

- MATERIAL LEGEND**
- ◊ CONCRETE TILT-UP WALL ELEM. - PAINTED
 - ◊ REVEAL IN CONCRETE - PAINTED
 - ◊ PANEL JOINT
 - ◊ PRE-FINISHED METAL GUT FLASHING
 - ◊ STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
 - ◊ STOREFRONT GLASS - CLEAR
 - ◊ STEEL HANDDOORS - PAINTED
 - ◊ STEEL SECTIONAL OVERHEAD DOORS
 - ◊ STEEL GUARDRAILS - PAINTED
 - ◊ CONCRETE RETAINING WALLS - TYP.
 - ◊ LIGHT FIXTURE - SEE ELECTRICAL DWGS
 - ◊ SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
 - ◊ METAL GLAZ GANDORY
 - ◊ STEEL BOLLARD - PAINTED
 - ◊ CONCRETE GLAZ INDR. PAINTED
 - ◊ CURTAIN WALL FRAMES - CLEAR ANODIZED ALUMINUM
 - ◊ CURTAIN WALL GLASS - CLEAR
 - ◊ C CHANNEL STEEL FRAMED GANDORY - PAINTED
- NOTE: NOT ALL MATERIALS INDICATED ARE APPLICABLE.
- PROJECT COLOURS**
- ALL PAINT COLOURS TO BE SHERRIN WILLIAMS UNQ.
- MAIN FIELD COLOUR 1: HIGH REFLECTIVE WHITE (SR 191)
 - MAIN FIELD COLOUR 2: MORNING FOG (SR 6285)
 - FIELD ACCENT COLOUR 1: MORNING FOG (SR 6285)
 - FIELD ACCENT COLOUR 2: AERATED SEA (SR 6190)
- STEEL HANDDOOR COLOUR: MORNING FOG (SR 6285)
 EXTERIOR GUARDRAILS: MORNING FOG (SR 6285)
 ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED
 TYPICAL GLAZING: CLEAR GLAZ AND LOW E (MIRACLES) WITH GLAZANT
 SPANDREL GLAZING COLOUR: SPAN (MIRACLES)
 TYPICAL METAL GUT FLASHING: STS034 METAL POLAR PAINTS



6 TYP. REVEAL DETAIL
SCALE: 1/8" = 1'-0"

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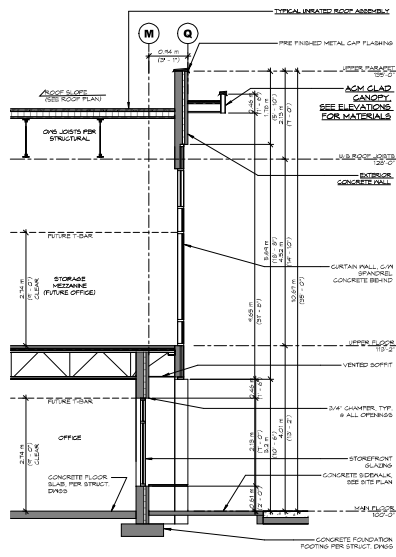
SOIL



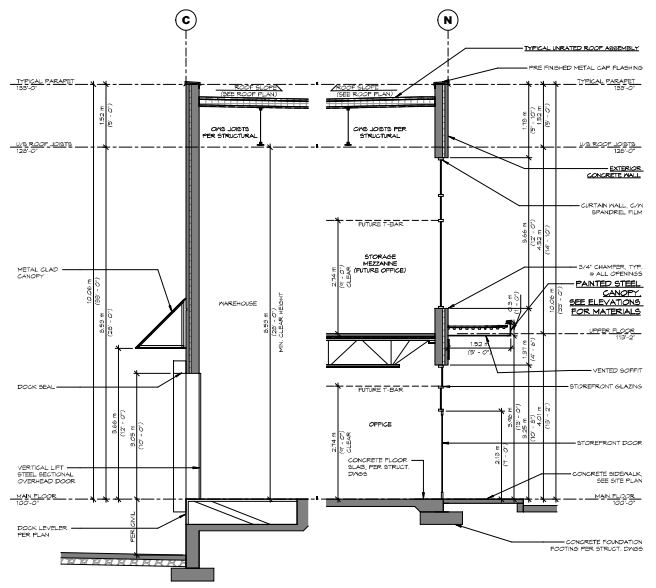
DEVELOPER

NO.	DATE	BY	DESCRIPTION	ISSUED TO	DATE	BY	DESCRIPTION
1	10/20/23	ARCH	FOR PRELIMINARY REVIEW	CLIENT			
2	10/27/23	ARCH	FOR PRELIMINARY REVIEW	CLIENT			
3	11/02/23	ARCH	FOR PRELIMINARY REVIEW	CLIENT			
4	11/02/23	ARCH	FOR PRELIMINARY REVIEW	CLIENT			
5	11/02/23	ARCH	FOR PRELIMINARY REVIEW	CLIENT			

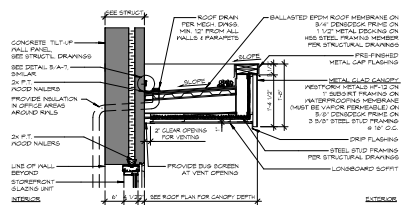
PROPOSED INDUSTRIAL BUILDING FOR:		DESIGN	CHECKED
CAMPBELL 28		DATE	DATE
COLOURED ELEVATIONS		NO.	A-4.0



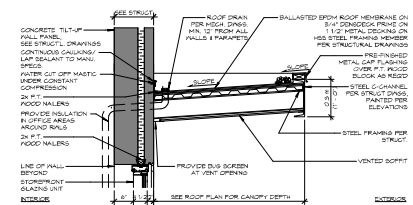
SECTION B
SCALE: 1/4" = 1'-0"



SECTION A
SCALE: 1/4" = 1'-0"

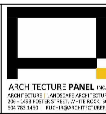


1 ACM CANOPY DETAIL
SCALE: 3/4" = 1'-0"



2 STEEL CANOPY DETAIL
SCALE: 3/4" = 1'-0"

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TEL: 734.963.8488 FAX: 734.963.8700
WWW.DFORGEDSIGN.COM

SOIL



NO.	DATE	BY	DESCRIPTION
1	11/11/2020	MM	ISSUED FOR DEVELOPMENT PERMIT
2	11/11/2020	MM	REVISED FOR DEVELOPMENT PERMIT

NO.	DATE	BY	DESCRIPTION

PROPOSED INDUSTRIAL BUILDING FOR:		DESIGN DATE	CHECKED
CAMPBELL 28		11/11/2020	MM
GENERAL CONTRACTOR: ORION CONSTRUCTION		PROJECT DATE	
SECTIONS		11/11/2020	
REV.	DESCRIPTION	DRAWING NUMBER	
2		A-5.0	

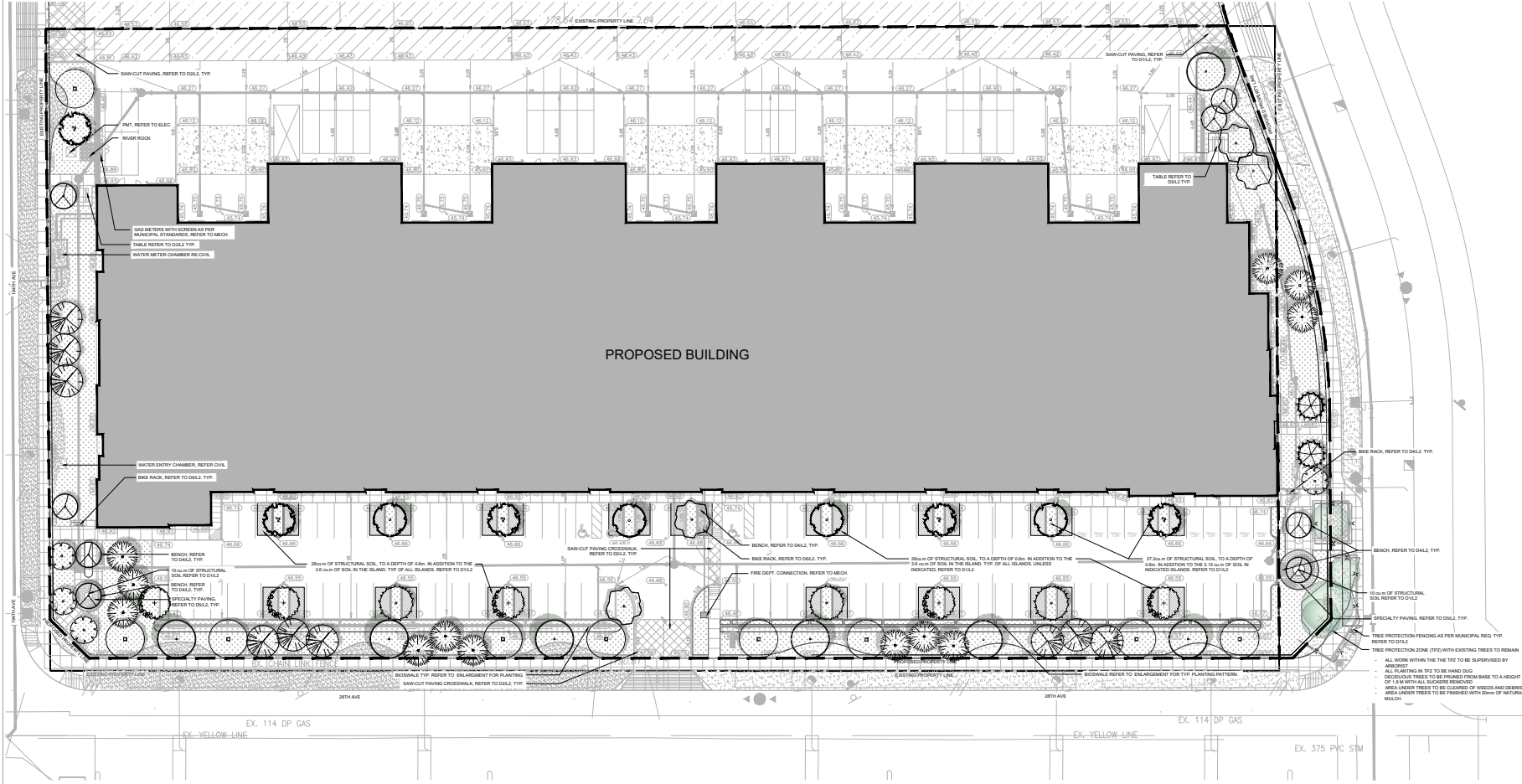
LEGEND

- LANDSCAPE AREA
- TURF GRASS
- STRUCTURAL SOIL
- CONCRETE SIDEWALK
- SAW-CUT PAVING CROSSWALK
- SPECIALTY PAVING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- TREE PROTECTION FENCING
- BIKE RACK
- BENCH
- TREE TO BE RETAINED

ISSUES & REVISIONS

NO.	DATE (MM/DD)	DESCRIPTION
1	3/10/2023	ISSUED FOR RFP
2	3/20/2023	ISSUED FOR DEVELOPMENT PERMIT
3	2/28/2023	ISSUED FOR CLIENT REVIEW
4	1/03/2023	ISSUED FOR CLIENT REVIEW

NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS:



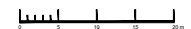
GENERAL NOTES

- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
- CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
- CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
- OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
- PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTORS WORK AT THE CONTRACTOR'S OWN EXPENSE.
- UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORK. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

FOR ALL TREES TO BE RETAINED WITH IMPACTS TO THE TPZ, ADD 15cm OF ORGANIC, COMPOSTED MULCH WITHIN SOFT TPZ AREAS.

ALL WORK WITHIN TPZ FOR BOULEVARD TREES ALONG 32 AVE., OFFSITE TREES ALONG EAST PROPERTY LINE, AND OFFSITE TREES ALONG SOUTH PROPERTY LINE REQUIRES ARBORIST SUPERVISION.

TREE LIST - ENTIRE SITE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	9	Quercus palustris	Pin Oak	6cm Cal.	As Shown	1.8 clear stem, W.B.
	4	Cercidiphyllum japonicum	Katsura Tree	6cm Cal.	As Shown	1.8 clear stem, W.B.
	8	Crataegus Douglasii	Black Hawthorn	6cm Cal.	As Shown	1.8 clear stem, W.B.
	7	Gleditsia triacanthos	Honey Locust	6cm Cal.	As Shown	1.8 clear stem, W.B.
	3	Styax japonicus	Japanese Snowbell	6cm Cal.	As Shown	1.8 clear stem, W.B.
	4	Tilia americana 'fastidiosa'	Pyramidal American Linden	6cm Cal.	As Shown	1.8 clear stem, W.B.
	4	Acer ginnala 'Flame'	Flame Amur Maple	6cm Cal.	As Shown	1.8 clear stem, W.B.
	5	Carpinus betulus 'Frans Fontaine'	Columnar Hornbeam	6cm Cal.	As Shown	1.8 clear stem, W.B.
CONIFEROUS TREES						
	9	Pseudotsuga menziesii	Douglas Fir	3.0m Ht.	As Shown	W.B.
	12	Thuja plicata	Western Red Cedar	3.0m Ht.	As Shown	W.B.
	2	Tsuga heterophylla	Hemlock	3.0m Ht.	As Shown	W.B.



PROJECT NAME:
CAMPBELL 28

PROJECT ADDRESS:
19455 28TH AVENUE, SURREY, BC

DRAWING TITLE:
OVERALL LANDSCAPE AND TREE RETENTION PLAN

SCALE:
1:300

DRAWN:
MA

CHECKED:
JT

PROJECT NO:
2200314

DRAWING NO:
L1

LEGEND

- LANDSCAPE AREA
- TURF GRASS
- STRUCTURAL SOIL
- CONCRETE SIDEWALK
- SAW-CUT PAVING CROSSWALK
- SPECIALTY PAVING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- TREE PROTECTION FENCING
- BIKE RACK
- BENCH
- TREE TO BE RETAINED

4	3/10/2023	ISSUED FOR REG.
3	3/24/2023	ISSUED FOR DEVELOPMENT PERMIT
2	2/16/2023	ISSUED FOR CLIENT REVIEW
1	1/10/2023	ISSUED FOR CLIENT REVIEW
NO.	DATE (mm/dd)	DESCRIPTION
ISSUES & REVISIONS:		

SCALE:



PROJECT NAME:
CAMPBELL 28

PROJECT ADDRESS:
**19455 28TH AVENUE,
SURREY, BC**

DRAWING TITLE:
**LANDSCAPE PLAN -
ENLARGEMENT 1 AND 2**

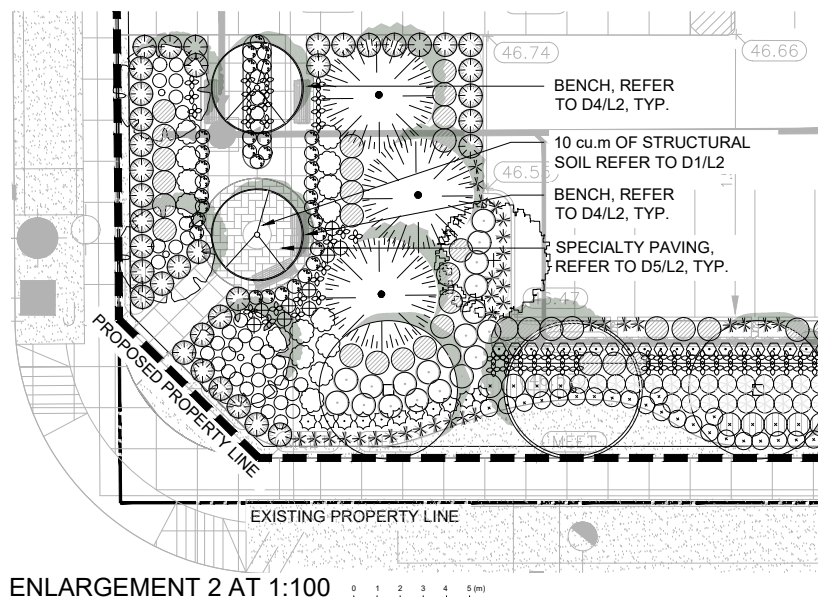
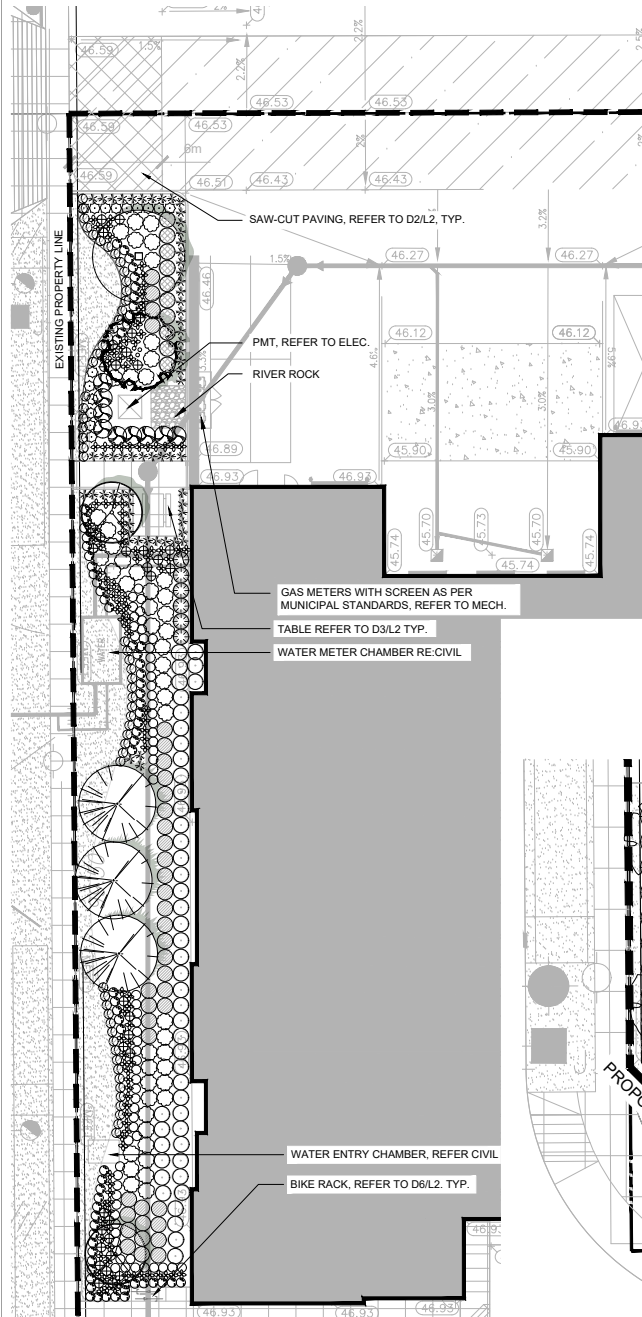
SCALE: AS SHOWN
DRAWN: MA
CHECKED: JT
PROJECT NO: 220014L

DRAWING NO:

L1.1

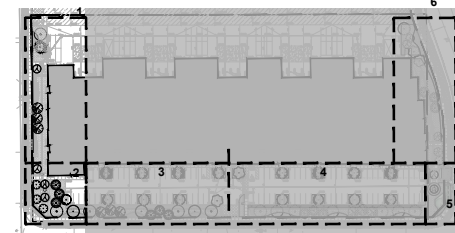
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KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	9	<i>Quercus patris</i>	Pix Oak	60m Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Cercidiphyllum japonicum</i>	Katsura Tree	60m Cal.	As Shown	1.8 clear stem, W.B.
	6	<i>Ostrya Douglasii</i>	Black Hawthorn	60m Cal.	As Shown	1.8 clear stem, W.B.
	7	<i>Ostrya lasiocarpa</i>	Honey Locust	60m Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Styrax japonicus</i>	Japanese Snowbell	60m Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Tilia americana 'fastigial'</i>	Pyramidal American Linden	60m Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Acer glabrum 'Flame'</i>	Flame Amur Maple	60m Cal.	As Shown	1.8 clear stem, W.B.
	5	<i>Carpinus betulus 'Frax Fontaine'</i>	Culmner Hornbeam	60m Cal.	As Shown	1.8 clear stem, W.B.
CONIFEROUS TREES						
	9	<i>Pseudotsuga menziesii</i>	Douglas Fir	3.0m Ht.	As Shown	W.B.
	10	<i>Thuja plicata</i>	Western Red Cedar	3.0m Ht.	As Shown	W.B.
SHRUBS						
	150	<i>Lonicera sibirica</i>	Siberian Honeysuckle	50cm Ht.	0.75m	#2 Pot
	56	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	40cm Ht.	1m	#3 Pot
	205	<i>Cornus canadensis 'Aristo'</i>	Aristo Fire Red Dogwood	60cm Ht.	0.75m	#2 Pot
	93	<i>Syrphocarpus albus</i>	Snowberry	50cm Ht.	1m	#3 Pot
	136	<i>Myrica pensylvanica</i>	Bayberry	50cm Ht.	1m	#3 Pot
	9	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.5m Ht.	1m	B & B
	51	<i>Vincetoxicum</i>	Winecreeper	30cm Ht.	0.75m	#2 pot
	126	<i>Polemonium tuberosum</i>	Shrubby Cinquefoil	30cm Ht.	0.75m	#2 pot
	116	<i>Rosa nutkana</i>	Nootka Rose	60cm Ht.	0.7	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	553	<i>Rudbeckia hirta var. subulnaris 'Gottsbauer'</i>	Black Eye Susan	1 Gallon	As Shown	Potted
	542	<i>Festuca glauca</i>	Elgin Blue Fescue	1 Gallon	As Shown	Potted
	362	<i>Schizachyrium scoparium</i>	Little Bluestem	1 Gallon	As Shown	Potted
	96	<i>Mahonia repens</i>	Creeeping Oregon-grape	1 Gallon	As Shown	Potted
	144	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	1 Gallon	As Shown	Potted
	70	<i>Perovskia atriplicifolia</i>	Russian sage	1 Gallon	As Shown	Potted
	32	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 Gallon	As Shown	Potted
	178	<i>Junosa effusa</i>	Common Rush	1 Gallon	0.75m	Potted



- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
 - ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TRAINING FOR EACH SPECIES.
 - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the final Contract Price or holdback and otherwise recovered from the Contractor.
 - Maintenance and additional installation of mulch.
 - Wood removal.
 - Disease control.

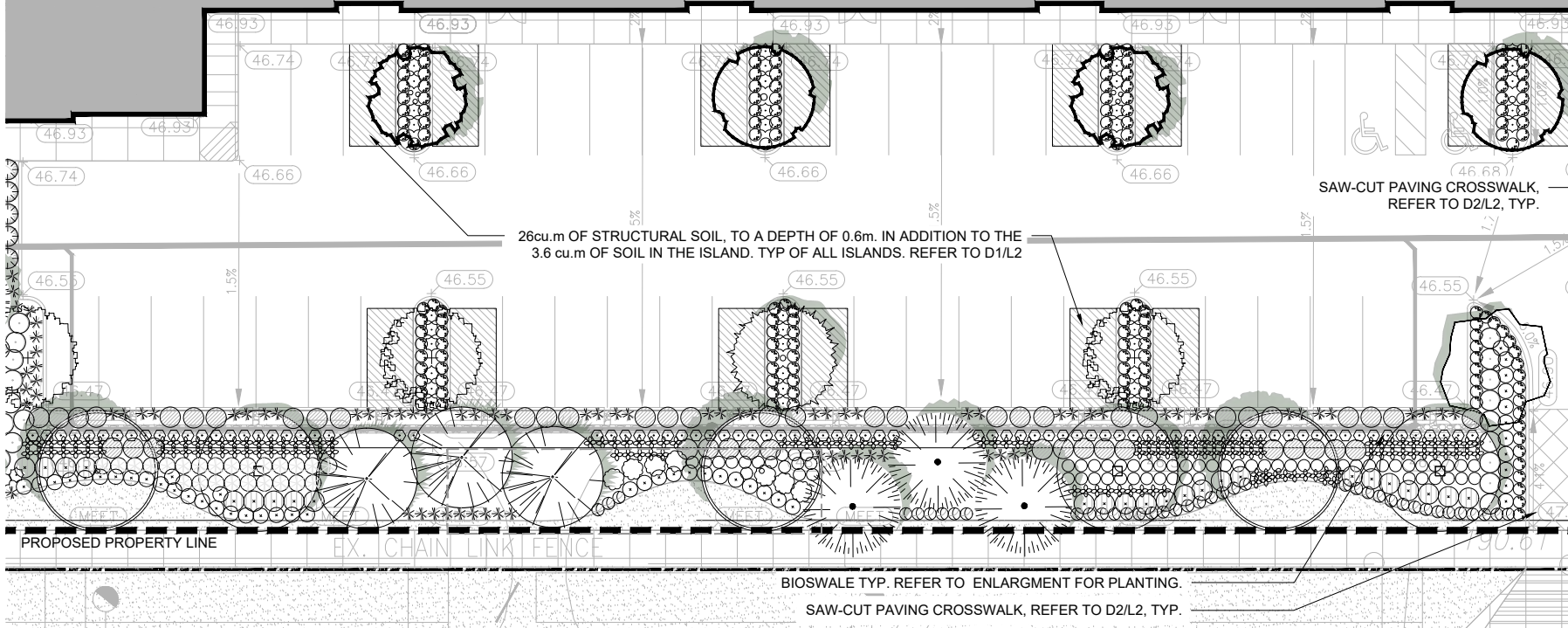
- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL "SOFT LANDSCAPE AREAS" SHOWN ON THE DRAWING USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
 - USE POP-UP SPRINKLER HEADS.
 - DO NOT SPRAY WATER ONTO TREE TRUNKS.



LEGEND

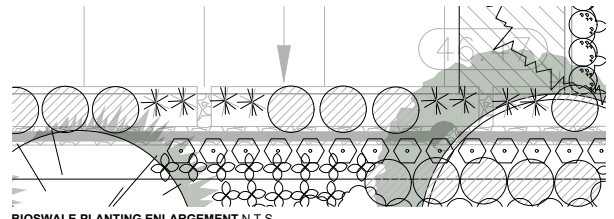
- LANDSCAPE AREA
- TURF GRASS
- STRUCTURAL SOIL
- CONCRETE SIDEWALK
- SAW-CUT PAVING CROSSWALK
- SPECIALTY PAVING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- TREE PROTECTION FENCING
- BIKE RACK
- BENCH
- TREE TO BE RETAINED

- 4 3/10/2023 ISSUED FOR RFP
 - 3 2/28/2023 ISSUED FOR DEVELOPMENT PERMIT
 - 2 2/14/2023 ISSUED FOR CLIENT REVIEW
 - 1 1/20/2023 ISSUED FOR CLIENT REVIEW
- NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS
SCALE



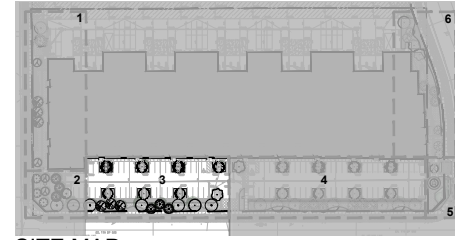
ENLARGEMENT 3 AT 1:100

PLANT LIST - ENTIRE SITE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	9	<i>Quercus palustris</i>	Pine Oak	60cm Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Cercidiphyllum japonicum</i>	Katsura Tree	60cm Cal.	As Shown	1.8 clear stem, W.B.
	6	<i>Crataegus Douglasii</i>	Black Hawthorn	60cm Cal.	As Shown	1.8 clear stem, W.B.
	7	<i>Gleditsia triacanthos</i>	Honey Locust	60cm Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Syringa japonicus</i>	Japanese Snowbell	60cm Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Thuja americana 'Sagittata'</i>	Pyramidal American Linden	60cm Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Acer ginnala 'Flaming'</i>	Flame Arbut Maple	60cm Cal.	As Shown	1.8 clear stem, W.B.
	5	<i>Carpinus betulus 'Frans Fontaine'</i>	Columnar Hornbeam	60cm Cal.	As Shown	1.8 clear stem, W.B.
CONIFEROUS TREES						
	9	<i>Pseudotsuga menziesii</i>	Douglas Fir	3.0m Ht.	As Shown	W.B.
	10	<i>Thuja plicata</i>	Western Red Cedar	3.0m Ht.	As Shown	W.B.
SHRUBS						
	150	<i>Lonicera nitida</i>	Bottlebrush Honey suckle	30cm Ht.	0.70m	#3 Pot
	56	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	40cm Ht.	1m	#3 Pot
	205	<i>Cornus alba 'Winter Fire'</i>	Arctic Fire Red Dogwood	60cm Ht.	0.70m	#3 Pot
	93	<i>Syringa vulgaris</i>	Spirea	50cm Ht.	1m	#3 Pot
	136	<i>Myrica pensylvanica</i>	Bayberry	50cm Ht.	1m	#3 Pot
	9	<i>Thuja occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.5m Ht.	1m	B & B
	51	<i>Ilex glabra</i>	Winterberry	30cm Ht.	0.70m	#2 pot
	126	<i>Pieris japonica</i>	Shrubby Camellia	30cm Ht.	0.70m	#2 pot
	116	<i>Rosa ndiana</i>	Noisette Rose	50cm Ht.	0.7	#2 pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	543	<i>Rudbeckia fulgida</i> var. <i>subvarietalis</i> 'Goldsturm'	Black Eyed Susan	1 Gallon	As Shown	Potted
	542	<i>Echinacea purpurea</i>	Echinacea	1 Gallon	As Shown	Potted
	362	<i>Schizanthus lanceolatus</i>	Lilium	1 Gallon	As Shown	Potted
	96	<i>Muhlenbergia capillaris</i>	Creeping Oregon-grass	1 Gallon	As Shown	Potted
	144	<i>Antrostaphylos uva-ursi</i>	Kinkikink	1 Gallon	As Shown	Potted
	70	<i>Panicum arifolium</i>	Panicum	1 Gallon	As Shown	Potted
	32	<i>Sporobolus heterostachyus</i>	Prunella	1 Gallon	As Shown	Potted
	178	<i>Juncus effusus</i>	Common Rush	1 Gallon	0.70m	Potted



BIOSWALE SOIL SPECIFICATION:

COARSE GRAVEL:	0-1%
ALL GRAVEL:	0-0%
SAND:	70-80%
Larger than 0.075mm	
Smaller than 2mm	
SILT:	5-15%
Larger than 0.075mm	
Smaller than 0.0075mm	
CLAY:	10-20%
CLAY AND SILT COMBINED:	MAX 20%
ORGANIC CONTENT (by weight):	15%
Organics not to be derived from food waste	
ACIDITY (pH):	6.0-6.5



SITE MAP



PROJECT NAME:
CAMPBELL 28

PROJECT ADDRESS:
**19455 28TH AVENUE,
SURREY, BC**

DRAWING TITLE:
**LANDSCAPE PLAN -
ENLARGEMENT 3**

SCALE:
1:200
DRAWN: MA
CHECKED: JT

PROJECT NO.: 2200314

DRAWING NO.

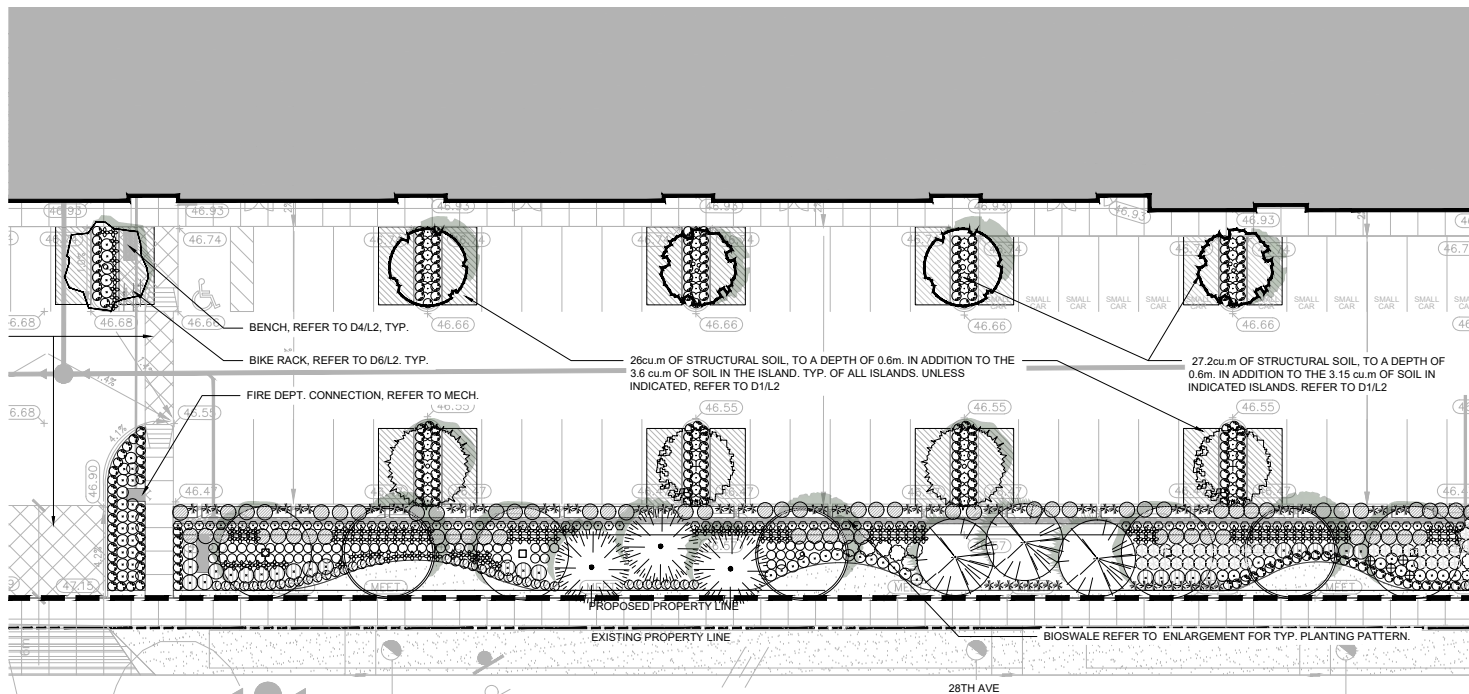
L1.2

LEGEND

- LANDSCAPE AREA
- TURF GRASS
- STRUCTURAL SOIL
- CONCRETE SIDEWALK
- SAW-CUT PAVING CROSSWALK
- SPECIALTY PAVING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- TREE PROTECTION FENCING
- BIKE RACK
- BENCH
- TREE TO BE RETAINED

- 4 3/10/2023 ISSUED FOR RE-CP
 - 3 2/28/2023 ISSUED FOR DEVELOPMENT PERMIT
 - 2 2/16/2023 ISSUED FOR CLIENT REVIEW
 - 1 1/30/2023 ISSUED FOR CLIENT REVIEW
- NO. DATE (MM/DD) DESCRIPTION
- ISSUES & REVISIONS

SEAL



ENLARGEMENT 4 AT 1:150



PLANT LIST - ENTIRE SITE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	9	<i>Quercus palustris</i>	Pin Oak	60m Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Chirodiphyllum japonicum</i>	Katsura Tree	60m Cal.	As Shown	1.8 clear stem, W.B.
	6	<i>Crataegus Douglasii</i>	Black Hawthorn	60m Cal.	As Shown	1.8 clear stem, W.B.
	7	<i>Gleditsia triacanthos</i>	Honey Locust	60m Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Bayer japonicus</i>	Japanese Snowbell	60m Cal.	As Shown	1.8 clear stem, W.B.
	4	<i>Tilia americana 'fastigiata'</i>	Pyramidal American Linden	60m Cal.	As Shown	1.8 clear stem, W.B.
	3	<i>Acer ginnala 'Flame'</i>	Flame Amur Maple	60m Cal.	As Shown	1.8 clear stem, W.B.
	5	<i>Carpinus betulus 'Frans Fontaine'</i>	Columbar Hornbeam	60m Cal.	As Shown	1.8 clear stem, W.B.
CONIFEROUS TREES						
	9	<i>Pseudotsuga menziesii</i>	Douglas Fir	3.0m Ht.	As Shown	W.B.
	10	<i>Thuja plicata</i>	Western Red Cedar	3.0m Ht.	As Shown	W.B.
SHRUBS						
	150	<i>Lonicera nitida</i>	Boxleaf Honeyucode	30cm Ht.	0.70m	#2 Put
	56	<i>Prunus laurocerasus 'Otto Loylem'</i>	Otto Loylem English Laurel	40cm Ht.	1m	#3 Put
	205	<i>Cornus alba 'Acetic Fine'</i>	Acetic Fine Red Dogwood	40cm Ht.	0.70m	#3 Put
	93	<i>Symphoricarpos alba</i>	Snowberry	50cm Ht.	1m	#3 Put
	136	<i>Myrica pensylvanica</i>	Bayberry	50cm Ht.	1m	#3 Put
	9	<i>Thuja occidentalis 'Emerald'</i>	Emerald Green Cedar	1.5m Ht.	1m	B & B
	51	<i>San-gallas</i>	Weinberger	30cm Ht.	0.70m	#2 put
	126	<i>Potentilla fruticosa</i>	Shrubby Cinquefoil	30cm Ht.	0.70m	#2 put
	116	<i>Rosa rubiana</i>	Nookia Rose	50cm Ht.	0.7	#2 put
PERENNIALS, GROUND COVERS, AND GRASSES						
	553	<i>Rudbeckia hirta var. 'sulfurata' 'Goldstern'</i>	Black-eyed Susan	1 Galton	As Shown	Putted
	542	<i>Festuca glauca</i>	Elijah Star Fescue	1 Galton	As Shown	Putted
	362	<i>Schizachyrium scoparium</i>	Little Bluestem	1 Galton	As Shown	Putted
	96	<i>Mahonia repens</i>	Creeping Oregon-grape	1 Galton	As Shown	Putted
	144	<i>Antiscyllaria ovata</i>	Kivitsnik	1 Galton	As Shown	Putted
	70	<i>Phacelia stipitata</i>	Russet sage	1 Galton	As Shown	Putted
	32	<i>Sporobolus heterolepis</i>	Fruite Dropseed	1 Galton	As Shown	Putted
	178	<i>Juncus effusus</i>	Common Rush	1 Galton	0.70m	Putted

SOODING NOTES

1. SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARDS, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
40% BLEND OF (A) VARIETIES OF KENTUCKY BLUEGRASS
40% GREENING RED FESCUE
20% PERENNIAL RYEGRASS
USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE

AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE

2. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.

3. PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.

4. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING, AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOO WILL BE REJECTED.

5. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.

6. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.



PROJECT NAME:

CAMPBELL 28

PROJECT ADDRESS:

19455 28TH AVENUE,
SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN -
ENLARGEMENT 2

SCALE:

1:150

DRAWN:

MA

CHECKED:

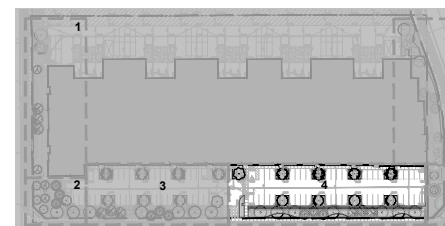
JT

PROJECT NO.:

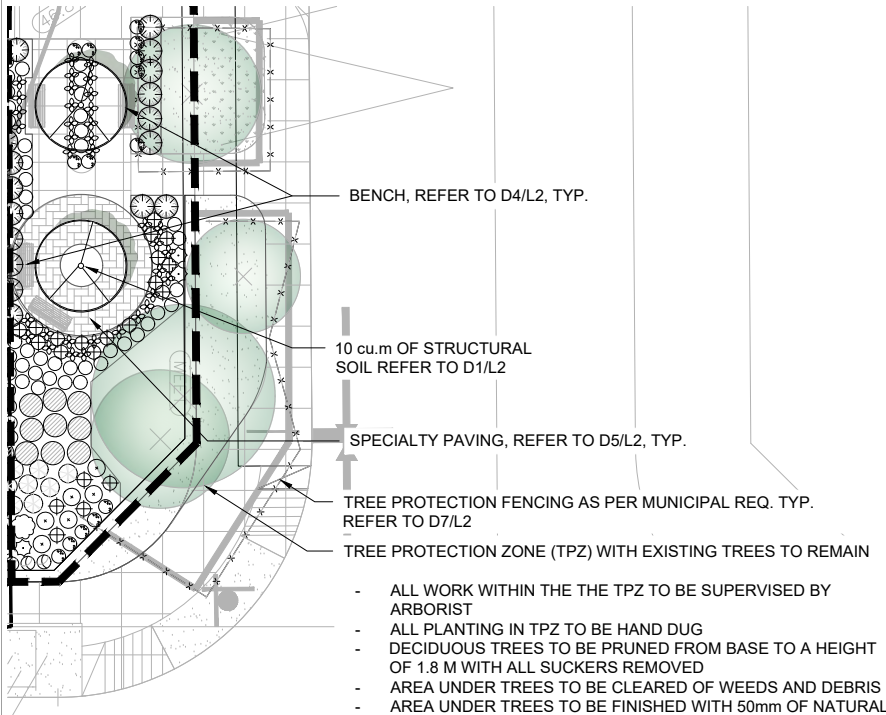
2200314

DRAWING NO.:

L1.3



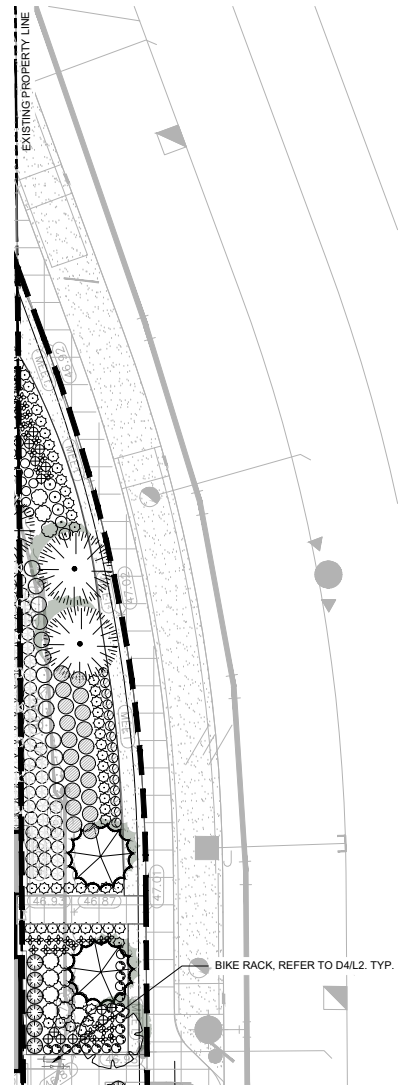
SITE MAP



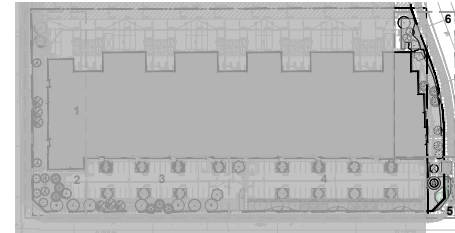
ENLARGEMENT 5 AT 1: 100



PLANT LIST - AREA OF LEASED REMNANT PARCEL						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	2	<i>Crataegus Douglasi</i>	Black Hawthorn	60m Cal.	As Shown	1.8 clear stem, W.B.
	1	<i>Acer glabrate 'Flame'</i>	Flame Amur Maple	60m Cal.	As Shown	1.8 clear stem, W.B.
CONIFEROUS TREES						
	2	<i>Thuja plicata</i>	Western Red Cedar	3.0m Ht.	As Shown	W.B.
	2	<i>Taxus heterophylla</i>	Hemlock	3.0m Ht.	As Shown	W.B.
SHRUBS						
	56	<i>Lonicera nitida</i>	Bokeif Honeysuckle	350m Ht.	0.70m	#2 Put
	23	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	450m Ht.	1m	#3 Put
	29	<i>Conium maculatum 'Arctic Fire'</i>	Arctic Fire Red Dogwood	450m Ht.	0.70m	#3 Put
	14	<i>Symphoricarpos albus</i>	Snowberry	500m Ht.	1m	#3 Put
	64	<i>Myrica pensylvanica</i>	Bayberry	500m Ht.	1m	#3 Put
	11	<i>Potentilla fruticosa</i>	Shrubby Cinqufoil	350m Ht.	0.70m	#2 put
	14	<i>Rosa rubra</i>	North Rose	500m Ht.	0.7	#2 put
PERENNIALS, GROUND-COVERS, AND GRASSES						
	72	<i>Rutbeckia fulgida</i> var. <i>sulcata</i> 'Goldburn'	Black Eyed Susan	1 Gallon	As Shown	Planted
	31	<i>Festuca glauca</i>	Elk Blue Fescue	1 Gallon	As Shown	Planted
	56	<i>Schizanthus scoparium</i>	Little Bluebell	1 Gallon	As Shown	Planted
	18	<i>Archostaphylos uva-ursi</i>	Kornikok	1 Gallon	As Shown	Planted
	35	<i>Perovskia atriplicifolia</i>	Russian sage	1 Gallon	As Shown	Planted



ENLARGEMENT 6 AT 1:150



SITE MAP

LEGEND

- LANDSCAPE AREA
- TURF GRASS
- STRUCTURAL SOIL
- CONCRETE SIDEWALK
- SAW-CUT PAVING CROSSWALK
- SPECIALTY PAVING
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- TREE PROTECTION FENCING
- BIKE RACK
- BENCH
- TREE TO BE RETAINED

4 3/10/2023 ISSUED FOR RE-OP

3 2/28/2023 ISSUED FOR DEVELOPMENT PERMIT

2 2/16/2023 ISSUED FOR CLIENT REVIEW

1 1/10/2023 ISSUED FOR CLIENT REVIEW

NO. DATE (MM/YY) DESCRIPTION

ISSUES & REVISIONS:

SEAL



PROJECT NAME:
CAMPBELL 28

PROJECT ADDRESS:
**19455 28TH AVENUE,
SURREY, BC**

DRAWING TITLE:
**LANDSCAPE PLAN - AREA OF
LEASED REMNANT PARCEL
5 AND 6**

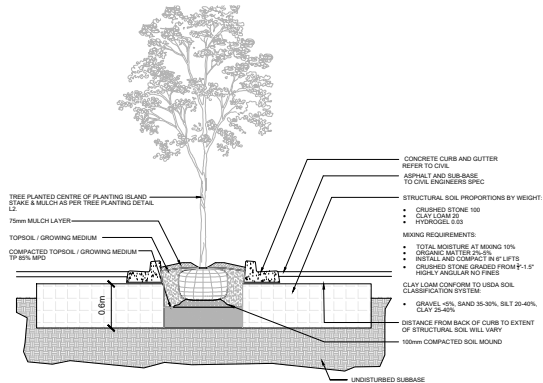
SCALE: AS SHOWN

DRAWN: MA

CHECKED: JT

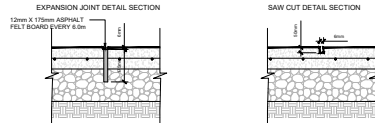
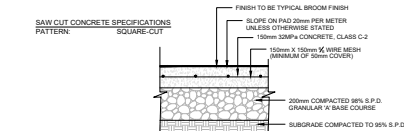
PROJECT NO: 2200314

DRAWING NO: **L1.4**



D1 STRUCTURAL SOIL

N.T.S.

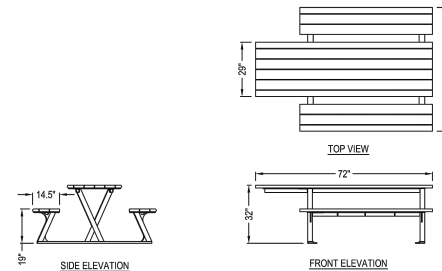


NOTES:

- CONCRETE TO BE 20MPa CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINMENT
- CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK
- EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS
- SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 6.0m
- CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND
- ALL DIMENSIONS ARE IN MILLIMETRES

D2 SAW-CUT CONCRETE

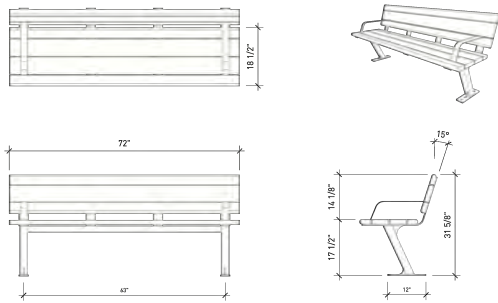
N.T.S.



D3 PICNIC TABLE WITH WHEEL CHAIR ACCESS ONE SIDE (BVPTWC-8)

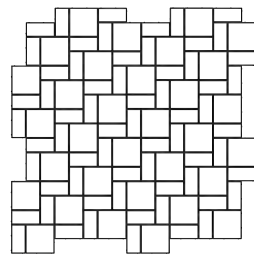
N.T.S.

MANUFACTURER: WISHBONE
SLATS: REDWOOD COLOUR
FRAME: BLACK POWDERCOAT
QUANTITY: 2
OR APPROVED EQUAL



D4 BENCH WITH LEGS
MANUFACTURER: WISHBONE
SLATS: REDWOOD COLOUR
FRAME: BLACK POWDERCOAT
QUANTITY: 8
OR APPROVED EQUAL

N.T.S.



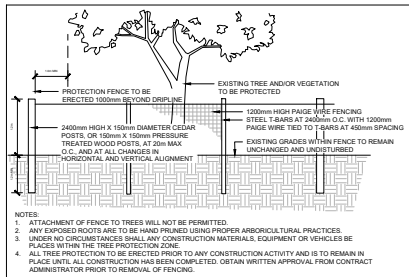
D5 SPECIALTY PAVING
MANUFACTURER: ABBOTSFORD CONCRETE PRODUCTS
MODEL: CLASSIC STANDARD SERIES
COLOUR: NATURAL
PATTERN: DOUBLE STANDARD - STANDARD 1
OR APPROVED EQUAL

N.T.S.



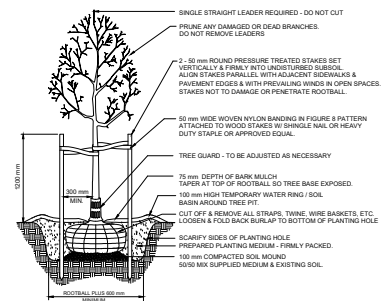
D6 BIKE RACK
MANUFACTURER: ULINE
MODEL NUMBER: H-6572
COLOUR: ORION BLUE
QUANTITY: 4
OR APPROVED EQUAL

N.T.S.



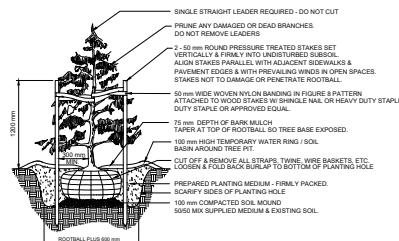
D7 TREE PROTECTION FENCING

N.T.S.



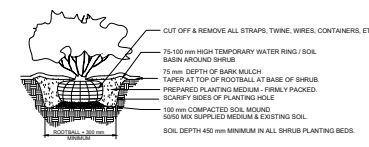
DECIDUOUS TREE

N.T.S.



CONIFEROUS TREE

N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL

N.T.S.

4	3/10/2023	ISSUED FOR RE-OP
3	2/20/2023	ISSUED FOR DEVELOPMENT PERMIT
2	2/10/2023	ISSUED FOR CLIENT REVIEW
1	1/10/2023	ISSUED FOR CLIENT REVIEW
NO.	DATE: (mm/yy)	DESCRIPTION
ISSUES & REVISIONS:		
SCALE:		

PROJECT NAME:

CAMPBELL 28

PROJECT ADDRESS:

19455 28TH AVENUE,
SURREY, BC

DRAWING TITLE:

SCALE: AS NOTED

DESIGN: MA

CHECKED: JT

PROJECT NO: 220014L

DRAWING NO:

L2

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 17, 2023** PROJECT FILE: **7822-0312-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 2844 194 St**

REZONE

Property and Right-of-Way Requirements

- All road dedications and SRWs are registered under project 7820-0093-00.
- Finalize HLA with Realty Division.

Works and Services

- Construct the east side of 194 Street.
- Construct the west side of 194A Street.
- Construct the north side of 28 Avenue.
- Construct water mains along 194 and 194A Street.
- Construct sanitary mains along 194A Street and 28 Avenue.
- Construct storm main along 194A Street.
- Provide storm, water and sanitary service connections.
- Double bonding may be required for all works under project 7820-0093-00.
- Provide on-site stormwater mitigation and water quality control features.
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT/

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

BD

3.3 Replacement Tree Requirements

Tree Preservation Summary

On-Site Trees	Number of Trees
Address: 19455 28 th Ave, Surrey, BC Registered Arborist: Sarah Bishop Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas) 4 onsite, 4 straddling, 100 trees within a proposed street	108
Protected Trees to be Removed	108
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio 108 X two (2) =	216
Replacement Trees Proposed	216
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	27
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 27 X two (2) = 56	54
Replacement Trees Proposed	54
Replacement Trees in Deficit	TBD

Summary, report, and plan prepared and submitted by:









Sarah Bishop – ISA PN-9038A

February 8, 2023

Project Arborist

Date

LEGEND

-  EXISTING TREE TO BE RETAINED
-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO BE RETAINED WITH MONITORED PROTECTION ZONE
-  TREE TAG/NO.
-  TREE PROTECTION FENCING
-  MAIN FLOOR PORTION

4.	08/02/23	Sarah Morin
3.	19/07/22	Sarah Bishop
2.	07/07/22	Sarah Bishop
1.	27/05/22	Sarah Morin
	DDMMYYYY	Name

REVISIONS

PROJECT CODE

KUF-KD PLANNING_28th Ave

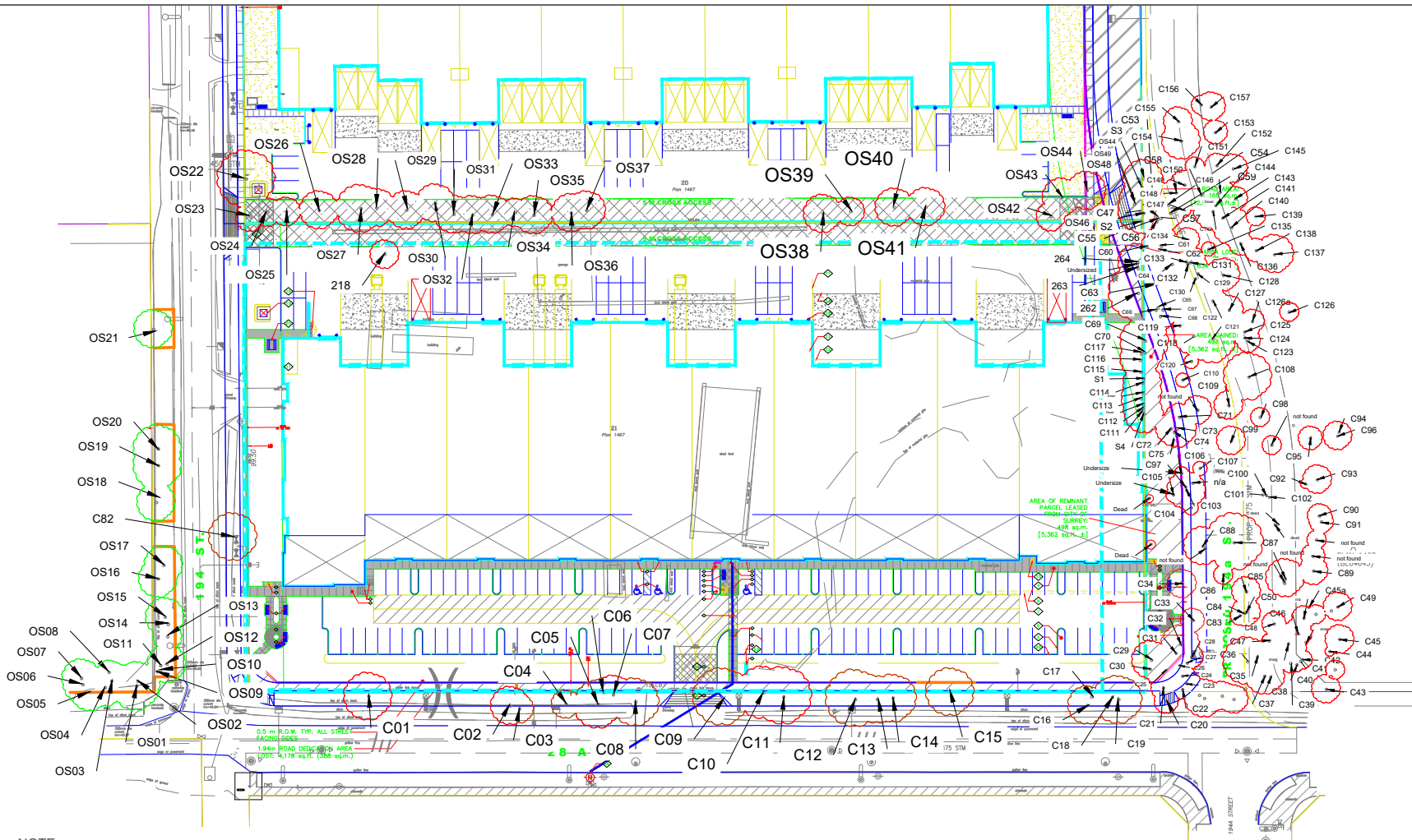
PROJECT ADDRESS

19455 28th Ave
Surrey, BC

DRAWING TITLE

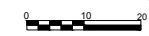
Tree Management Plan

T1



NOTE

1. CONTACT ARBORIST (SARAH BISHOP, 604.773.6230, sarah.bishop@koomeurbanforestry.ca) 72 HOURS PRIOR TO ANY GRADING OR EXCAVATION WITHIN THE TREE PROTECTION ZONE. IF DURING EXCAVATION IT IS FOUND THAT IT CANNOT BE COMPLETED WITHOUT SEVERING ROOTS THAT ARE CRITICAL TO THE TREE HEALTH OR STABILITY, IT MAY BE NECESSARY TO REMOVE ADDITIONAL TREE.
2. READ THIS PLAN TOGETHER WITH THE ARBORIST REPORT PREPARED BY KOOME URBAN FORESTRY LTD (KUF). AN ADDITIONAL 1M SETBACK IS SHOWN FOR ALL HAND-PLOTTED TREES TO BE RETAINED.
3. IF STUMP GRINDING IS TO OCCUR IN CLOSE PROXIMITY TO TREES WHICH ARE TO BE RETAINED THEN IT IS REQUESTED STUMPS TO BE REMOVED UNDER ARBORIST SUPERVISION.
4. IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - *LOCATING TPZ FENCING
 - *LOCATING WORK ZONE AND MACHINE ACCESS CORRIDORS WHERE REQUIRED
 - *REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0312-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-971-679

Lot 2 Section 22 Township 7 New Westminster District Plan Epp126646

2844 - 194 Street (19455 28 Avenue)

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Subsection F. Yards and Setbacks of Part 47A Business Park 1 Zone, the minimum east side yard is reduced from 7.5 metres to 0.0 metres; and

- (b) In Subsection I. Landscaping and Screening of Part 47A Business Park 1 Zone, the requirement for a 3-metre landscaping strip along the east portion of the site, fronting 194A Street is eliminated.

- 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

- 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

- 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

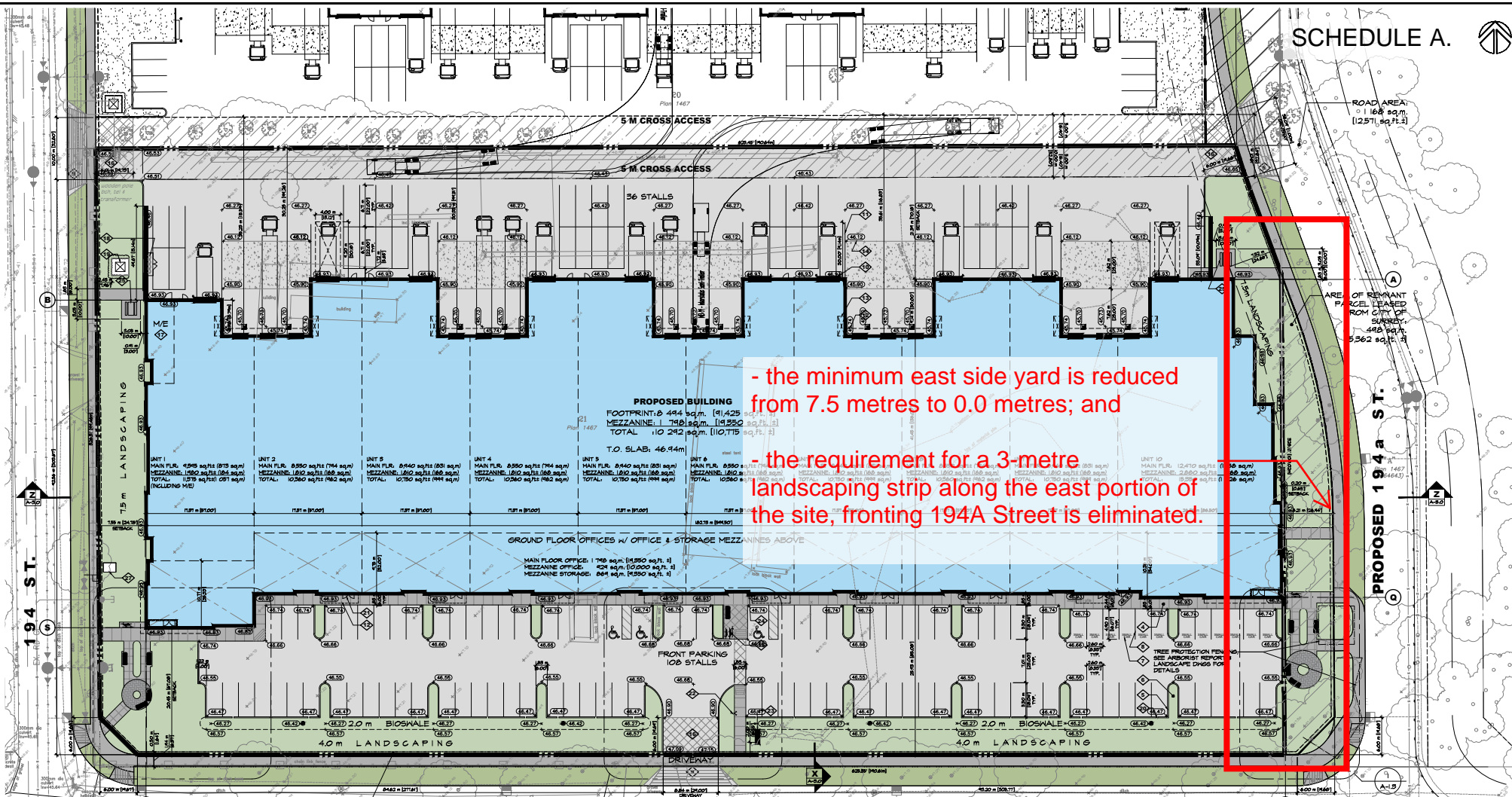
- 8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



- the minimum east side yard is reduced from 7.5 metres to 0.0 metres; and
 - the requirement for a 3-metre landscaping strip along the east portion of the site, fronting 194A Street is eliminated.

PROPOSED 194 A ST.

194 ST.

0.5 m R.O.M. TYP. ALL STREET FACING SIDES

28 AVE



LEGEND
 EXISTING GRADE X 0.55
 PROPOSED GRADE 111.10

SITE DATA

1455 28 AVE, SURREY, B.C.
 LEGAL DESCRIPTION: LOT 21 SECTION 22 TOWNSHIP T-1 PLAN W46147
 EXISTING ZONING: B-1
 PROPOSED ZONING: B-1
 GROSS LOT AREA: 126 ac. [1,867,614 sq.ft. / 4.8 Ac.]
 PROPOSED BUILDING AREA: 8 444 sq.m. [1,425 sq.ft.]
 SITE COVERAGE: 60% MAX.
 F.A.R.: 1.0 MAX.
 HEIGHT: 14.0 m [45'-11" MAX. (B5-0-1)
 PARKING PROVIDED: 144 STALLS (128 ACCESSIBLE STALLS REQ'D = 2.8 STALLS / PROVIDED = 5) BICYCLE PARKING PROVIDED: 1 SPACES (4 RACKS)

KEYED SITE PLAN NOTES

- INTERNATIONAL SYMBOL OF ACCESS PAINTED ON ASPHALT PER DETAIL 12A-1
- HALL MOUNTED H.C. SIGN PER DETAIL 3/A-1
- 3" X 3" SIGNALS AT INTERSECTIONS PROVIDE TURNING 3/8"
- CONCRETE SIDEWALK BY ABOVE ADJACENT ASPHALT LIGHT BROOM FINISH
- ASV EROSION CONTROL CURB TYPICAL AT EDGES OF LANDSCAPING PER DETAIL 1/A-1
- LANDSCAPING PER LANDSCAPE ARCHITECT'S DRAWINGS
- PAINT ON ASPHALT
- ASPHALT GRABBING TO MUNICIPAL STREETS
- 8" X 12" V-GROOVE CONCRETE TYPICAL
- 15' PLACEMENT OF ASPHALT CURB OVER THE ADJACENT ASPHALT
- REINFORCING BARS SPACED 48" OR 54" PER SUBSIDIARY REQUIREMENTS UNLESS OTHERWISE NOTED
- LINE OF CANOPY ABOVE SEE PLANS AND DETAILS FOR MORE INFORMATION
- GARBAGE LOCATION INSIDE BUILDING TYPICAL SEE DETAIL 12A-2
- CONCRETE DOLLY PAD

- BICYCLE PARKING (2 UNITS) PER DETAIL 3/A-1
- SAFEST CONCRETE: 3000 x 4500
- ELECTRICAL & MECHANICAL ROOMS / EQUIPMENT
- 8" X 12" V-GROOVE CONCRETE TYPICAL PER MECHANICAL DRAWINGS
- 15' PLACEMENT OF ASPHALT CURB OVER THE ADJACENT ASPHALT
- ELECTRICAL ROOMS SEE ELECTRICAL DRAWINGS, SEE DETAIL 3/A-1
- FULLY SCREENED SEE LANDSCAPE
- 2" OF FINE FILTERED SAND FOR DRAINAGE INTO BIOSWALE
- TYPICAL ACCESSIBLE ENTRANCE
- FIRE DEPT. CONNECTION SEE MECHANICAL DRAWINGS
- FRESHWATER SIGN SEE 3/A-1/2 FOR DETAILS
- WEATHER-PROOF EXTERIOR FIRE ANNIHILATOR PANEL SEE ELECTRICAL DRAWINGS
- FRONT BENCH FOR LANDSCAPE
- FIRE HYDRANT, SEE CIVIL
- WATER ENTRY CHAMBER, SEE CIVIL
- BENCH FOR LANDSCAPE
- 2" X 4" V-GROOVE CONCRETE C/W BEAR STORM PFC-3000-04 CONCRETE PAINT OR ANTI-SLIP TREATMENT

ARCHITECTURE PANEL INC.
 ARCHITECTS
 2823 ALLIANCE STREET, ARMBRISTERS, B.C. V8B 2A9
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PROJECT MANAGERS / CONTRACTORS
CONSTRUCTION
 1105 19523 80A AVE
 LANSLEY, BC V2Y2E2
 PHONE: (604) 362-2994

DEVELOPER
CEDAR COAST

NO.	DATE	BY	DESCRIPTION
1	2024.02.12	CONSTRUCTION USE	
2	2024.02.12	CONSULTANT USE	
3	2024.02.12	ENGINEER USE	
4	2024.02.12	ISSUED FOR PERMIT	
5	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
6	2024.02.12	CONSULTANT USE	
7	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
8	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
9	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
10	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
11	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
12	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
13	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
14	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
15	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
16	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
17	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
18	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
19	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
20	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
21	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
22	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
23	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
24	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
25	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
26	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
27	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
28	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
29	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	
30	2024.02.12	ISSUED FOR DEVELOPMENT PERMIT	

PROPOSED INDUSTRIAL BUILDING FOR
CAMPBELL 28
 ADDRESS: 1455 28 AVE, SURREY, B.C.
 DRAWING NUMBER: **SITE PLAN**
 DATE: JUL 13, 23
 DRAWN: VCF
 CHECKED: P.D.
 PROJECT: 21-09
 REVISION: 7
A-1.0