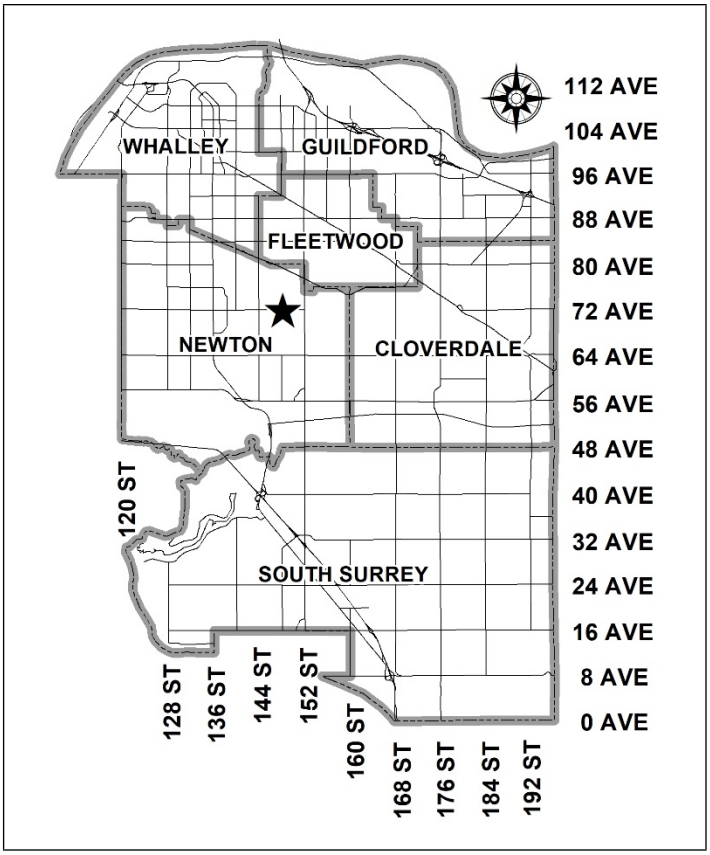


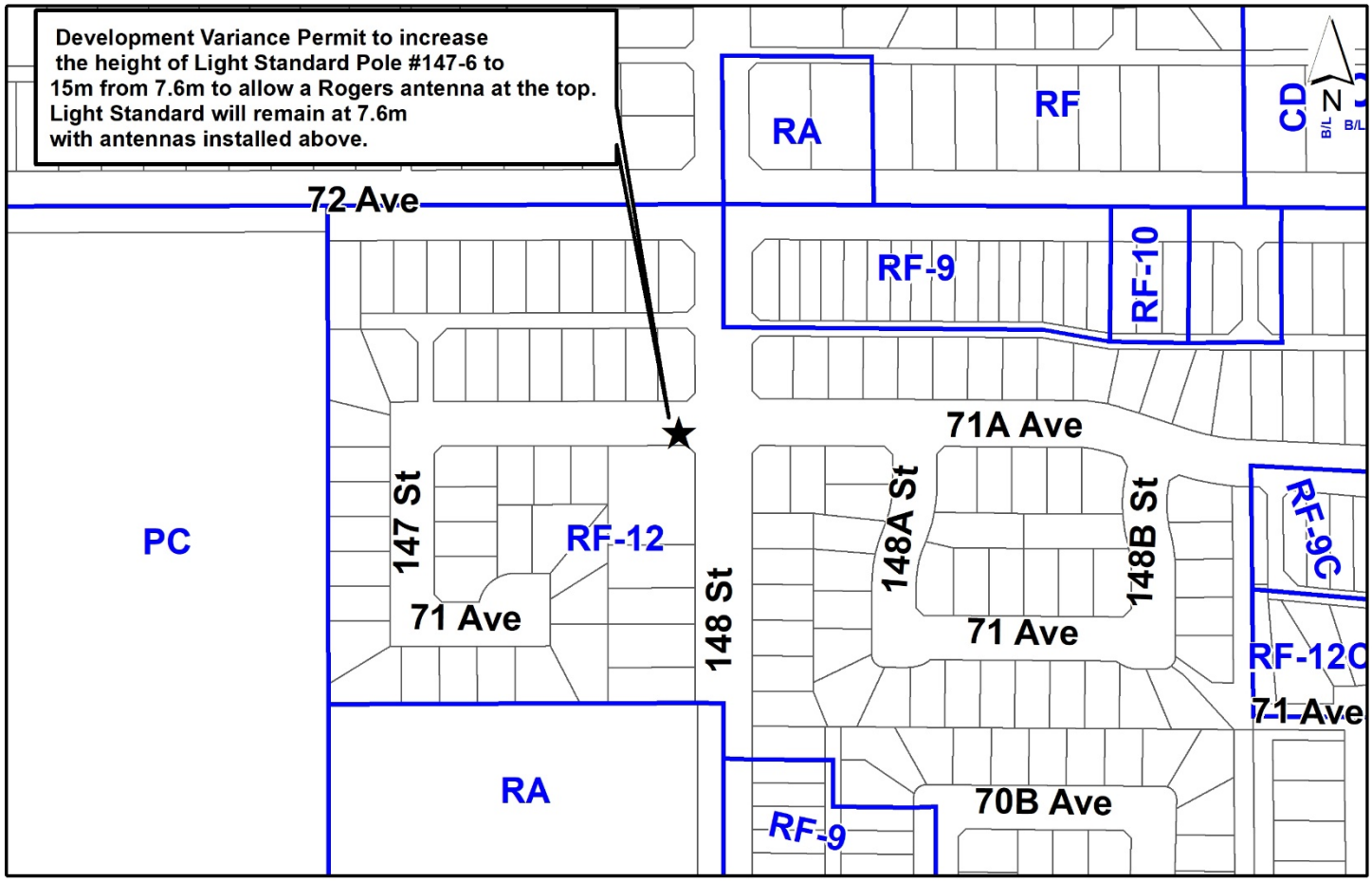
City of Surrey
PLANNING & DEVELOPMENT REPORT
Application No.: 7922-0265-00
Planning Report Date: December 12, 2022

PROPOSAL:

- **Development Variance Permit**

to increase the maximum height of a free-standing antenna system from 12 metres to 15 metres, in order to replace an existing streetlight pole with a streetlight pole with antenna system extension.

LOCATION:	City Right-of-Way on 71A Avenue, west of 148 Street
ZONING:	RF-12
OCP DESIGNATION:	Urban
NCP DESIGNATION:	Low Density Compact Housing



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to increase the maximum height for a free-standing antenna system under Part 4 General Provisions of the Zoning By-law.

RATIONALE OF RECOMMENDATION

- The proposal conforms to the criteria and best practices identified in the City's Antenna System Siting Policy (No. O-62).

- The proposal will result in minimal visual disruption in the area, as the proposed 15 metre streetlight pole with an antenna extension will be replacing an existing 9.1 metre tall streetlight pole.

- The applicant has provided documentation which indicates that there is a demonstrated coverage gap in the area, which the wireless carriers would like to address to provide better service to existing and potential new customers.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7922-0265-00 (Appendix II) varying the following, to proceed to Public Notification:

    (a) to vary Section B.1.(a) ii. b) of Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing light pole and antenna from 12 metres to 15 metres.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP / LAP Designation	Existing Zone
Subject Site	City Road Right-of-way	Urban / Road Right-of-way	RF-12
North (Across 72 Avenue):	Single family dwellings	Urban / Low Density Compact Housing	RF
East (Across 148 Street):	Single family dwellings	Urban / Low Density Compact Housing	RF-9
South:	Single family dwellings	Urban / Low Density Compact Housing	RF
West:	Single family dwellings	Urban / Low Density Compact Housing	RF-12

Context & Background

- The subject site is a City-owned right-of-way on the south side of 71A Avenue abutting 7145 71A Avenue and the intersection of 71A Avenue and 148 Street. The site is designated as "Urban" in the Official Community Plan (OCP) and in an area designated for "Low Density Compact Housing (max. 10 u.p.a.)" in the East Newton South Land Use Plan (LAP).

- The subject site is in a developed single-family residential neighbourhood. The subject road right-of-way segment contains a City of Surrey owned light pole.

DEVELOPMENT PROPOSAL

- Rogers Communications proposes to replace the existing 12 metre high light pole with a 15-metre light pole with an antenna at the top and an equipment cabinet located at grade.

- The proposed light pole and antenna combination structure will be 5.9 metres taller than the existing light pole, requiring a variance to increase the maximum height of an antenna structure to 15 metres tall.

- The increased structure height is necessary for placement of a wireless telecommunications antenna. The light head on the proposed combination structure would be installed so that the light elevation of 12 metres matches that of other City light poles in the area.

Referrals

Engineering: The Engineering Department has no objection to the project.

POLICY & BY-LAW CONSIDERATIONS

City Antenna System Siting Considerations and Policy

- Staff have conveyed to telecommunication companies the importance of a comprehensive strategy to ensure adequate coverage for all carriers while minimizing the number of singular user installations.

- Staff have also emphasized the importance of keeping the height of installations to a minimum without compromising the existing policy guidelines, especially antenna systems near/within residential areas and to ensure that an appropriate design is being considered.

- Improving high speed wireless service supports the growing high technology sector, high tech education, emergency services and broadens community consultation opportunities through social media.

- The City's Antenna System Siting Policy (No. O-62.) was developed based on the need for new telecommunications infrastructure and to address concerns regarding the approval process for new telecommunications infrastructure. The proposal conforms to the criteria and best practices outlined by the Policy.

- Staff have conveyed to telecommunications companies the importance of a comprehensive strategy to ensure adequate coverage for all carriers while minimizing the number of singular user installations. Policy No. O-62 direction refers to this practice as "co-location."

- Rogers Communications notes that no other carrier expressed interest in co-location of services at this location and that the proposed structure cannot host multiple antenna installations.

- The following is an evaluation of the current proposal in relation to applicable components of Policy No. O-62:

Antenna Location Preferences

- The proposal conforms with the No. O-62. direction that telecommunications antenna on taller streetlights be sited along a collector road (148 Street).

- The proposal conforms with the No. O-62. direction that telecommunications antenna be located on City-owned land.

- The proposed structure will be facing the side yard of the abutting property (7145 148 Street). This conforms with the No. O-62. direction that telecommunications antenna not be located directly in front of doors, windows, balconies, or residential frontages.

Design Preferences

- As the proposal seeks to replace an existing streetlight pole along an arterial road, and the replacement light pole / antenna system will be 3 metres higher than the existing structure, the change to the area's visual characteristics will be minimal.

Public Consultation Process

- In accordance with Policy No. O-62, the applicant completed a public consultation process to mail surrounding property owners and mailing addresses within a notification area of 45 metres (three times the height of the proposed antenna system) and to receive comments for a duration of 30 days.

- Pre-notification letters were sent on October 14, 2022. The applicant and staff received a response from 1 resident expressing opposition for the proposal. The following are summarized as follows (staff comments in italics):

    - The inquirer expressed concern regarding the use of wireless technology as it relates to public health and safety. The inquirer criticized the Health and Industry Canada standards. The inquirer asked whether the proposed installation would deploy 5G, whether the service provider has informed citizens that the radiation emitted from wireless devices has been classified as a carcinogen, if the service provider has done any research on the impacts of 5G signals on humans and flora/fauna, and whether the service provider has provided data on emissions from current antenna systems.

        (*The proposed antenna is required to be designed, constructed, and operated in adherence with the minimum standards set by Health and Industry Canada, including Safety Code 6. Health Canada is responsible for policy on public safety regarding radio frequency and the research informing it. The proposed antenna will eventually deploy 5G.)*

Zoning By-law 12000

Height Variance

- The applicant is requesting the following variances:

- to vary Section B.1.(a) ii. b) of Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing light pole and antenna from 12 metres to 15 metres.

- The additional height will permit the replacement of an existing 12 metre light pole with a 15-metre tall free-standing light pole that includes a wireless telecommunications antenna at the peak and an equipment box at-grade in conformance with direction under policy No. O-62.

- The proposal to replace an existing street light pole with a combination light pole and antenna pole along a collector road is preferred under policy No. O-62.

- The proposal will have limited visual impact as the antenna system will be attached to the top of streetlight pole that are replacing existing streetlight poles.

- Staff support the requested variances to proceed for consideration.

TREES

- No trees will be removed or impacted as part of this telecommunications structure proposal.

INFORMATION ATTACHED TO THIS REPORT

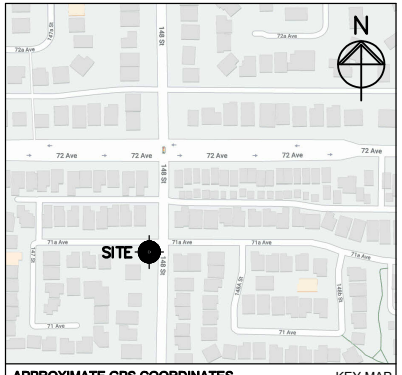
The following information is attached to this Report:

Appendix I. Site Plan and Elevations
Appendix II. Development Variance Permit No. 7922-0265-00
Appendix III. Photo-Simulation
Appendix IV. Map of Existing Antenna Sites

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

Appendix I



APPROXIMATE GPS COORDINATES KEY MAP
LATITUDE: 49.132914° N
LONGITUDE: 122.812364° W

ROGERS™

SITE NAME: 148 ST AND 72 AVE

SITE ID: W4905

LOCATION: 148 ST AND 71A AVE
SURREY, BC

SITE TYPE: LIGHT POLE EXTENSION WITH EQUIPMENT ON GRADE

DRAWING LIST:

ALL DIMENSIONS IN MILLIMETERS UNLESS NOTED OTHERWISE

No.:	Date:	Description:
	2022.12.06	ISSUED FOR CLIENT REVIEW
	2022.07.15	ISSUED FOR CLIENT REVIEW

EGBC Permit To Practice: 1003171

Revisions:

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Vancouver, BC V6J 1N5
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F: 604.734.8842
www.glotmansimpson.com

Project: Site ID: W4905
148 ST AND 72 AVE
148 ST AND 71A AVE, SURREY, BC

ROGERS™

Sheet Title:
TITLE PAGE

Date: JUL 2022
Scale: NA
Drawn: RS
Checked: GF
Project: 222277

Drawing: S101

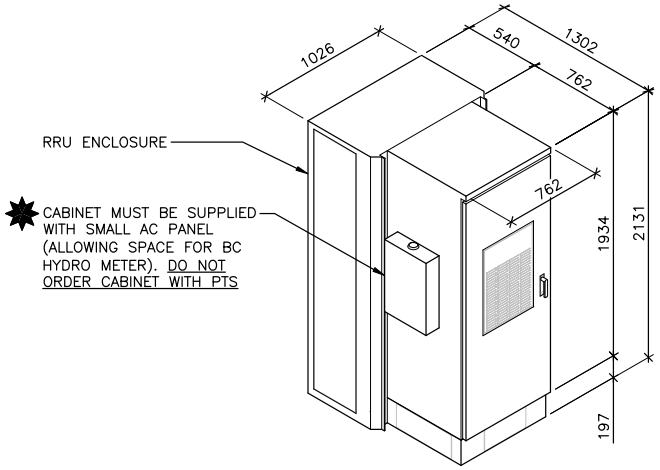
Of

ANTENNA TABLE

ANT. POS. No.	ANTENNA ID		MOUNT HEIGHT AGL(m)	ANTENNA MOUNT (UP/DOWN)	ANTENNA TYPE	MDT (°)	MET (°)		AZIMUTH (°)	JUMPER/ LINE TYPE	No. OF RRUs	STATUS
	TECHNOLOGY	LABEL					700/ 850	1900/ 2100/ 2600				
1–1	LTE	LTE–1	14.7	UP	TTS–608014/D172715/D333815DEI–65FT4	NA	NA	NA	40	8–LDF4–50A	9	INITIAL
1–2	LTE	LTE–2		UP		NA	NA	NA	160	8–LDF4–50A		
1–3	LTE	LTE–3		UP		NA	NA	NA	280	8–LDF4–50A		
2	GPS	GPS–1	13.1	UP	KRE1012395/2	–	–	–	–	TBD	–	INITIAL

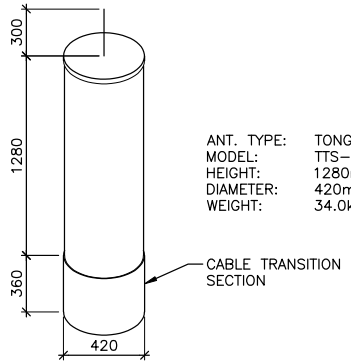
NOTES: 1. TABLE CONTENTS TO BE CONFIRMED WITH ROGERS.
2. CABLE BEND RADIUS AS PER MANUFACTURER'S RECOMMENDATIONS.
3. ANTENNA HEIGHT TO TOP OF ANTENNAS.

✸ RRUs AND DIPLEXERS/TRIPLEXERS TO BE LOCATED IN CABINETS



1 - CABINET ISOMETRIC
NTS (DCI 6500–E–r)

MANUFACTURER: ERICSSON
MODEL: KRE1012395/2
HEIGHT: 74mm
DIAMETER: 77mm
WEIGHT: 0.3kg



ANT. TYPE: TONGYU
MODEL: TTS–608014/D172715/D333815DEI–65FT4
HEIGHT: 1280mm + 360mm
DIAMETER: 420mm
WEIGHT: 34.0kg

2 - ANTENNA DETAILS
NTS

No.:	Date:	Description:
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	2022.07.15	ISSUED FOR CLIENT REVIEW

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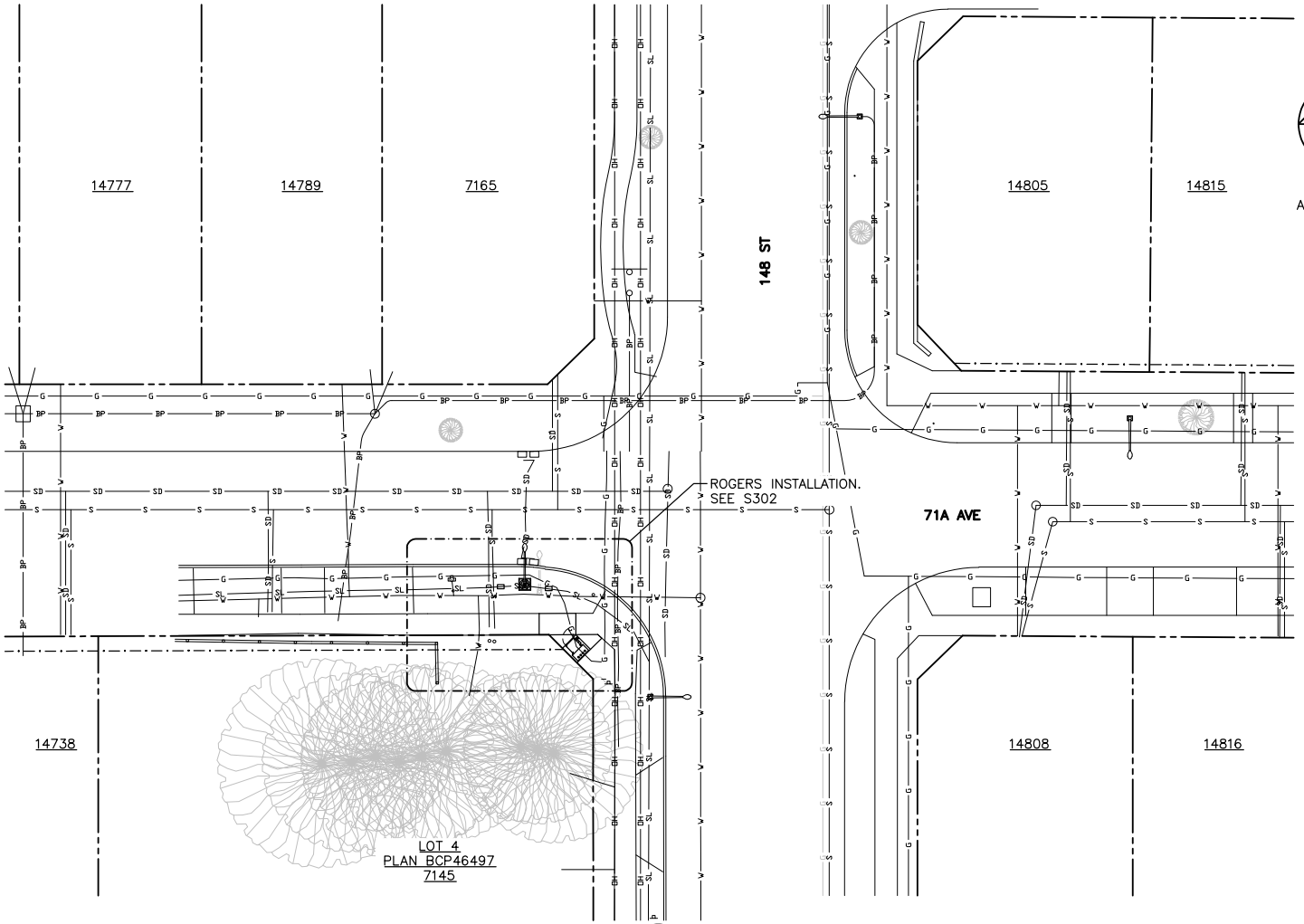
ROGERS™

Sheet Title:
CELLULAR LOADING SPECIFICATIONS

Date:	JUL 2022
Scale:	NTS
Drawn:	RS
Checked:	GF
Project:	222277

Drawing: S203

Of



N

APPROXIMATE

NOTES:

1. THE INFORMATION CONTAINED IN THIS DRAWING WAS OBTAINED FROM A SURVEY PREPARED BY MATSON PECK AND TOPLISS, DATED SEPTEMBER 29, 2022, THE CITY OF SURREY ONLINE GIS, AND A SITE VISIT BY GS SAYERS ON JULY 4, 2022.
2. EXISTING UNDERGROUND SERVICES SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY AND ADDITIONAL UNDERGROUND SERVICES MAY EXIST THAT ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL BURIED SERVICES IN THE VICINITY OF REQUIRED EXCAVATION PRIOR TO CONSTRUCTION. USE HAND DIGGING WHERE APPROPRIATE.

LEGEND:

- ✸ – INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) – DENOTES EXISTING
- (F) – DENOTES FUTURE
- (TYP) – DENOTES TYPICAL
- ——— – DENOTES PROPERTY LINE
- —·—·— – DENOTES RIGHT–OF–WAY LINE
- BP – DENOTES (E) BURIED POWER CONDUIT
- W – DENOTES (E) BURIED WATER LINE
- SD – DENOTES (E) BURIED STORM DRAIN
- S – DENOTES (E) BURIED SEWER LINE
- OH – DENOTES (E) OVERHEAD UTILITY LINE
- G – DENOTES (E) BURIED GAS LINE
- SL – DENOTES (E) BURIED STREETLIGHT CONDUIT

1 / - SITE PLAN

1:300

No.:	Date:	Description:
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148 ST AND 71A AVE, SURREY, BC

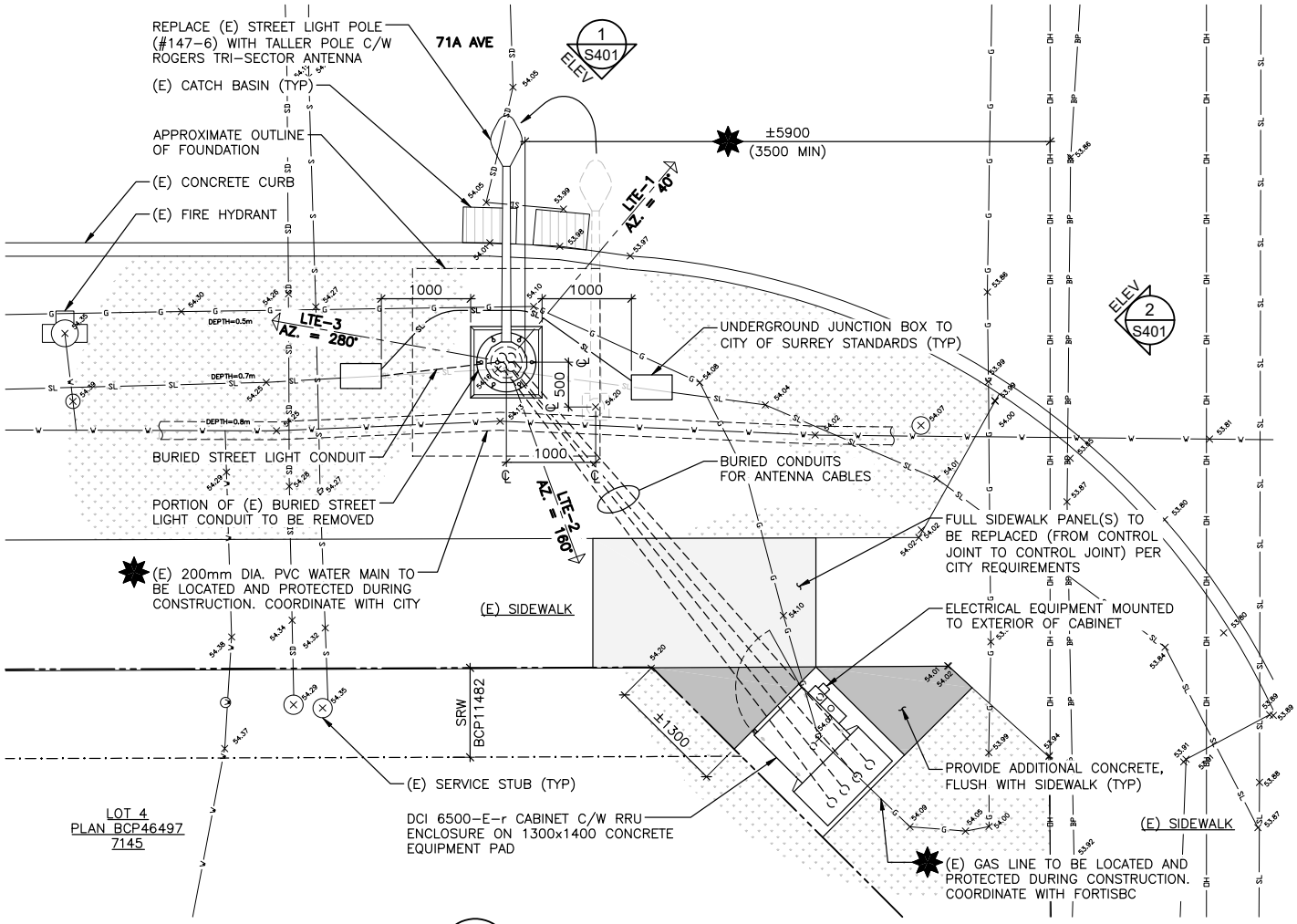
ROGERS™

Sheet Title:
SITE PLAN

Date: JUL 2022
Scale: 1:300
Drawn: RS
Checked: GF
Project: 222277

Drawing:
S301

Of



1 S301 **PARTIAL SITE PLAN**

1:50

N

APPROXIMATE

NOTES:

1. SEE NOTES ON S301.
2. PROVIDE TEMPORARY ROAD LIGHTING DURING CONSTRUCTION.

LEGEND:

- ✸ – INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) – DENOTES EXISTING
- (F) – DENOTES FUTURE
- (TYP) – DENOTES TYPICAL
- – DENOTES PROPERTY LINE
- – DENOTES RIGHT-OF-WAY LINE
- BP – DENOTES (E) BURIED POWER CONDUIT
- W – DENOTES (E) BURIED WATER LINE
- SD – DENOTES (E) BURIED STORM DRAIN
- S – DENOTES (E) BURIED SEWER LINE
- OH – DENOTES (E) OVERHEAD UTILITY LINE
- G – DENOTES (E) BURIED GAS LINE
- SL – DENOTES (E) BURIED STREETLIGHT CONDUIT
- SL – DENOTES PROPOSED BURIED STREET LIGHT CONDUIT
- × 54.20 – DENOTES (E) GRADE (m AMSL)

No.:	Date:	Description:
	2022.12.06	ISSUED FOR CLIENT REVIEW
	2022.07.15	ISSUED FOR CLIENT REVIEW

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148 ST AND 71A AVE, SURREY, BC

Site ID: W4905

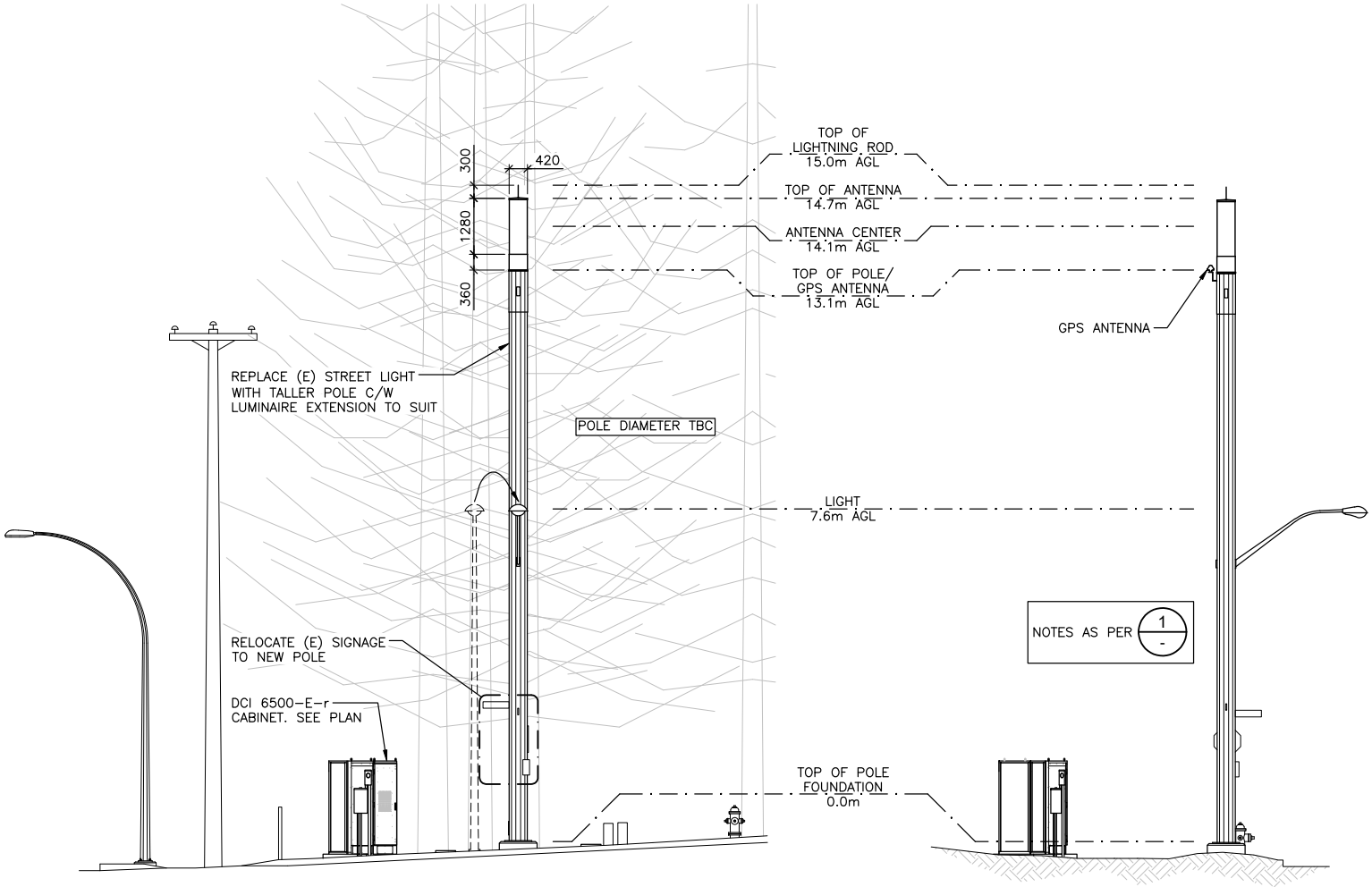
ROGERS™

Sheet Title: PARTIAL SITE PLAN

Date:	JUL 2022
Scale:	1:50
Drawn:	RS
Checked:	GF
Project:	222277

Drawing: S302

Of



1 / S302 NORTH ELEVATION
1:100

2 / S302 EAST ELEVATION
1:100

NOTES:

1. NEW POLE AND TRI-SECTOR ANTENNA COLOUR TO MATCH EXISTING POLE.

LEGEND:

✸ – INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING

(E) – DENOTES EXISTING

(TYP) – DENOTES TYPICAL

AGL – DENOTES ABOVE GRADE LEVEL

No.:	Date:	Description:
	2022.12.06	ISSUED FOR CLIENT REVIEW
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148 ST AND 71A AVE, SURREY, BC

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Sheet Title:
NORTH AND EAST ELEVATIONS

Date: JUL 2022
Scale: 1:100
Drawn: RS
Checked: GF
Project: 222277

Drawing: S401

Of

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0265-00

Issued To: City of Surrey

(the Owner)

Address of Owner: ATTENTION: KEN WOODWARD (REALTY DEPT)
13450 104 AVENUE
SURREY BC V3T 1V8

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier:
City Road Right-Of-Way on 71A Avenue West of 148 Street
Adjacent to 7145 – 148 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- to vary Section B.1.(a) ii. b) of Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing light pole and antenna from 12 metres to 15 metres.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

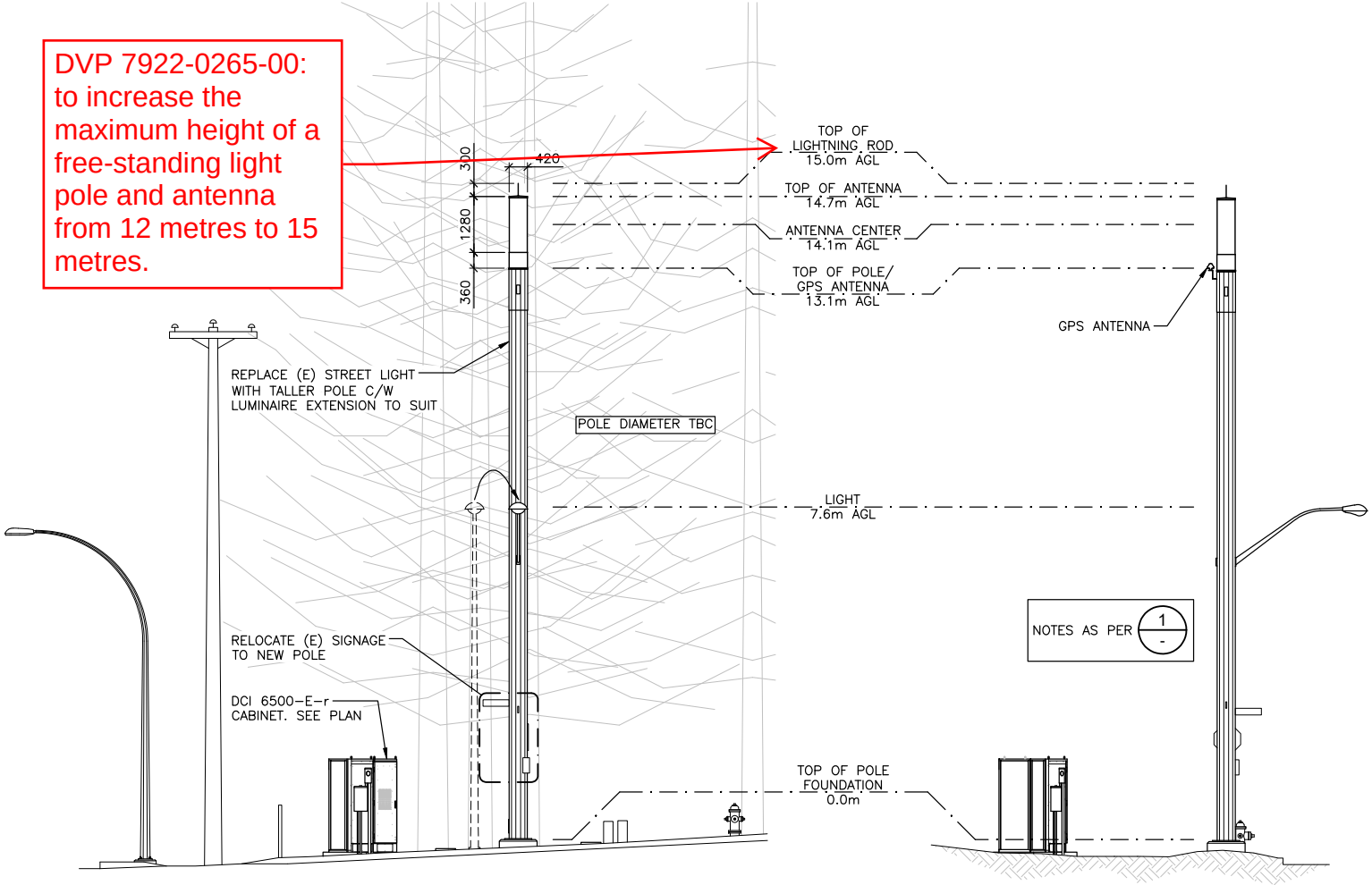
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

_____
Mayor – Brenda Locke

_____
City Clerk – Jennifer Ficocelli

Schedule A

DVP 7922-0265-00: to increase the maximum height of a free-standing light pole and antenna from 12 metres to 15 metres.



1 / S302 NORTH ELEVATION
1:100

2 / S302 EAST ELEVATION
1:100

NOTES:

1. NEW POLE AND TRI-SECTOR ANTENNA COLOUR TO MATCH EXISTING POLE.

LEGEND:

✸ – INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING

(E) – DENOTES EXISTING

(TYP) – DENOTES TYPICAL

AGL – DENOTES ABOVE GRADE LEVEL

No.:	Date:	Description:
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Sheet Title: NORTH AND EAST ELEVATIONS

Date: JUL 2022
Scale: 1:100
Drawn: RS
Checked: GF
Project: 222277

Drawing: S401

Of

Appendix III

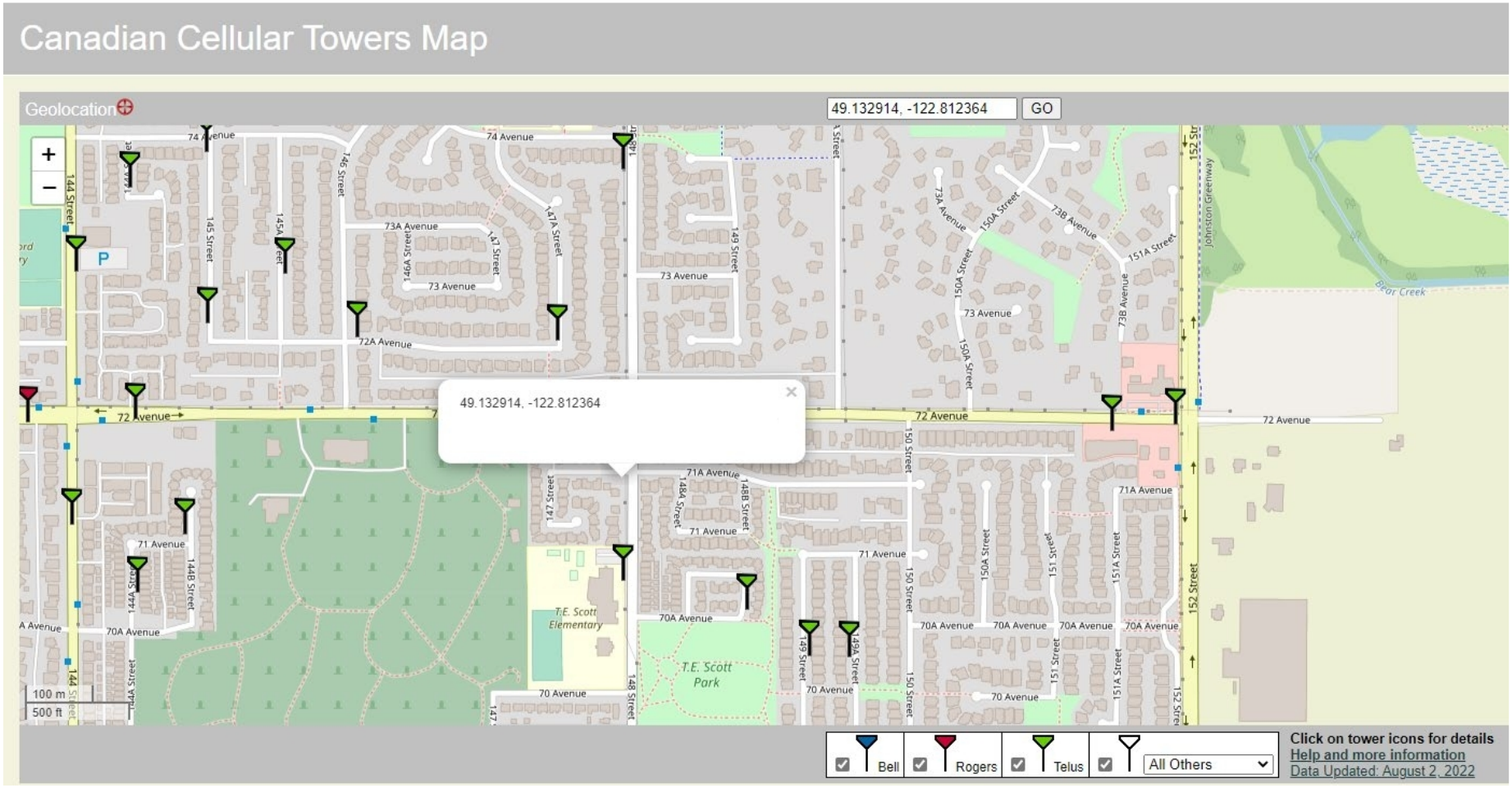
PHOTO-SIMULATION
Before

After

ROGERS SITE: W4905

Appendix IV

MAP OF EXISTING SITES



ROGERS SITE: W4905