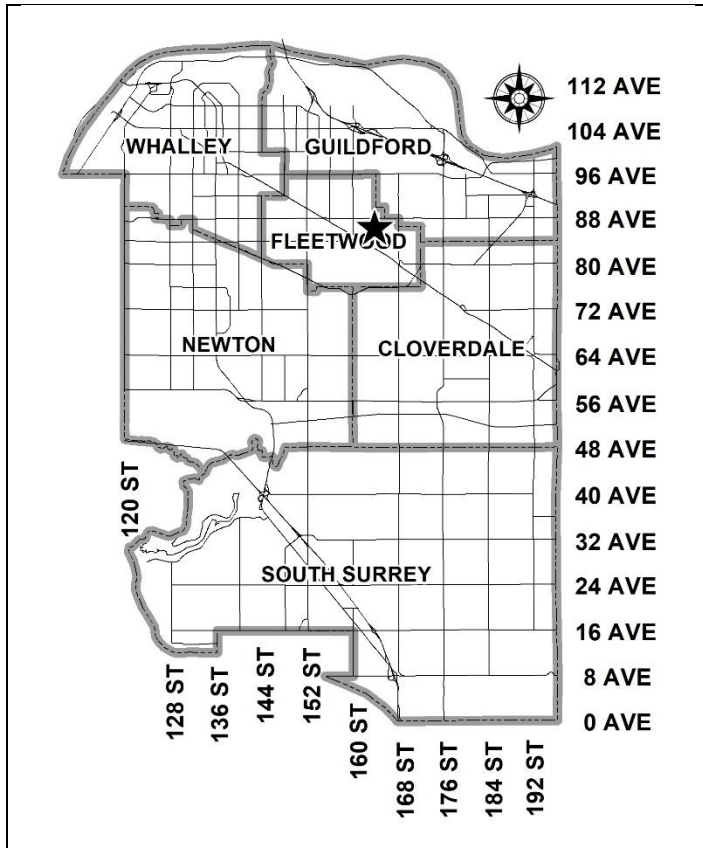


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7922-0185-00

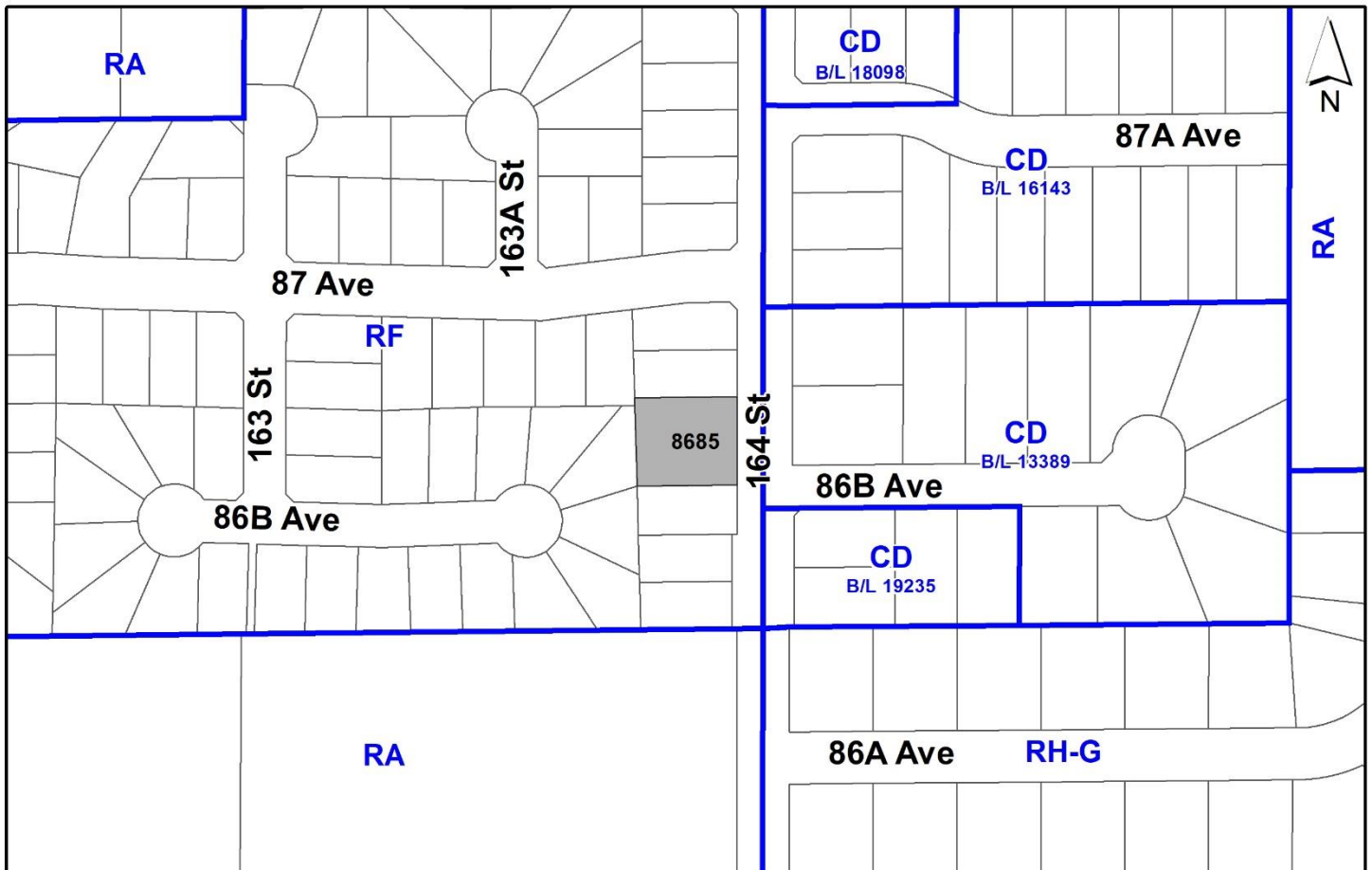
Planning Report Date: July 11, 2022



PROPOSAL:

- **Development Variance Permit**
 to vary the definition of *finished grade* in the Zoning Bylaw to accommodate construction of a new single family dwelling on the lot.

LOCATION: 8685 - 164 Street
ZONING: RF
OCP DESIGNATION: Urban
NCP DESIGNATION: Parks and Natural Areas (Fleetwood Plan)



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the definition of *finished grade* in the Zoning Bylaw 12000 to permit the use of the proposed revised lot grading plan, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created, for the purposes of establishing the finished grade on the subject lot.

RATIONALE OF RECOMMENDATION

- The applicant has applied for a building permit in order to build a new single family dwelling with a basement on the lot.
- Upon review, staff noted that the approved lot grading plan (Appendix II) under Development Application No. 7988-0220-00 precludes the applicant from achieving an in-ground basement for their proposed new single family dwelling.
- The applicant has intentions to subdivide the property in the future, at which time, a new lot grading plan would be prepared for the site.
- The applicant is seeking to construct their new house in advance of subdivision and is therefore requesting the subject variance to permit the use of a new, revised lot grading plan for the lot, prior to subdivision, in order to potentially achieve an in-ground basement.
- The proposed lot grading plan will not change the drainage pattern of the property and is not anticipated to result in interface impacts on neighbouring properties.
- The variance will allow the applicant to commence building construction prior to subdivision.
- Staff support the variance.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7922-0185-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to vary the definition of *finished grade* in Part 1 Definitions of Zoning Bylaw 12000, as amended, to permit the use of the proposed lot grading plan in Schedule A, attached to the Development Variance Permit, for the purposes of establishing the finished grade on the subject lot, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single Family Dwelling	Urban/Parks & Natural Areas	RF
North:	Single Family Dwellings	Urban/Parks & Natural Areas	RF
East (Across 164 Street):	Single Family Dwellings	Suburban/Urban Residential	CD (Bylaw No. 13389)
South:	Single Family Dwellings	Urban/Parks & Natural Areas	RF
West:	Single Family Dwellings	Urban/Parks & Natural Areas	RF

Context & Background

- The subject site is a 1,330 square metre property located at 8685 164 Street in Fleetwood. It is designated "Urban" in the Official Community Plan (OCP) and designated as "Parks and Natural Areas" in the Fleetwood Plan, which was endorsed by Council (Corporate Report No. R049: 2022) on March 7, 2022. It is currently zoned "Single Family Residential Zone (RF)".
- The subject property was created as a lot through subdivision under Development Application No. 7988-0220-00 (Lot 38, Plan 81939). A lot grading plan was approved for this lot at the time of subdivision approval.
- The owners of the subject site have recently applied for a building permit to build a new single family dwelling with a basement on the south side of the property. A new proposed lot grading plan (Schedule A) was submitted by CitiWest Consulting Ltd. with a minimum building elevation (MBE) of 55.85 metres. This proposed MBE is lower than the 56.24 metres approved in the original lot grading plan (Appendix II) submitted under Development Application No. 7988-0220-00.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is seeking to vary the definition of finished grade in the Zoning Bylaw to permit the use of a proposed revised lot grading plan, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created, for the purposes of establishing the finished grade on the subject lot.
- Varying the definition of finished grade would potentially allow the applicant to achieve a basement on the south side of the property, subject to staff review.
- In accordance with the provisions of the Zoning Bylaw, an in-ground basement must have at least one-half of its volume below the finished grade (in order to be excluded from floor area calculations).
- Finished grade as defined in the Zoning Bylaw means:
 - (a) the rough grading elevation as identified on a lot grading plan, where such a plan has been approved by the City at the time of subdivision when the lot was created; or
 - (b) where there is no lot grading plan that was approved by the City at the time of subdivision when the lot was created, the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials placed on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines.
- In the case of the subject lot, the City considers finished grade as the grade established by the lot grading plan (Appendix II) created and approved by the City when the lot was created through subdivision under Development Application No. 7988-0220-00.
- The existing lot grading plan (Appendix II) that was approved by the City under Development Application No. 7988-0220-00 precludes the applicant from achieving a single family dwelling with a basement.
- In order to achieve a 50% in-ground basement, the MBE values have to be lowered. Through the proposed revised lot grading plan (Schedule A), the applicant is proposing to fill approximately 1.1 metres of the property to potentially accommodate a basement.
- The subject property has future potential to be subdivided from one to two lots under the RF Zone. Should a subdivision application be received, it would include an updated lot grading plan. However, the applicant is seeking to construct their new house in advance of subdivision and is therefore seeking the subject variance to permit the use of a new lot grading plan in advance of subdivision.

Referrals

Engineering: The Engineering Department has no objection to the project.

Requested Variance

- The applicant is requesting the following variances:
 - (a) to vary the definition of *finished grade* in Part 1 Definitions of Surrey Zoning Bylaw 12000, as amended, to permit the use of the proposed lot grading plan in Schedule A, which is attached hereto and forms part of this Development Variance Permit, for the purposes of establishing the finished grade on the subject lot, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created.
- The lot grading plan approved in 1989 precludes the applicant from achieving an in-ground basement for his proposed new single family dwelling.
- The proposed lot grading plan will not change the drainage pattern of the property and is not anticipated to result in negative interface impacts on neighbouring properties.
- The variance will allow the applicant to commence building construction prior to subdivision.
- Staff support the requested variance to proceed for consideration.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Subdivision Plan 81939
Appendix II.	Original Approved Lot Grading Plan under Development Application No. 7988-0220-00.
Appendix III	Proposed Lot Grading Plan
Appendix IV.	Development Variance Permit No. 7922-0185-00 with Schedule A

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

SUBDIVISION PLAN OF LOTS 3, 4 AND 5, PLAN 1654; PARTS OF LOTS 27 AND 28, PLAN 30618 AND LOTS 37 AND 38, PLAN 40212; ALL OF SECTION 25, TOWNSHIP 2, NEW WESTMINSTER DISTRICT
INTEGRATED SURVEY AREA N91, SURREY
B.C.G.S. 92G.017

14.326.M3

PLAN 81939

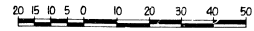
Appendix I

DEPOSITED IN THE LAND TITLE OFFICE AT NEW WESTMINSTER, B.C. THIS 30 DAY OF June 1989

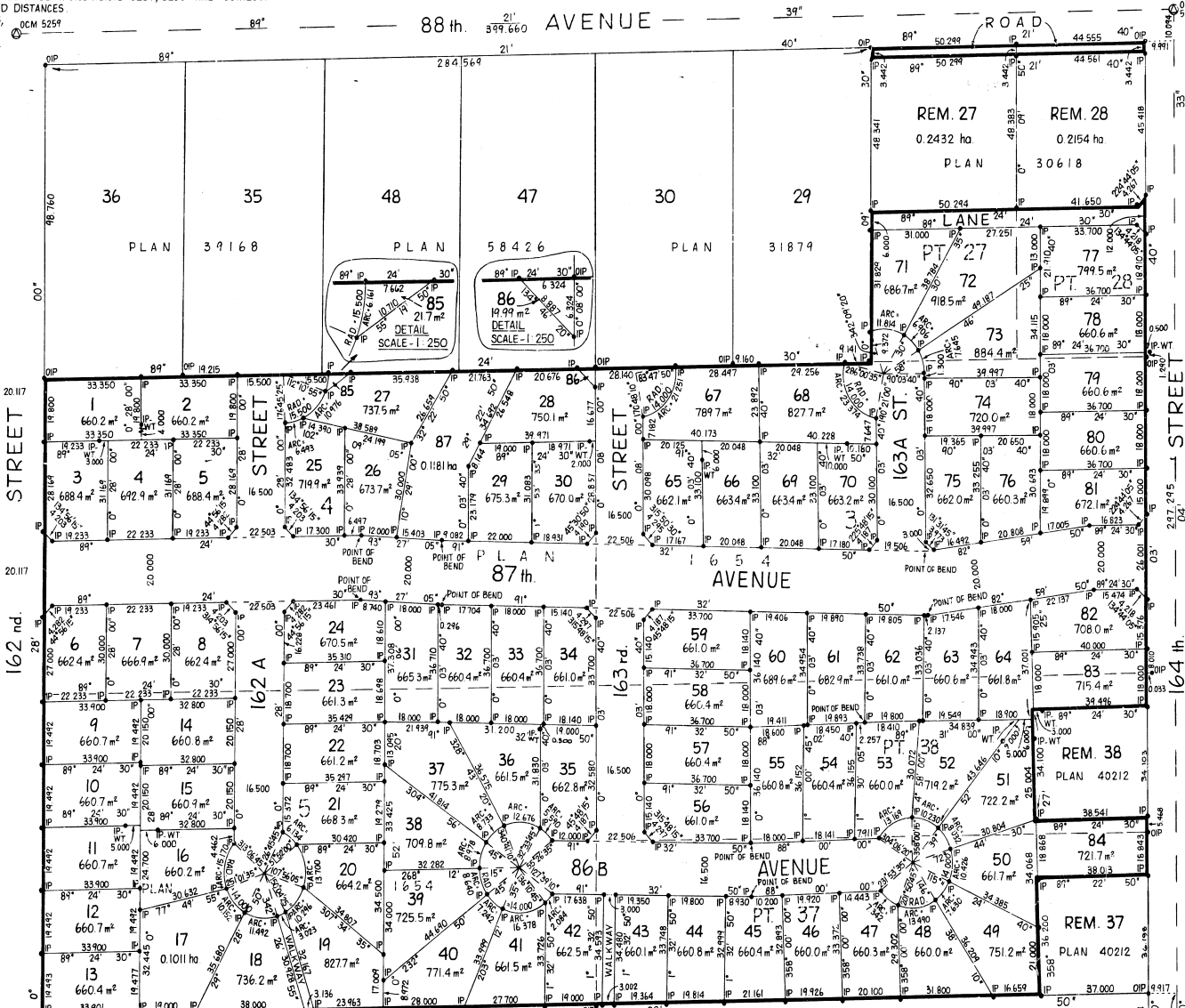
E.J. Kavan
REGISTRAR

Ref: AC14888-AC14974

SCALE - 1:750



- LEGEND**
- GRID BEARINGS ARE DERIVED FROM OLD CONTROL MONUMENTS 5259, 5260 AND 86H259
 - THIS PLAN SHOWS GROUND-LEVEL MEASURED DISTANCES
 - PRIOR TO COMPUTATION OF LIT-M CO-ORDINATES, MULTIPLY BY COMBINED FACTOR OF 0.99570
 - OCM DENOTES OLD CONTROL MONUMENT FOUND
 - OIP OLD IRON POST FOUND
 - IP STANDARD IRON POST SET
 - WT WITNESS



THE REGISTERED OWNERS DESIGNATED HEREON DECLARE THAT THEY HAVE ENTERED INTO A COVENANT IN FAVOUR OF THE MUNICIPALITY OF SURREY UNDER SECTION 215 OF THE LAND TITLE ACT

TRINTEC DEVELOPMENTS LTD
Mike David Lamont
 AUTHORIZED SIGNATORY

AUTHORIZED SIGNATORY
 DATED AT Vancouver, B.C., MAY 19, 1989

THE ROYAL BANK OF CANADA
 by its Authorized Officers
[Signature]
 C. H. MacPherson, Receiver Manager
 WITNESS TO BOTH SIGNATURES
 Secretary
 OCCUPATION
 1058 West Georgia, Vancouver, B.C.
 ADDRESS

ISAAC OSMAN & ASSOCIATES
 B.C. LAND SURVEYORS
 20609 LOGAN AVENUE
 LANGLEY, B.C. V3A 7R3
 phone 533-2411
 FILE 11586 (TRINTEC)

- Paulina Cedik*
 WITNESS
 ADDRESS
- John Balanuk*
 WITNESS
 WILLIAM D. BATTISON
 1247 1/2 ST. W.
 VANCOUVER, B.C. V6Z 1K7
 ADDRESS
- Viola Valentine Balanuk*
 OCCUPATION
 ADDRESS
- James Leonard MacPherson*
 WITNESS
 LEONA BETTY MACPHERSON
 OCCUPATION
 ADDRESS
- Herbert John Kandt*
 WITNESS
 TOIUI MARIA KANDT
 OCCUPATION
 ADDRESS
- TRINTEC DEVELOPMENTS LTD**
[Signature]
 AUTHORIZED SIGNATORY
[Signature]
 AUTHORIZED SIGNATORY

APPROVED UNDER THE LAND TITLE ACT
 THIS 30th DAY OF June 1989

[Signature]
 APPROVING OFFICER
 MUNICIPALITY OF SURREY

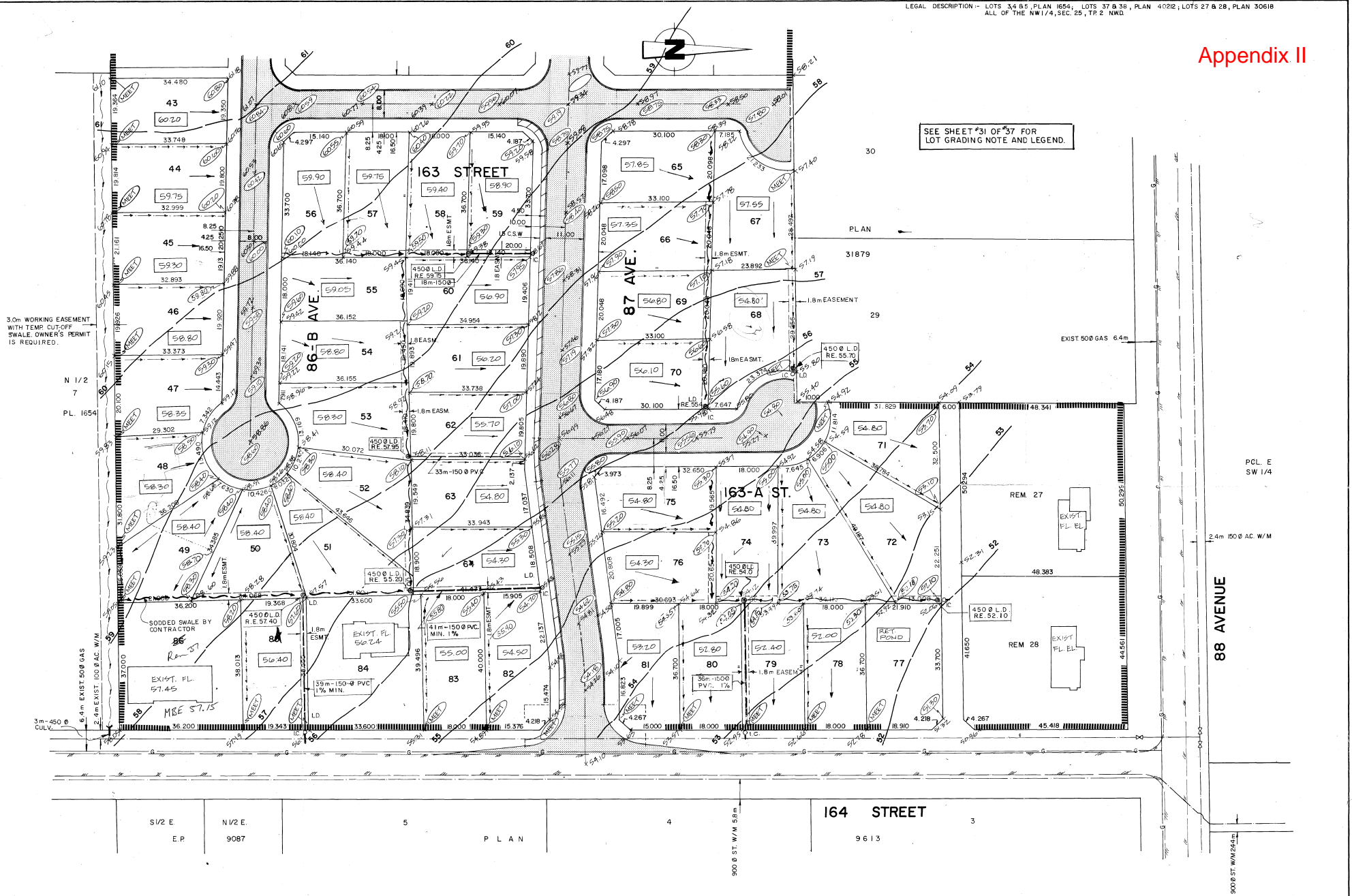
I, A M OSMAN, A BRITISH COLUMBIA LAND SURVEYOR OF LANGLEY, IN BRITISH COLUMBIA, CERTIFY THAT I WAS PRESENT AT AND PERSONALLY SUPERINTENDED THE SURVEY REPRESENTED BY THIS PLAN AND THAT THE SURVEY AND PLAN ARE CORRECT. THE SURVEY WAS COMPLETED ON THE 31st DAY OF MARCH, 1989

[Signature] B.C.L.S.

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

S 1/2 OF 12
 PLAN 68088

S 1/2 OF 7



1	AS REQ'D BY MUNICIPALITY	10-25-88	1.5
2	AS REQ'D BY MUNICIPALITY	3 MAY 89	1.5

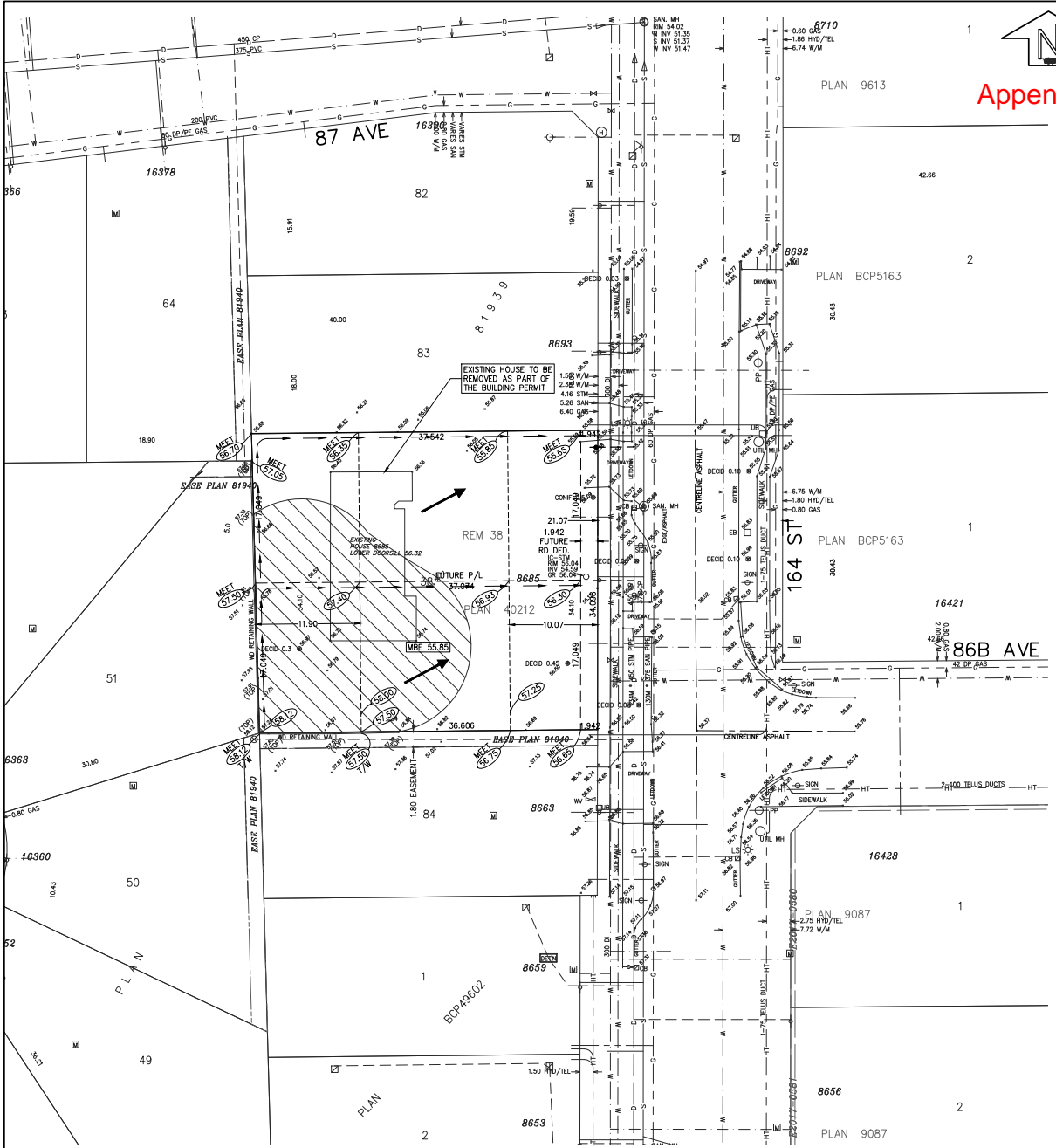
RANNALA & ASSOC. ENG. (1979) LTD.
SURVEYORS • ENGINEERS
14980-104 A312-1 TELEPHONE 584-8633

TRINTEC DEVELOPMENT LTD.
15063-808 AVE. SURREY BC V3S 7B7 TEL 591-7424
DISTRICT OF SURREY

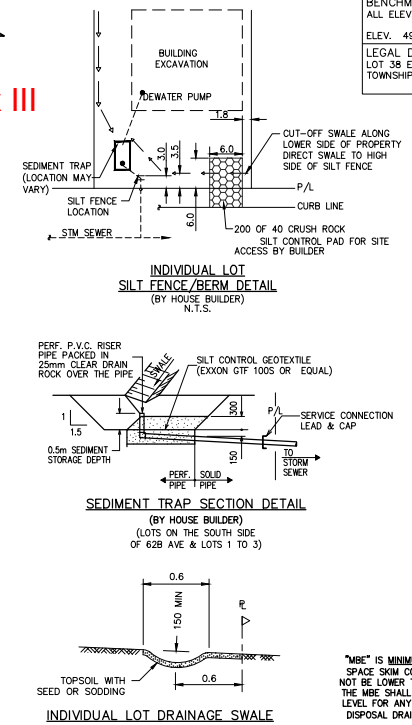
GRADING PLAN

DRAWN BY	IS	DATE	9 JAN. 89
CHECKED BY	OP	DRAWN NO.	88101
APPROVED BY	IS	SHEET NO.	32 37 R-2

DESTROY ALL PRINTS BRING TO



Appendix III



BENCHMARK & CONTROL
ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 92H0842
ELEV. 49.729m

LEGAL DESCRIPTION OF PROPERTY
LOT 38 EXCEPT; PART SUBDIVIDED BY PLAN 81939 SECTION 25
TOWNSHIP 2 NWD PLAN 40212

LEGEND

- MAJOR 100 YR. OVERLAND FLOOD ROUTE
- MAJOR 100 YR. FLOW ROUTE BELOW SURFACE
- MAJOR 100 YR. FLOW ROUTE IN PIPE
- EXIST GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- FUTURE GROUND ELEVATION
- DIRECTION OF FLOW
- MINIMUM BUILDING ELEVATION
- EXIST SWALE
- BUILDERS SWALE
- CONTRACTORS SWALE
- CONTOURS (ORIGINAL GROUND)
- EXIST DITCH
- PROP DITCH
- MEET EXIST GROUND
- PROPOSED CATCHBASIN
- PROPOSED LAWNBASIN (4500 LB)
- FILLS GREATER THAN 0.50m
- CUTS GREATER THAN 0.50m
- SANITARY SERVICE CONNECTION
- STORM SERVICE CONNECTION
- WATER SERVICE CONNECTION
- GRAVEL SILT PAD
- TREES TO BE RETAINED

"MBE" IS MINIMUM BASEMENT ELEVATION AND IS THE LOWEST LEVEL TO WHICH THE CRAWL SPACE SKIM COAT, BASEMENT SLAB AND/OR SLAB ON GRADE SHALL BE SET, AND SHALL NOT BE LOWER THAN THE ELEVATION SHOWN. NOTWITHSTANDING THE MBE ELEVATION SHOWN, THE MBE SHALL ALSO BE A MINIMUM OF 0.15M ABOVE THE MAXIMUM POTENTIAL SURCHARGE LEVEL FOR ANY SEPTIC DISPOSAL SYSTEM OR SANITARY SERVICE CONNECTION, STORM WATER DISPOSAL DRAINS, MAJOR STORM WATER FLOW PATH AND/OR STORM SEWER CONNECTION.

INDIVIDUAL LOT SILT CONTROL NOTES: (BY HOUSE BUILDER)

- THE BUILDER IS TO CONSTRUCT THE SEDIMENT TRAP AND SILT CONTROL PAD, AS SHOWN ON THE LOT GRADING PLAN DETAIL, AND ENSURE THAT IT IS USED BY THE BUILDER'S TRADES AS SITE ACCESS DURING CONSTRUCTION THE BUILDER SHALL DIRECT ALL LOT DRAINAGE TO A TEMPORARY SILTATION MINI-POND.
- SILT CONTROL AND A CUT-OFF SWALE SHALL REMAIN IN PLACE UNTIL FINISHED LOT GRADING. FOUNDATION TILE SHALL NOT BE CONNECTED TO THE STORM CONNECTION UNTIL ALL ON-SITE TILE IS PLACED AND BACKFILLED IN THE INTERIM, THE TILE TRENCH TO THE STORM CONNECTION SHALL BE TEMPORARILY BLOCKED BY A SILT FENCE/BERM.
- FILTER FABRIC FOR CONSTRUCTION OF THE SILT FENCE IS TO BE "CONTROL PLUS" SILT FENCE OR EQUIVALENT.
- THE BUILDER SHALL INSTALL THE SILT FENCE/BERM AND CUT-OFF SWALE PRIOR TO UNCAPPING THE STORM CONNECTION AND EXCAVATING BUILDING FOOTPRINTS.
- THE BUILDER SHALL ENSURE THAT NO SILT LADEN WATER SHALL BE PUMPED OUT OR DISCHARGED INTO THE STORM SEWER SYSTEM. THE BUILDER MAY BE REQUIRED TO INSTALL ADDITIONAL FACILITIES, AS NECESSARY TO CONTROL THE DISCHARGE OF SILT LADEN WATER.
- FOUNDATION EXCAVATIONS WILL BE REMOVED DIRECTLY FROM THE SITE OR ALTERNATIVELY IF THE MATERIAL IS STOCKPILED FOR BACKFILLING THE EXCAVATIONS, THEN THE MOUNDS WILL BE COVERED WITH PLASTIC TO PROTECT AGAINST RAIN. THIS ALSO APPLIES TO TOPSOIL STOCKPILED FOR LANDSCAPING PURPOSES.
- ROAD & MINI-POND MAINTENANCE**
- THE BUILDER MUST MAKE EVERY POSSIBLE EFFORT TO MINIMIZE THE AMOUNT OF SOIL TRANSPORTED FROM THE BUILDING SITE ONTO THE ROADWAY. THIS IS PARTICULARLY IMPORTANT WHEN HEAVY MACHINERY, DUMP TRUCKS AND CONCRETE TRUCKS ARE ACCESSING THE SITE. THE PAVED ROAD SURFACE MUST BE CLEANED OF ACCUMULATIONS OF SOIL BY THE BUILDER NO LESS THAN EVERY THREE WORKING DAYS.
- NO SOIL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON THE PAVED ROAD SURFACE. NO MATERIAL OF ANY TYPE IS TO BE DEPOSITED IN SUCH A WAY THAT IT INTERFERES WITH THE FLOW OF WATER ALONG THE CURBS OR INTO CATCH BASINS.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTENANCE, MONITORING, MODIFYING AS NECESSARY AS DIRECTED BY THE ENGINEER OR OWNER, REMOVAL AND RESTORATION OF SEDIMENT TRAP AND ALL OTHER SILTATION CONTROL FACILITIES ON THE LOTS.

NOTES

- ROUGH LOT GRADING BY CONTRACTOR.
- FINISHED LOT GRADING BY HOUSE BUILDER.
- ALL ROOF LEADERS ARE TO DISCHARGE ONTO SPLASHPADS UNLESS OTHERWISE NOTED.
- DEVELOPERS ENGINEER TO CERTIFY THAT THE ROUGH LOT GRADING IS IN CONFORMANCE WITH THE APPROVED LOT GRADING PLAN PRIOR TO THE ISSUING OF BUILDING PERMITS.
- BUILDER SHALL ENSURE THROUGH A PERSONAL FIELD INSPECTION THAT DRIVEWAYS ARE A MIN. OF 1.0 CLEAR OF STREETLIGHTS, HYDRANTS, ELECTRICAL KIOSKS AND ANY OTHER OBSTRUCTIONS.
- BUILDER TO EXPOSE AND CONFIRM THE AS-CONSTRUCTED INVERT AND LOCATION OF ALL SERVICE CONNECTIONS PRIOR TO ANY BUILDING EXCAVATION.

NOTE:
PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES AND NOTIFY THE ENGINEER OF ANY CONFLICTS

No.	Date	Revised PER CITY COMMENTS	LC	JK
1	2022/07/04			
		Revision	Dr	Ch

CitiWest Consulting Ltd.
No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
TELEPHONE 604-591-2213 FAX 604-591-5518
E-MAIL: office@citiwest.com
EGBC Permit to Practice #1001824

RANJIT ATHWAL
8685 - 164 STREET, SURREY, BC VAN 1C9 PH: 604-728-7265

PRELIMINARY LOT GRADING PLAN

SITE LOCATED AT 8685 - 164 STREET, SURREY, BC

Scale:	1:250	Mun. Proj. No.	7922-0185-00	Dwg. No.	
Drawn:	TWD	Mun. Dwg. No.			B
Designed:	RJ	Job No.	22-4513	Of	
P.W. P.U.		Date	MAY /22	Revision	1
Approved:					

destroy all prints bearing previous number

This drawing and design is the property of CITIWEST CONSULTING LTD. and cannot be used, reused or reprinted without the written consent of said company.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0185-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-030-315

Lot 38 Except: Part Subdivided by Plan 81939; Section 25 Township 2 New Westminster District Plan 40212

8685 - 164 Street

(the "Land")

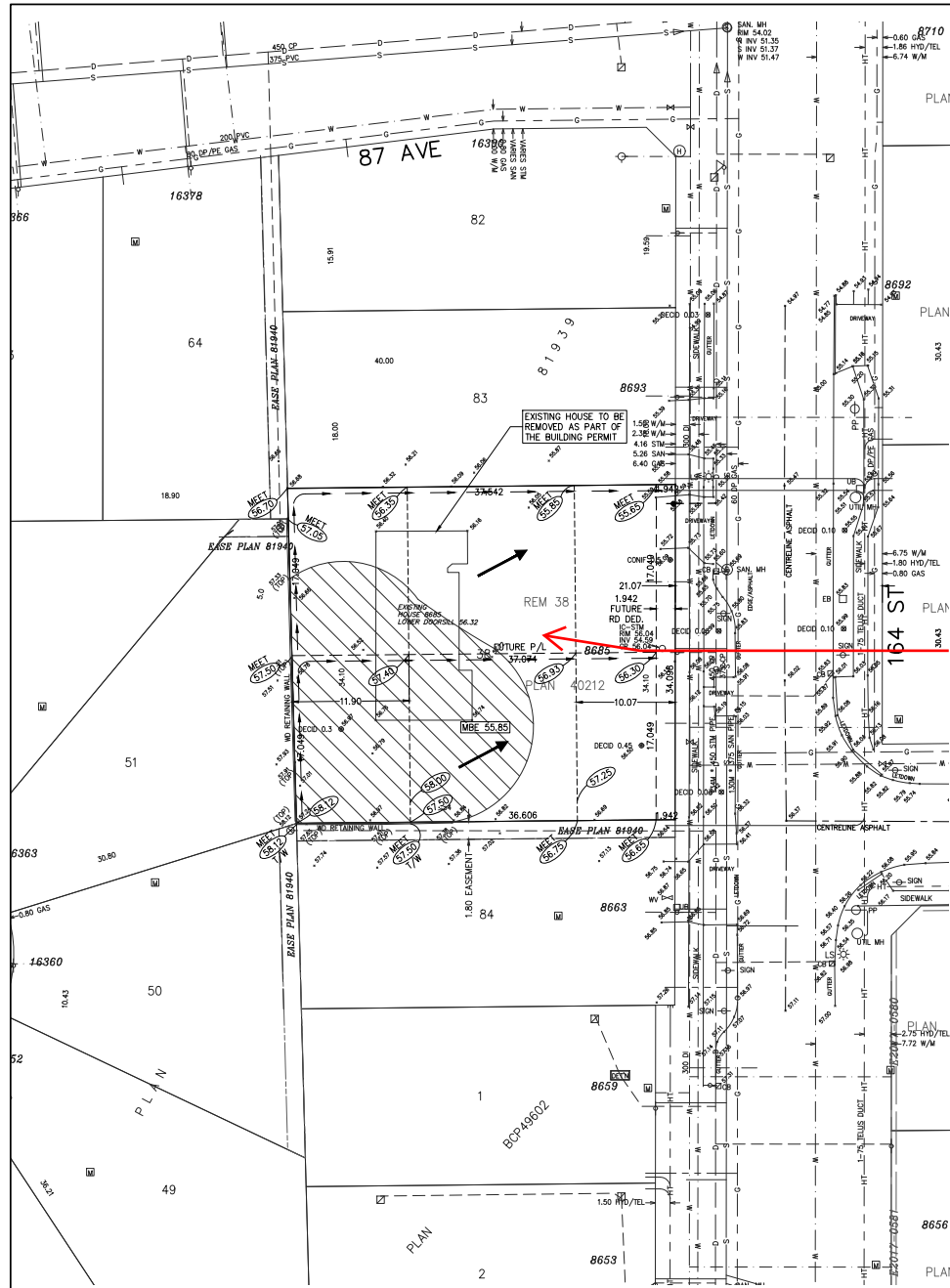
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Part 1 "Definitions", the definition of *finished grade* is varied to permit the use of the proposed lot grading plan in Schedule A, which is attached hereto and forms part of this Development Variance Permit, for the purposes of establishing the finished grade on the subject lot, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

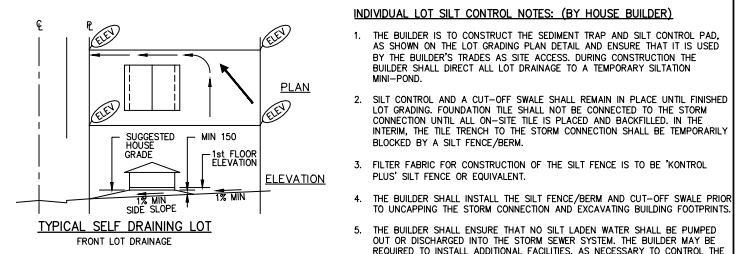
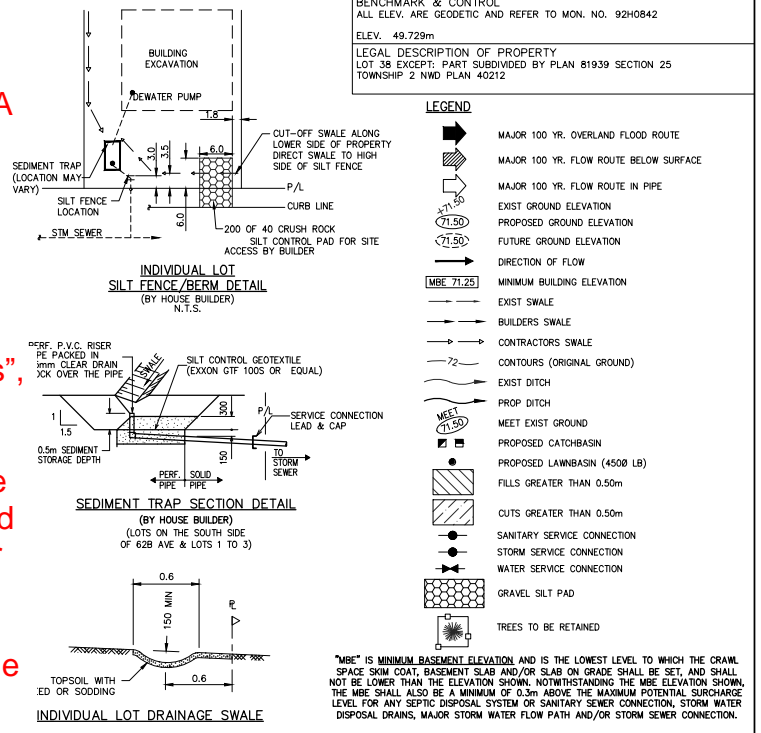
Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



Schedule A

In Part 1 "Definitions", the definition of finished grade is varied to permit the use of this proposed lot grading plan for the purposes of establishing the finished grade on the subject lot, rather than the lot grading plan that was approved by the City at the time of subdivision when the lot was created.



- INDIVIDUAL LOT SILT CONTROL NOTES: (BY HOUSE BUILDER)**
1. THE BUILDER IS TO CONSTRUCT THE SEDIMENT TRAP AND SILT CONTROL PAD, AS SHOWN ON THE LOT GRADING PLAN DETAIL AND ENSURE THAT IT IS USED BY THE BUILDER'S TRADES AS SITE ACCESS DURING CONSTRUCTION THE BUILDER SHALL DIRECT ALL LOT DRAINAGE TO A TEMPORARY SILTATION MINI-POND.
 2. SILT CONTROL AND A CUT-OFF SWALE SHALL REMAIN IN PLACE UNTIL FINISHED LOT GRADING. FOUNDATION TILE SHALL NOT BE CONNECTED TO THE STORM CONNECTION UNTIL ALL ON-SITE TILE IS PLACED AND BACKFILLED. IN THE INTERIM, THE TILE TRENCH TO THE STORM CONNECTION SHALL BE TEMPORARILY BLOCKED BY A SILT FENCE/BERM.
 3. FILTER FABRIC FOR CONSTRUCTION OF THE SILT FENCE IS TO BE 'CONTROL PLUS' SILT FENCE OR EQUIVALENT.
 4. THE BUILDER SHALL INSTALL THE SILT FENCE/BERM AND CUT-OFF SWALE PRIOR TO UNCAPPING THE STORM CONNECTION AND EXCAVATING BUILDING FOOTPRINTS.
 5. THE BUILDER SHALL ENSURE THAT NO SILT LADEN WATER SHALL BE PUMPED OUT OR DISCHARGED INTO THE STORM SEWER SYSTEM. THE BUILDER MAY BE REQUIRED TO INSTALL ADDITIONAL FACILITIES, AS NECESSARY TO CONTROL THE DISCHARGE OF SILT LADEN WATER.
 6. FOUNDATION EXCAVATIONS WILL BE REMOVED DIRECTLY FROM THE SITE OR ALTERNATIVELY IF THE MATERIAL IS STOCKPILED FOR BACKFILLING THE EXCAVATIONS, THEN THE MOUNDS WILL BE COVERED WITH PLASTIC TO PROTECT AGAINST RAIN. THIS ALSO APPLIES TO TOPSOIL STOCKPILED FOR LANDSCAPING PURPOSES.
 7. ROAD & MINI-POND MAINTENANCE
 - a. THE BUILDER MUST MAKE EVERY POSSIBLE EFFORT TO MINIMIZE THE AMOUNT OF SOIL TRANSPORTED FROM THE BUILDING SITE ONTO THE ROADWAY. THIS IS PARTICULARLY IMPORTANT WHEN HEAVY MACHINERY, DUMP TRUCKS AND CONCRETE TRUCKS ARE ACCESSING THE SITE. THE PAVED ROAD SURFACE MUST BE CLEANED OF ACCUMULATIONS OF SOIL BY THE BUILDER NO LESS THAN EVERY THREE WORKING DAYS.
 - b. NO SOIL, SAND OR OTHER MATERIAL WITH A HIGH SEDIMENT CONTENT SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON THE PAVED ROAD SURFACE. NO MATERIAL OF ANY TYPE IS TO BE DEPOSITED IN SUCH A WAY THAT IT INTERFERES WITH THE FLOW OF WATER ALONG THE CURBS OR INTO CATCH BASINS.
 - c. THE BUILDER SHALL BE RESPONSIBLE FOR MAINTENANCE, MONITORING, MODIFYING AS NECESSARY AS DIRECTED BY THE ENGINEER OR OWNER, REMOVAL AND RESTORATION OF SEDIMENT TRAP AND ALL OTHER SILTATION CONTROL FACILITIES ON THE LOTS.

NOTE:
PRIOR TO ANY CONSTRUCTION THE CONTRACTOR IS TO VERIFY INVERTS & LOCATIONS OF EXISTING SERVICES AND NOTIFY THE ENGINEER OF ANY CONFLICTS

BENCHMARK & CONTROL
ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 92H0842
ELEV. 49.729m

LEGAL DESCRIPTION OF PROPERTY
LOT 38 EXCEPT; PART SUBDIVIDED BY PLAN 81939 SECTION 25
TOWNSHIP 2 NWD PLAN 40212

- LEGEND**
- MAJOR 100 YR. OVERLAND FLOOD ROUTE
 - MAJOR 100 YR. FLOW ROUTE BELOW SURFACE
 - MAJOR 100 YR. FLOW ROUTE IN PIPE
 - EXIST GROUND ELEVATION
 - PROPOSED GROUND ELEVATION
 - FUTURE GROUND ELEVATION
 - DIRECTION OF FLOW
 - MINIMUM BUILDING ELEVATION
 - EXIST SWALE
 - BUILDERS SWALE
 - CONTRACTORS SWALE
 - CONTOURS (ORIGINAL GROUND)
 - EXIST DITCH
 - PROP DITCH
 - MEET EXIST GROUND
 - PROPOSED CATCHBASIN
 - PROPOSED LAWNBASIN (4500 LB)
 - FILLS GREATER THAN 0.50m
 - CUTS GREATER THAN 0.50m
 - SANITARY SERVICE CONNECTION
 - STORM SERVICE CONNECTION
 - WATER SERVICE CONNECTION
 - GRAVEL SILT PAD
 - TREES TO BE RETAINED

"MBE" IS MINIMUM BASEMENT ELEVATION AND IS THE LOWEST LEVEL TO WHICH THE CRAWL SPACE SKIM COAT, BASEMENT SLAB AND/OR SLAB ON GRADE SHALL BE SET, AND SHALL NOT BE LOWER THAN THE ELEVATION SHOWN. NOTWITHSTANDING THE MBE ELEVATION SHOWN, THE MBE SHALL ALSO BE A MINIMUM ABOVE THE MAXIMUM POTENTIAL SURCHARGE LEVEL FOR ANY SEPTIC DISPOSAL SYSTEM OR SANITARY SEWER CONNECTION, STORM WATER DISPOSAL DRAINS, MAJOR STORM WATER FLOW PATH AND/OR STORM SEWER CONNECTION.

No.	Date	Revised	PER CITY COMMENTS	LC	JK
1	2022/07/04				
This drawing and design is the property of CITWEST CONSULTING LTD. and cannot be used, reused or reprinted without the written consent of said company.					

CitiWest Consulting Ltd.
No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
TELEPHONE 604-591-2213 FAX 604-591-5518
E-MAIL: office@citiwest.com
EGBC Permit to Practice #1001824



RANJIT ATHWAL
8685 - 164 STREET, SURREY, BC VAN 1C9 PH: 604-728-7265

PRELIMINARY LOT GRADING PLAN
SITE LOCATED AT 8685 - 164 STREET, SURREY, BC

Scale:	1:250	Mun. Proj. No.:	7922-0185-00	Dwg. No.:	B
Drawn:	TWD	Mun. Dwg. No.:			
Designed:	RJ	Job No.:	22-4513	Of	
P.W. P.U.:		Date:	MAY /22	Revision	1
Approved:					

C:\pwworking\CITWEST\DWG\4513\1824.dwg 17/05/2022 12:58:01 PM