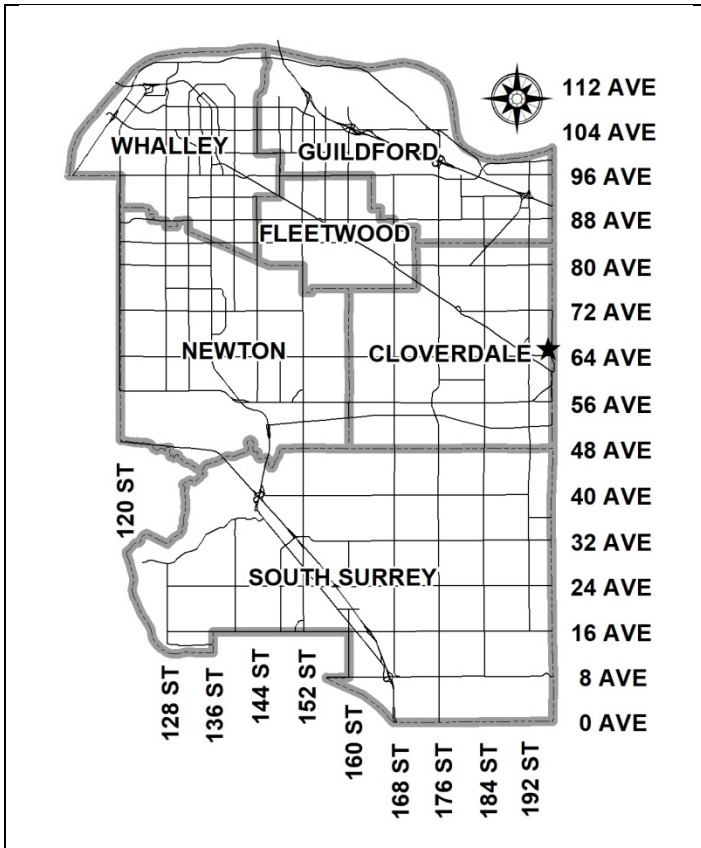


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0026-00

Planning Report Date: July 25, 2022



PROPOSAL:

- **Development Permit**

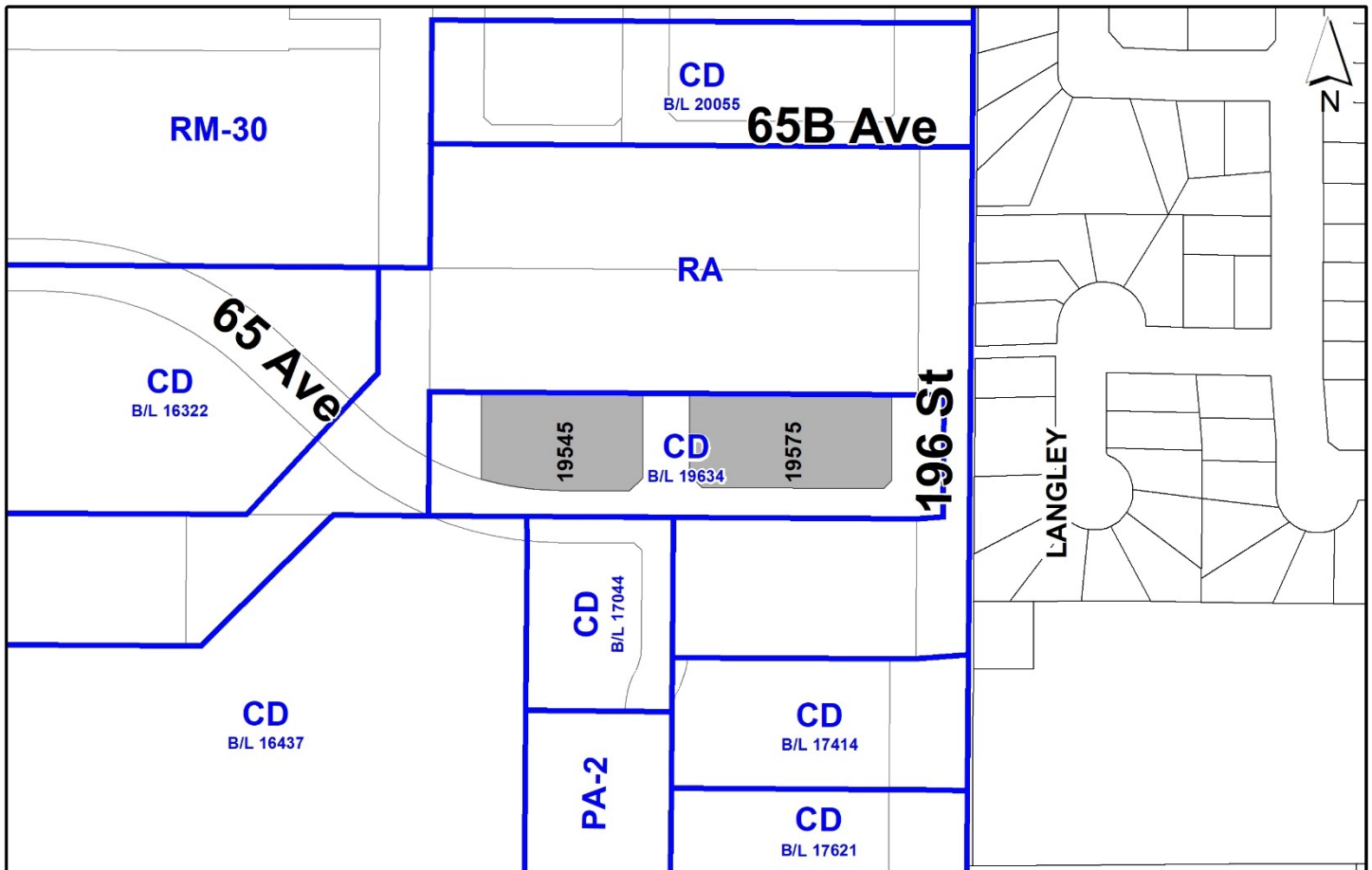
to permit the development of two 5-storey apartment buildings containing 147 residential units.

LOCATION: 19545 - 65 Avenue
19575 - 65 Avenue

ZONING: CD (Bylaw No. 19634)

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: 30-70 u.p.a. (High Density)



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Development Permit is for re-issuance of the expired Development Permit No. 7918-0072-00, which was issued on March 9, 2020, and expired on March 9, 2022. A new Development Permit is required for the applicant to complete development of the subject site.
- Council previously approved Development Application No. 7918-0072-00 for the subject site at the Regular Council – Land Use meeting on March 9, 2020. The application included rezoning to Comprehensive Development (CD) Bylaw No. 19634, an Official Community Plan (OCP) Amendment to Multiple Residential, an Amendment to the East Clayton Neighbourhood Concept Plan (NCP) to 30-70 u.p.a. (High Density), and issuance of a Development Permit (Form and Character) in order to permit the development of two 5-storey apartment buildings.
- The updated drawings provided for the new Development Permit application are generally consistent with the previously approved drawings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Permit No. 7918-0072-00.
2. Council approve Development Permit No. 7922-0026-00 (Appendix I) and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	East Clayton NCP Designation	Existing Zone
Subject Site	Vacant land	30-70 u.p.a (High Density)	CD (Bylaw No. 19634)
North:	Single detached house on large lot	22-45 u.p.a (High Density)	RA
East (Across 196 Street):	Township of Langley, single detached houses	NA	NA
South (Across 65 Avenue):	4-storey apartment building and a single family lot	30-70 u.p.a (High Density) and 22 to 45 u.p.a (High Density).	RA/CD (Bylaw No. 17044)
West:	Park and Townhouses	Park/15-25 u.p.a Medium-High Density	RA/RM-30

Context & Background

- The subject site was rezoned from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (based on "Multiple Residential 70 Zone (RM-70)" Zone as part of Development Application No. 7918-0072-00. The application received Final Adoption of Rezoning By-law No. 19634 on March 9, 2020. Development Permit No. 7918-0072-00, to permit the development of two 5-storey apartment buildings with a total of 147 residential units was issued by Council on March 9, 2020.
- In accordance with the provisions in the Local Government Act Development Permits lapse if the owner does not substantially start construction with respect to which the permit is issued within two (2) years after the date the permit is issued. As substantial construction had not yet commenced on the site, Development Permit No. 7918-0072-00 lapsed on March 9, 2022.

- The applicant has indicated that the delays in construction were largely due to issues arising from the Covid-19 pandemic. However, the Building Permit application has been submitted and the applicant is hoping to achieve Building Permit issuance after the issuance of a new Development Permit under this application (Development Permit No. 7922-0026-00).

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Development Permit to replace lapsed Development Permit No. 7918-0072-00, to permit two 5-storey apartment buildings on the site.

	Proposed	
	Block A - West Building (19545 - 65 Avenue)	Block B - East Building (19575 - 65 Avenue)
Lot Area		
Net Site Area:	2,290 square metres	2,790 square metres
Number of Lots:	1	1
Building Height:	16.6 metres / 5-storeys	17.1 metres / 5-storeys
Unit Density (net):	301 units per hectare	280 units per hectare
Floor Area Ratio (FAR) :	2.19	2.00
Floor Area		
Total:	5,084 square metres	5,579 square metres
Residential Units:		
Studio:	2	0
1-Bedroom:	42	55
2-Bedroom:	22	21
3-Bedroom:	3	2
Total:	69	78

Referrals

Engineering: The Engineering Department has no objection to the project.

Parks, Recreation & Culture: No concerns.

Fire: No concerns.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “General Urban” designation in the RGS.

Official Community Plan

Land Use Designation

- The proposal complies with the “Multiple Residential” designation in the Official Community Plan (OCP).

Secondary Plans

Land Use Designation

- The proposal complies with the "30-70 u.p.a. (High Density)" designation in the East Clayton Neighborhood Concept Plan (NCP).

CD By-law

- The subject site was rezoned to a Comprehensive Development (CD) Zone (Bylaw No. 19634) as part of Development Application No. 7918-0072-00.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law.

CD Zone (Bylaw No. 19634)	Required	Proposed
Unit Density:		
Block A (West Building)	301 uph	301 uph
Block B (East Building)	280 uph	280 uph
Floor Area Ratio:		
Block A	2.22	2.19
Block B	2.02	2.00
Lot Coverage:		
Block A	53%	52%
Block B	57%	50%
Yards and Setbacks		
Block A		
North:	6.0 m	6.0 m
East:	4.5 m	4.5 m
South:	4.5 m	4.5 m
West:	3.0 m	3.0 m
Block B		
North:	6.0 m	6.0 m
East:	11.6 m	11.6 m
South:	4.5 m	4.5 m
West:	4.5 m	4.5 m
Height of Buildings		
Principal buildings:		
Block A	16.6 m	16.6 m
Block B	17.1 m	17.1 m

CD Zone (Bylaw No. 19634)	Required	Proposed
Amenity Space		
Indoor Amenity:		
Block A	207 sq. m	225 sq. m
Block B	234 sq. m	297 sq. m
Outdoor Amenity:		
Block A	207 sq. m	334 sq. m
Block B	234 sq. m	387 sq. m
Parking (Part 5)		
Required		
Proposed		
Number of Stalls		
Block A:		
Residential:	95	105
Residential Visitor:	14	14
Total:	109	119
Block B:		
Residential:	107	117
Residential Visitor:	16	16
Total:	123	133
Bicycle Spaces		
Block A:		
Residential Secure:	83	83
Residential Visitor:	6	6
Total:	89	89
Block B:		
Residential Secure:	94	104
Residential Visitor:	6	6
Total:	100	110

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on March 28, 2022. Staff received one (1) e-mail from nearby property owners in response to the signs. The property owner expressed the following comments/concerns (with staff comments in italics):
- One letter of opposition was received from a nearby property owner, who expressed concerns related to the height of the building, overall density, and traffic concerns.

(The subject site is designated 30-70 u.p.a. (High Density) in the East Clayton NCP, which allows for an apartment building of up to four storeys. The proposed development is generally reflective of this with the addition of a recessed fifth floor, which is less visible from the street. There is a significant building setback of 4.5 metres along 65 Avenue, which consists of a landscaped area. In addition to this, as part of the previous application (7918-0072-00) on the subject site, the applicant dedicated 599 square metres of land to be used for park purposes (19525 – 65 Avenue), as well as cash contributions of \$50,000 to be put toward park improvements as a community benefit. The proposal exceeds the required number of parking stalls by 20.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The applicant proposes to construct two 5-storey apartment buildings with a total of 147 units and three levels of underground parking. Building 1 is proposed on the western lot (19545 - 65 Avenue) and Building 2 is proposed on the eastern lot (19575 - 65 Avenue). (Appendix I)
- There are 69 units proposed in Building 1 and 78 units in Building 2 for a total of 147 residential units. This includes two studio units, 98 one-bedroom units, 43 two-bedroom units, and five three-bedroom units. The building sizes and exterior designs have not been fundamentally altered.
- Building siting and massing remains the same as previously proposed, which was designed following the natural topography of the land terracing up the hill from the low point along 196 Street (east side of the site) to the high point alongside the park lot to the west. The Floor Area Ratio, and the total floor area proposed, remain the same as the previous proposal at 1.2.
- The proposal works to address the approximate 11 metre grade change across the site by incorporating a series of stepped retaining walls and landscaping along the south side of the site (65 Avenue) to allow for a grade transition from the patios off the main floor and lobby entrances to the finished grade at the property line.
- A simple, modern architectural vernacular has been applied to the buildings, which creates a suitable backdrop to the contrasting and extensive existing and proposed vegetation surrounding the buildings.
- A colour palette of a white textured cementitious panel systems contrasts with a light gray horizontal siding system. Wood-like material provides framing of key elements around building highlighting corner elements, defining main pedestrian and parkade entries and enhancing the stepped building face terracing to complement site's topography.
- The proposed buildings are U-shaped with large central courtyards facing south. The main resident entry has been revised for both sites to address accessibility access, and the elevator shaft design, at the centre of the building adjacent to the courtyard, now includes glass storefront windows so residents can see out at every level.
- The height of the buildings read primarily as 4-storeys because of the natural grading conditions. A recessed 5th storey sits behind the 4-storey façade, creating larger roof-top decks for 5th floor units and outdoor amenity space for all residents.
- The three levels of underground parking have been modified due to the redesign of the lobby and elevator areas of both Buildings 1 and 2. As a result additional parking and storage areas have been accommodated in the revised proposal. The number of parking spaces has increased for Building 1 from 115 to 120, exceeding the minimum requirement of 109. The number of parking spaces has increased for Building 2 from 131 to 133, exceeding the minimum requirement of 123 spaces. Bicycling parking has also increased for Building 2 from 94 to 104, exceeding the minimum requirement.

Landscaping

- The landscape plan shows a total of 60 trees to be planted throughout the subject site including Red Maple, Chinese Dogwood, and Serbian Spruce.
- A significant number of shrubs and ground cover species are proposed including hostas, honeysuckles, hydrangeas, ferns, willows, yews, and decorative grasses.
- The proposed trees and landscaping will enhance the streetscape and create an urban, pedestrian-friendly environment.
- The two (2) proposed outdoor amenity courtyards will provide for green space and useable common areas.
- The landscape plan proposes contrasting surface treatments and raised planters to distinguish between private, public, shared spaces and pathways.

Indoor and Outdoor Amenity

- The required indoor and outdoor amenity areas for Building 1 is 207 square metres. The indoor amenity area proposed exceeds the required amount at 225 square metres and the outdoor amenity area exceeds the required amount at 334 square metres.
- The required indoor and outdoor amenity areas for Building 2 is 234 square metres. The indoor amenity area proposed exceeds the required amount at 297 square metres and the outdoor amenity area meets the required amount at 387 square metres. As a result of minor revisions to the main floor plan the indoor amenity area proposed has been reduced slightly from 303 square metres to 297 square metres.

TREES

- Monica Ardiel and Rhythm Batra, ISA Certified Arborists, of Mike Fadum and Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood	2	0	2
Deciduous Trees (excluding Alder and Cottonwood Trees)			
NA	N/A	N/A	N/A
Coniferous Trees			
N/A	N/A	N/A	N/A

Tree Species	Existing	Remove	Retain
Total (excluding Alder and Cottonwood Trees)	0	0	0
Additional Trees in the proposed Open Space	1	0	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		60	
Total Retained and Replacement Trees		62	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are no protected trees on the site, excluding Alder and Cottonwood trees. Two (2) existing trees, which represents 100% of the total trees on the site, are Alder and Cottonwood trees. It was determined that two (2) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 0 replacement trees on site. The applicant is proposing 60 replacement trees, thereby exceeding the City requirements.
- The new trees on the site will consist of a variety of trees including Red Maple, Chinese Dogwood and Serbian Spruce.
- In summary, a total of 62 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Development Permit No. 7922-0026-00
- Appendix II. Summary of Tree Survey and Tree Preservation

approved by Ron Gill

Jeff Arason
 Acting General Manager
 Planning and Development

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7922-0026-00

Issued To:

("the Owner")

Address of Owner:

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.

2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-072-755
Lot 1 Section 15 Township 8 New Westminster District Plan EPP90038
19545 - 65 Avenue

Parcel Identifier: 031-072-763
Lot 2 Section 15 Township 8 New Westminster District Plan EPP90038
19575 - 65 Avenue

(the "Land")

3. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures on the Land shall be in accordance with the drawings referenced DP 7922-0026-00 (1) through to and including DP 7922-0026-00 (45) (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by Durante Kreuk Ltd., and referenced attached as 7922-0026-00 (46) through to 7922-0026-00 (59) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Security and Inspections

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. The security for landscaping is to be submitted as Cash or Irrevocable Letters of Credit, in a form acceptable to the City in the amounts of:
 - i. Phase 1 (West Building): \$201,005.23
 - ii. Phase 2 (East Building): \$249,546.99

4. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
5. For Form and Character development permits, when the Landscaping has been determined to be substantially complete, as determined by the City, and without the City having to use the Security, 90%, less deficiencies, of the original Security will be returned. When the Landscaping requirements and permit requirements receive final approval by the City, 10% of the original Security will be returned.
6. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
7. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.

E. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Owner: (Signature)

Name: (Please Print)

19545 & 19575 65 AVE, SURREY, BC

Parent Address: 6529 196 St, Surrey, BC

Old DP Application - 7918 -0072-00

New DP Renewal Application - 7922-0026-00

DP Submission - October 5th, 2018

Submission to ADP - June 21st, 2018

Re-Issue DP - March 8th, 2019

Re-Issue DP - June 24th, 2019

Re-Issue DP - Sept 9th, 2019

Plan Review Response - Oct 25th, 2019

Plan Review Response - Dec 2nd, 2019

DP (Approved) - Mar 9th, 2020

Issue for DP Minor Amendment - May 20th, 2020

Minor Amendment (Accepted) - Jun 17th, 2020

Issue for DP Renewal/Amendment - Mar 24th, 2022

Re-Issued for DP Renewal/Amendment - April 28th, 2022

Re-Issued for DP Renewal/Amendment (Urban Design Comments) - July 18th, 2022

Client

Inspira Development (Insignia) Ltd.
306-7337 137 St
Surrey, BC V3W 1A4
Contact: Jit Daara
Email: jitdaara@inspiracpa.com
Tel: 604.355.2269

Architect

Ankenman Marchand Architects
1845 West 5th Avenue
Vancouver, BC V6J 1N5
Contact: Daniel Martins
Email: daniel@amarchitects.com
Tel: 604.872.2595 Fax: 604.872.2505

Surveyor

Cameron Land Surveyor
16055 Fraser Hwy
Surrey, BC, V4N 0G2
Contact: Ken Schuurman
Email: jlaylor@cdklbc.ca
Tel: 604.597.3777

Landscape

Durante Kreuk
Address 102-1637 West 5th Ave
Vancouver, BC V6J 1N5
Contact: Justin Taylor
Email: jtaylor@dklbc.ca
Tel: 604.684.4611 Fax: 604.684.0577

Civil

Aplin & Martin Consultants Ltd.
201-12488 82nd Ave
Surrey, BC V3W 3E9
Contact: Derek Hull
Email: dhull@aplmartin.com
Tel: 604.597.9058 Fax: 604.597.9061

Arborist

Mike Fadum & Associates Ltd.
105-8277 129 St
Surrey, BC V3W 0A6
Contact: Mike Fadum
Email: mfadum@fadum.ca
Tel: 778.593.0300 Fax: 778.593.0022

Plans checked by:

Urban Designer
Planning & Development

Date: **2022-07-20**

Acceptable
 Not Acceptable

ARCHITECTS

**ANKENMAN
MARCHAND**

1845 West 5th Avenue
Vancouver, BC V6J 1N5

Tel: (604) 872-2595 ext: (604) 872-2505
Email: office@amarchitects.com



Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
COVER PAGE & DRAWING LIST
Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2014-06-05	Issued for DP
2014-06-07	Re-Issue for DP
2015-06-05	Re-Issue for DP
2016-03-29	Re-Issue for DP
2016-06-24	Re-Issue for DP
2016-08-29	Re-Issue for DP
2018-10-25	Plan Review Response
2018-12-02	Plan Review Response
2020-05-21	Issued for DP Minor Amendment
2022-02-28	Issued for DP Renewal/Amendment
2022-07-18	Re-Issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.
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Scale:	DWG. NO:
	A001

SHEET NUMBER	SHEET NAME
A001	COVER PAGE & DRAWING LIST
A003	GENERAL NOTES
A004	DESIGN RATIONALE
A030	CONTEXT
A034	STREET ELEVATIONS
A035	STREET ELEVATIONS
A036	STREET ELEVATIONS
A037	STREET ELEVATIONS
A040	SHADOW ANALYSIS MARCH
A041	SHADOW ANALYSIS SEPTEMBER
A100a	BASE PLAN
A105	OVERALL SITE PLAN
A106	BUILDING 1/BLOCK A (WEST) SITE PLAN
A107	BUILDING 2/BLOCK B (EAST) SITE PLAN
A110	BUILDING 1/BLOCK A (WEST) UNDERGROUND LEVEL 3 PLAN

SHEET NUMBER	SHEET NAME
A111	BUILDING 1/BLOCK A (WEST) UNDERGROUND LEVEL 2 PLAN
A112	BUILDING 1/BLOCK A (WEST) UNDERGROUND LEVEL 1 PLAN
A115	BUILDING 1/BLOCK A (WEST) GROUND FLOOR PLAN
A120	BUILDING 1/BLOCK A (WEST) LEVEL 2 PLAN
A125	BUILDING 1/BLOCK A (WEST) LEVEL 3 PLAN
A130	BUILDING 1/BLOCK A (WEST) LEVEL 4 PLAN
A135	BUILDING 1/BLOCK A (WEST) LEVEL 5 PLAN
A140	BUILDING 1/BLOCK A (WEST) ROOF PLAN
A150	BUILDING 2/BLOCK B (EAST) UNDERGROUND LEVEL 3 PLAN
A151	BUILDING 2/BLOCK B (EAST) UNDERGROUND LEVEL 2 PLAN
A152	BUILDING 2/BLOCK B (EAST) UNDERGROUND LEVEL 1 FLOOR PLAN
A155	BUILDING 2/BLOCK B (EAST) GROUND FLOOR PLAN
A160	BUILDING 2/BLOCK B (EAST) LEVEL 2 PLAN

SHEET NUMBER	SHEET NAME
A165	BUILDING 2/BLOCK B (EAST) LEVEL 3 PLAN
A170	BUILDING 2/BLOCK B (EAST) LEVEL 4 PLAN
A175	BUILDING 2/BLOCK B (EAST) LEVEL 5 PLAN
A180	BUILDING 2/BLOCK B (EAST) ROOF PLAN
A210	BUILDING 1/BLOCK A (WEST) - ELEVATIONS NORTH & SOUTH
A215	BUILDING 1/BLOCK A (WEST) - ELEVATIONS EAST & WEST
A220	BUILDING 1/BLOCK A (WEST) - SOUTH MAIN ENTRY ELEVATION
A221	BUILDING 1/BLOCK A (WEST) - SOUTH PRIVATE ENTRY ELEVATION
A222	BUILDING 1/BLOCK A (WEST) - EAST PRIVATE ENTRY ELEVATION
A250	BUILDING 2/BLOCK B (EAST) - ELEVATIONS NORTH & SOUTH
A255	BUILDING 2/BLOCK B (EAST) - ELEVATIONS EAST & WEST

SHEET NUMBER	SHEET NAME
A260	BUILDING 2/BLOCK B (EAST) - SOUTH MAIN & UNIT ENTRY ELEVATION
A261	BUILDING 2/BLOCK B (EAST) - EAST PRIVATE ENTRY ELEVATION
A310	BUILDING 1/BLOCK A (WEST) - SECTIONS
A350	BUILDING 2/BLOCK B (EAST) - SECTIONS
A710	BUILDING 1/BLOCK A (WEST) - 3D VIEWS
A750	BUILDING 2/BLOCK B (EAST) - 3D VIEWS
L-1	Landscape-Overall Site Plan
L-2	Landscape-West Building Ground Plan
L-3	Landscape-East Building Ground Plan
L-4	Landscape-West Building Roof Plan
L-5	Landscape-East Building Roof Plan
L-6	West Planting
L-7	East Planting
L-8	Details

Grand total: 53

STATISTICS

Legal Description:
Lot 15 Section 15 Township 8 Plan 2468 NWD S 1/2

Civic Address:
6529 196 St, Surrey, BC

Zoning:
Existing: RA (One Acre Residential Zone)
Proposed: CD- Bylaw 19634

Existing NCP Designation:
22-45 UPA (High Density), East Clayton NCP

Proposed NCP Designation:
30-70 UPA (High Density), East Clayton NCP

Existing OCP Designation:
Urban

Proposed OCP Designation:
Multiple Residential

Site Area:
Gross Site Area: 96,326.23 sf / 8,949 m² / 2.211 ac / 0.895 ha
Road/Park Dedications: 41,645.57 sf / 3,869 m² / 0.956 ac / 0.386 ha

Site Coverage:
Total Site Coverage: 27,198.29 / 96,326.23 sf = 28.2%

Density:
With NCP Amendment: 70 UPA x 2.211 ac = 154.77 = 155 units
Proposed number of units: 147 units

FAR:
Proposed: 53,993 sf + 60,053 sf = 114,046 sf
Total Floor Area: 114,046 sf / 96,326.23 sf = 1.183 or 1.2 FAR

BUILDING 1 WEST

Site Area:
2,290m² (24,649SF)

Units:
Proposed: 69 units

Floor Area:
Gross floor area = 53,993 SF

Building Height:
Maximum height of Building 1 is as follows : 16.60 m (54.48 ft.) measured to a maximum height of 62.56 m (205.30 ft) geodetic up from a starting point of 45.97m (150.82 ft) geodetic elevation.

Setbacks required & provided:

North Yard 6.0m (20ft.)
South Yard 4.5m (15ft.) Minimum required and exceeds the minimum. Refer to site plan.
East Yard 4.5m (15ft.)
West Yard 3.0m (9-10ft.)

Parking:	Residents	44 x 1 Bed Units x 1.3 Spaces/Unit =	57 spaces
		25 x 2 Bed + Units x 1.5 Spaces/Unit =	38 spaces
		Total=	95 spaces
	Visitors	69 units x 0.2 spaces =	14 spaces
	Total	95 Residential + 14 Visitor =	109 spaces
	Bicycles	69 units x 1.2 spaces =	83 spaces
		plus 6 visitor spaces	

Not more than 35% of parking spaces shall be small car spaces, clearly marked as "small car only"
1 Parking spaces for Disabled persons parking, clearly marked as per BC Building Code Requirements.

Proposed:	Residents	105 Spaces
		(58 Regular + 30 Small + 16 Tandem + 1 Disability)
	Visitors	14 Spaces
		(13 Regular + 1 Disability)
	Total	119 Spaces
	Bicycles	83 spaces + 6 visitor spaces

Amenity Space:

Required:	Outdoor:	69 units x 3 m ² = 207 m ² / 2,228 sf
	Indoor:	69 units x 3 m ² = 207 m ² / 2,228 sf
Proposed:	Outdoor:	334.2 m ² / 3,597 sf
	Indoor:	224.6 m ² / 2,418 sf

Refuse Space

Provided:

1 x 6 yard bin (Garbage)
1 x 4 yard bin (Garbage)
2 x 360L carts (Newsprints)
2 x 360L carts (Mixed containers)
8 x 360L carts (Mixed papers)
3 x 360L carts (Compostables)

BUILDING 2 EAST

Site Area:
2,790m² (30,031SF)

Units:
Proposed: 78 units

Floor Area:
Gross Floor Area = 60,053 SF

Building Height:
Maximum height of Building 2 is as follows : 17.10 m (56.12 ft.) measured to a maximum height of 56.81 m (186.40 ft) geodetic up from a starting point of 39.71 m (130.28 ft) geodetic elevation.

Setbacks required & provided:

North Yard 6.0m (20ft.)
South Yard 4.5m (15ft.)
East Yard 11.6m (38ft.) - provided 11.69m
West Yard 4.5m (15ft.)

Parking:	Residents	55 x 1 Bed Units x 1.3 Spaces/Unit =	72 spaces
		23 x 2 Bed + Units x 1.5 Spaces/Unit =	35 spaces
		Total=	107 spaces
	Visitors	78 units x 0.2 spaces =	16 spaces
	Total	107 Residential + 16 Visitor =	123 spaces
	Bicycles	78 units x 1.2 spaces =	94 spaces
		plus 6 visitor spaces	

Not more than 35% of parking spaces shall be small car spaces, clearly marked as "small car only"
1 Parking spaces for Disabled persons parking, clearly marked as per BC Building Code Requirements.

Proposed:	Residents	117 Spaces
		(74 Regular + 34 Small + 8 Tandem + 1 Disabled)
	Visitors	16 Spaces
		(11 Regular + 4 Small + 1 Disabled)
	Total	133 Spaces
	Bicycles	104 spaces + 6 visitor spaces

Amenity Space:

Required:	Outdoor:	78 units x 3 m ² = 234 m ² / 2,519 sf
	Indoor:	78 units x 3 m ² = 234 m ² / 2,519 sf
Proposed:	Outdoor:	386.5 m ² / 4,160 sf
	Indoor:	296.6 m ² / 3,265 sf

Refuse Space

Provided

1 x 6 yard bin (Garbage)
1 x 4 yard bin (Garbage)
1 x 3 yard bin (Compostables)
2 x 360L carts (Newsprints)
2 x 360L carts (Mixed containers)
9 x 360L carts (Mixed papers)
3 x 360L carts (Compostables)

UNIT MATRIX

BUILDING 1 - AREA SCHEDULE - Unit Mix	
Name	Count
0 BED STUDIO	2
1 BED 1 BATH	17
1 BED 1 BATH + DEN	25
2 BED 1 BATH	3
2 BED 2 BATH	12
2 BED 2 BATH + DEN	7
3 BED 2 BATH	3
Grand total	69

BUILDING 2 - AREA SCHEDULE - Unit Mix	
Name	Count
1 BED 1 BATH	14
1 BED 1 BATH + DEN	41
2 BED 1 BATH	2
2 BED 2 BATH	14
2 BED 2 BATH + DEN	5
3 BED 2 BATH	2
Grand total	78

Total Units = 147

E-COMMUNICATIONS

All levels to comply with City of Surrey Public Safety Radio Building Amplification System Requirements.



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MARCHAND

Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
GENERAL NOTES

Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2014-06-05	Issued for DP
2014-06-07	Re-issue for DP
2015-10-05	Re-issue for DP
2016-03-29	Re-issue for DP
2016-06-24	Re-issue for DP
2016-08-29	Re-issue for DP
2016-10-25	Plan Review Response
2016-12-02	Plan Review Response
2020-03-24	Issued for DP Renewal/Amendment
2020-07-01	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: _____ **DWG. NO.:**
A003



DESIGN RATIONALE

Site Description:

This very large (> 2 acre) site is to be bisected by a new N/S road (195 A) which consequently splits the site into two projects (Building's 1 & 2). It is a relatively steep site and fronts onto 65th Avenue on the South side and 196 Street on the East, located in the East Clayton neighbourhood in Surrey. Approximately 40% of the land area is being dedicated to the City of Surrey, leaving relatively small remaining footprints for each of the two building sites.

Surrounding Context:

The Neighbourhood of East Clayton has witnessed significant densification in the last few years with High Density Multifamily Townhouse and Apartment Projects being built. Such is the case to the north and south of the Site where 4-5 story apartment buildings also exist across 65th Ave. A large ROW/setback has been reserved along 196th for future road widening /pedestrian pathway.

Underground Parkade Access:

On both the western and eastern sites, due to the step grading, parkade access has been located at each site's lowest point:

- The parkade access for the western site (Building 1) is being proposed at the site's lowest point - accessed from the newly created 195A.
- Building 2 does not have the advantage of an undeveloped, benign road at its lowest point from which to access the parkade, as this portion of the site fronts onto 196th, an arterial. Accordingly, this parkade access has been located around the corner, along 65th Avenue, set back from 196th a suitable distance to ensure no conflicts nor stacking conflicts arise. The planning team studied providing the parkade access point for Building 2 at the site's high point along 195A so the parkade team access points could be shared, but due to Building 2's steep site topography (approx. 26 feet) from the western part of the site (195A) to the lowest, eastern part of the site (196th), this proved impossible without raising the parkade above grade, resulting in unsightly conditions.

Building Massing:

As both sites are similar in size and topography, a similar massing approach has been implemented for both sites:

- "U" shaped buildings have been developed with large central south-facing courtyards for both sites.
- Both buildings have been designed to terrace up the hill from the low point along 196th to the high point (west end) of the site, following the natural topography of the land.
- The height of the buildings are read primarily as four stories and a datum line has been established for each.
- A subordinate 5th story sits behind the four-story facade, creating large roof-top decks for the fifth-floor units.
- The "U" shaped massing being proposed breaks down the scale of each building significantly when read from the main street (65th Ave.)
- Similarly, the end elevations (east and west elevations of each building) have been broken down in scale with symmetrical treatments and a void (representing decks) located in the middle of each facade. In other facades, the opposite solid / void ratio has been adopted.
- Finally, the rear (north) building's massing has also been broken down by creating two blocks with a central void (and setback) element that assists in each building reading as two.

Landscaping:

Please refer to the Landscape Design Rationale on Drawing L1 of 5.

Livability/Functionality:

The "U" shaped buildings, by their shape, create tremendous livability opportunities as this building typology creates an inordinate number of corner units relative to more conventional building forms. Corner units are desirable not just because they create natural, cross-thru ventilation opportunities, but they also provide ample natural light to a larger number of units. Accessibility is an important objective to create a diverse community with direct connections from several units to the adjacent sidewalks. This creates more eyes on the street and the surrounding neighbourhood.

Other Livability features within each building include:

- Ample exterior and interior amenity space.
- Windows in each elevator, allowing natural surveillance onto the courtyards as well as allowing natural light into the elevators. The glass elevators also provide a level of interest from both the streetscape as well as in the courtyard when they are in use.
- Both buildings also offer natural light into the main corridors at the elevator lobbies.
- This project proposes a very wide variety of unit typologies and sizes catering to the same variety of socio-economic opportunities for future residents.
- A host of further livability features can also be found below under the heading "Sustainability Features".

Courtyards:

- Each central courtyard's primary use is to define the pedestrian entry for each building while sharing the space with a outdoor amenity patios, lawns and the like.
- At the end of the entry axis are the building's main elevators, making the pedestrian approach simple and distinctive.
- A waterfall feature has been located at the center of the courtyard which further celebrates entry, while creating "white noise" to drown the sound of existing and future traffic along 65th Ave.
- Courtyards are activated by the moving glass elevators located at the end of each axis.

Sustainability Features:

Sustainability features in this project include:

1. **LEED Certification** - The project commits LEED Certification rating or Equivalency for the project.
2. **LED Lighting** - All lighting in the building will be LED and common areas to be covered by motion sensor lighting for energy efficiency.
3. **EV Roughed In Ready Parking Stalls** - A minimum of 20% of the parking stalls roughed in ready for EV chargers.
4. **Green Roof** - Refer to Landscape Plans.
5. **Central Courtyard** based partially passive design.
6. **Substantial Natural Landscaping, Community Outdoor Amenity, and Parkland Dedications.**
7. **Bicycles** - Secured all-weather bicycle parking and storage lockers provided inside the project.

Accessibility:

The buildings comply with the BC Building Access Handbook guidelines so that they are designed for all to have access and move around within the building and the building facilities. All access points are level with connecting pathways for seamless movement throughout the buildings.

Architecture:

A simple, modern architectural vernacular has been applied to the buildings, which creates a suitable backdrop to the contrasting and extensive surrounding existing and proposed vegetation surrounding the buildings. A very simple colour palette of a white, textured cementitious panel system contrasts with a charcoal grey PVC horizontal siding system as the main building elements. This applique will be enhanced with a charcoal grey vinyl window system. These main contrasting textured and colour elements assist in breaking down the building's massing and provides an orderly rhythm to the facades. A third, contrasting wood-like material provides framing at key elements around the building providing a variety of celebrations such as highlighting corner elements, defining main pedestrian and parkade entry, as well as enhancing the stepped building facades terracing to match the site's natural topography.

Summary:

In summary, this project will provide its future residents with all the tools necessary to create a new and complete community, while offering a complete list of all relevant and current sustainability features. It is a project that will set an extremely good, high quality precedent for this area in transition.

Project:

1744
Owner
Inspira Development (Insignia)
Ltd.
1945 & 1957/5 65 AVE, SURREY, BC
Drawing:
DESIGN RATIONALE

Project Status:
DP RENEWAL

SUBMISSION

Date	Description
2014-06-07	Re-issue for DP
2015-10-05	Re-issue for DP
2016-03-09	Re-issue for DP
2016-04-26	Re-issue for DP
2016-06-09	Re-issue for DP
2016-10-25	Plan Review Response
2016-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION

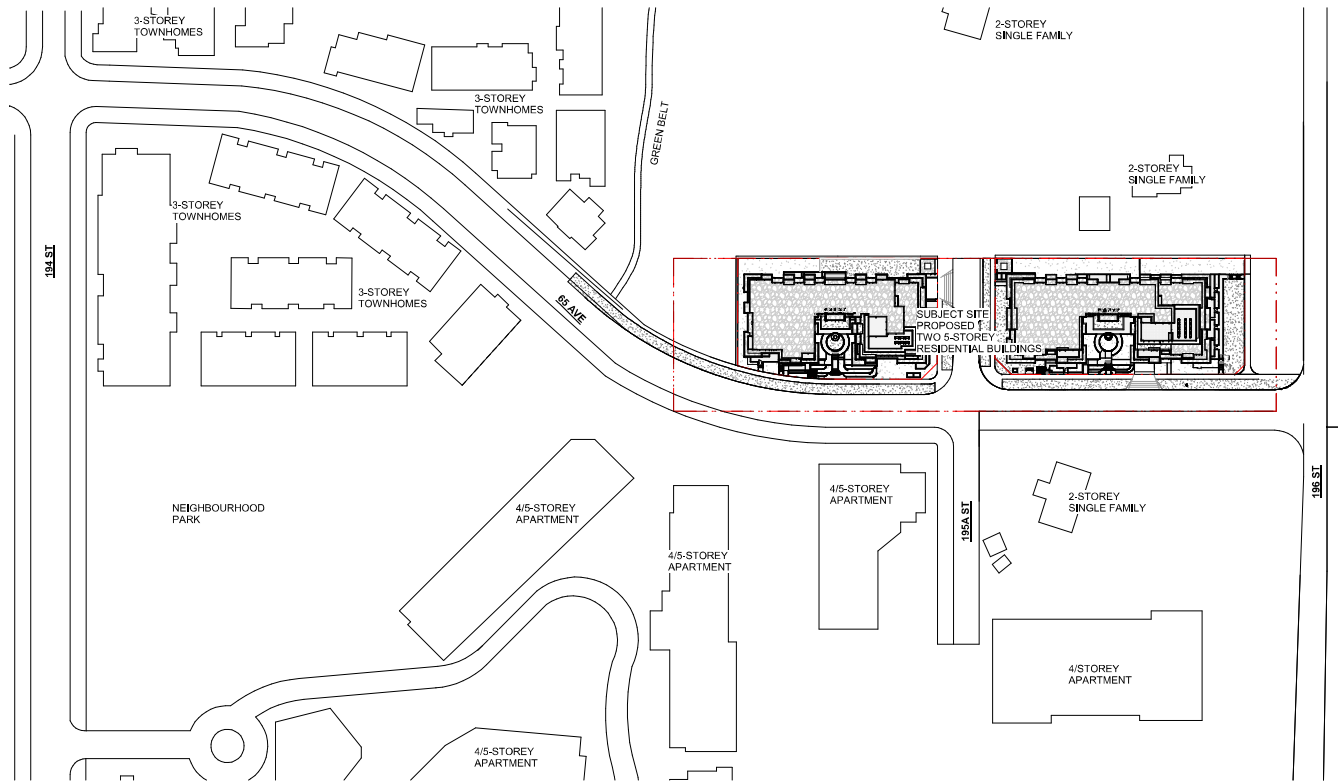
No.	Date	Description

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Scale:

DWG. NO:

A004



Context Plan
1" = 60'-0"



CONTEXT KEY PLAN

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Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
CONTEXT

Project Status:
DP RENEWAL

SUBMISSION	
Date (mm/dd/yyyy)	Description
2014-04-09	Issued for DP
2014-06-07	Re-issue for DP
2015-10-09	Re-issue for DP
2015-04-09	Re-issue for DP
2015-06-24	Re-issue for DP
2015-08-20	Re-issue for DP
2015-10-25	Plan Review Response
2015-12-02	Plan Review Response
2020-03-24	Issued for DP Renewal/Amendment
2022-07-19	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale:
As indicated

DWG. NO:
A030

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Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
STREET ELEVATIONS

Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2015-06-07	Release for DP
2015-11-25	Re-4-Issue for DP
2016-03-29	Re-4-Issue for DP
2016-04-28	Re-4-Issue for DP
2016-06-29	Re-4-Issue for DP
2016-11-25	Plan Review Response
2016-11-22	Plan Review Response
2016-01-24	Issued for DP Renewal/Amendment
2016-01-19	Re-Issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: **3/64" = 1'-0"**
DWG. NO.: **A034**

CONTEXT PHOTOS



65 AVE EXISTING STREETSCAPE - FACING NORTH



65 AVE EXISTING STREETSCAPE - FACING SOUTH

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Plot Date: 2022-07-19 3:19:00 PM



195A STREET ELEVATION
3/64" = 1'-0"

CONTEXT PHOTOS



195A ST EXISTING STREETScape - FACING WEST

ARCHITECTS

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Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
STREET ELEVATIONS

Project Status:
DP RENEWAL

SUBMISSION	
Date (YYYY-MM-DD)	Description
2015-01-07	Release for DP
2015-11-25	Revised Issue for DP
2016-01-28	Revised Issue for DP
2015-01-26	Revised Issue for DP
2015-01-29	Revised Issue for DP
2015-11-25	Plan Review Response
2015-11-26	Plan Review Response
2022-03-24	Issued for DP Minor Amendment
2022-01-19	Revised for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: 3/64" = 1'-0"
DWG. NO: **A035**

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② 195A ST ELEVATION FACING EAST
3/64" = 1'-0"

CONTEXT PHOTOS



195A ST EXISTING STREETScape - FACING EAST

Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
STREET ELEVATIONS

Project Status:
DP RENEWAL

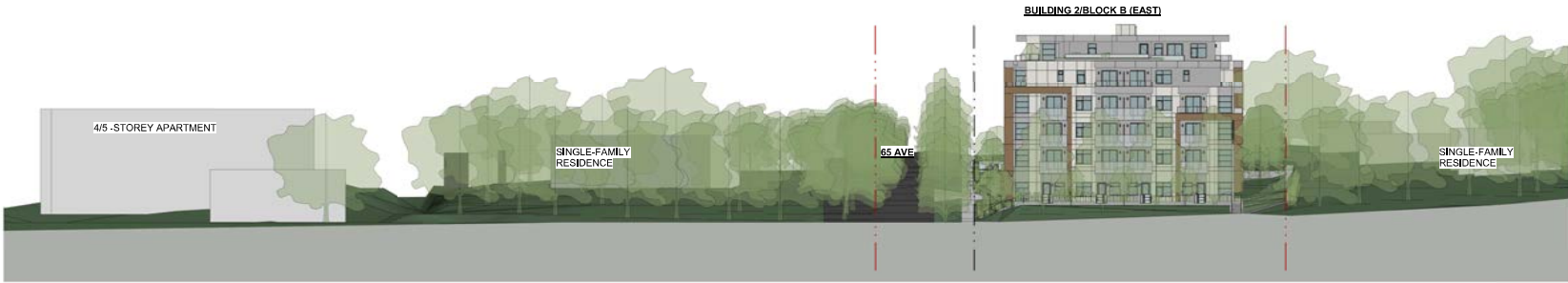
SUBMISSION	
Date	Description
2014-06-07	Release for DP
2015-11-25	Re-4-Issue for DP
2016-03-29	Re-4-Issue for DP
2016-04-28	Re-4-Issue for DP
2016-05-25	Re-4-Issue for DP
2016-11-25	Plan Review Response
2016-11-22	Plan Review Response
2017-01-24	Issued for DP Renewal/Amendment
2017-01-18	Re-4-Issue for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale:
3/64" = 1'-0"

DWG. NO:
A036



196 STREET ELEVATION
3/64" = 1'-0"

CONTEXT PHOTOS



196 ST EXISTING STREETSCAPE

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Project:

1744

Owner:

Inspira Development (Insignia)
Ltd.

19545 & 19575 65 AVE, SURREY, BC

Drawing:

STREET ELEVATIONS

Project Status:
DP RENEWAL

SUBMISSION

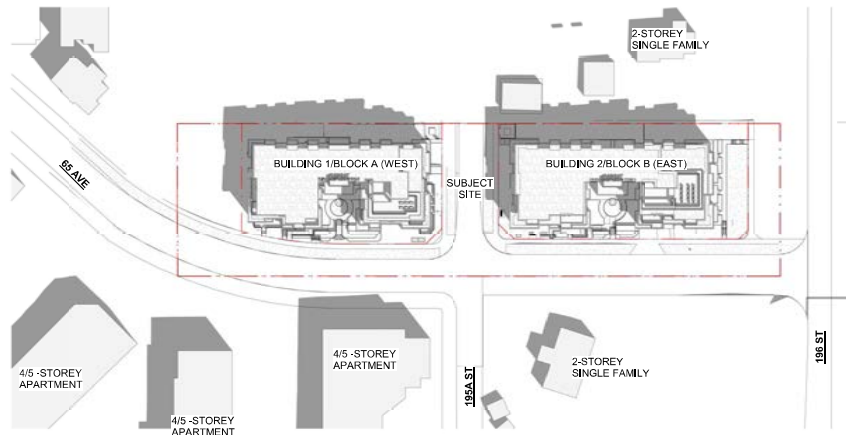
Date	Description
2015-06-07	Re-issue for DP
2015-11-25	Re-issue for DP
2016-03-29	Re-issue for DP
2016-04-28	Re-issue for DP
2016-06-29	Re-issue for DP
2016-11-25	Plan Review Response
2016-11-22	Plan Review Response
2017-01-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION

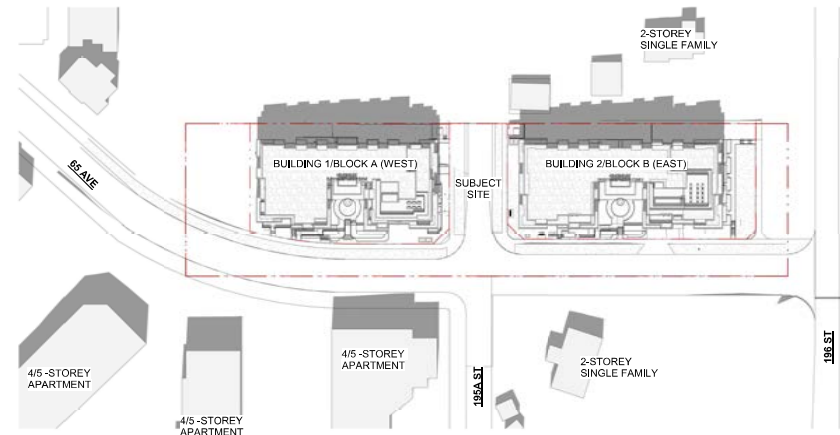
No.	Date	Description

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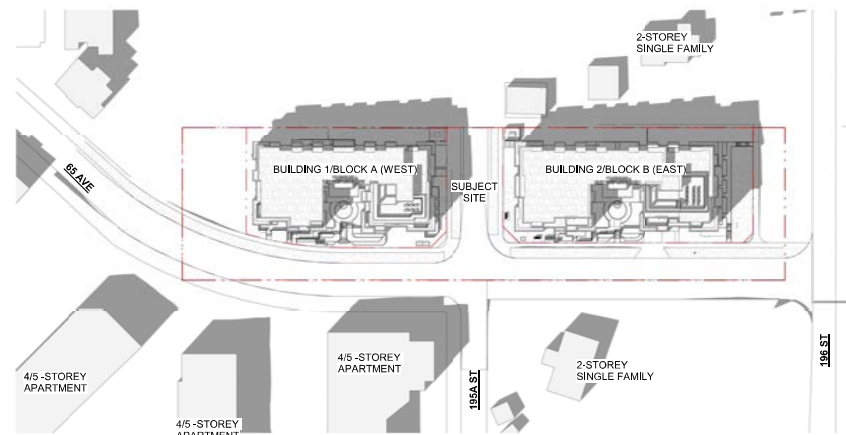
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① SHADOW 10AM MARCH 21ST
1" = 60'-0"



② SHADOW 12PM MARCH 21ST Copy
1" = 60'-0"



③ SHADOW 2PM MARCH 21ST
1" = 60'-0"

ARCHITECTS

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Project:
1744
Owner:
**Inspira Development (Insignia)
Ltd.**
19545 & 19575 65 AVE, SURREY, BC
Drawing:
SHADOW ANALYSIS MARCH

Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2014-07-07	Re-issue for DP
2015-11-25	Re-issue for DP
2015-03-25	Re-issue for DP
2015-04-24	Re-issue for DP
2015-05-25	Re-issue for DP
2015-11-25	Plan Review Response
2015-11-25	Plan Review Response
2022-07-24	Issued for DP Renewal/Amendment
2022-07-19	Re-issued for DP Renewal/Amendment (Urban Design Comments)

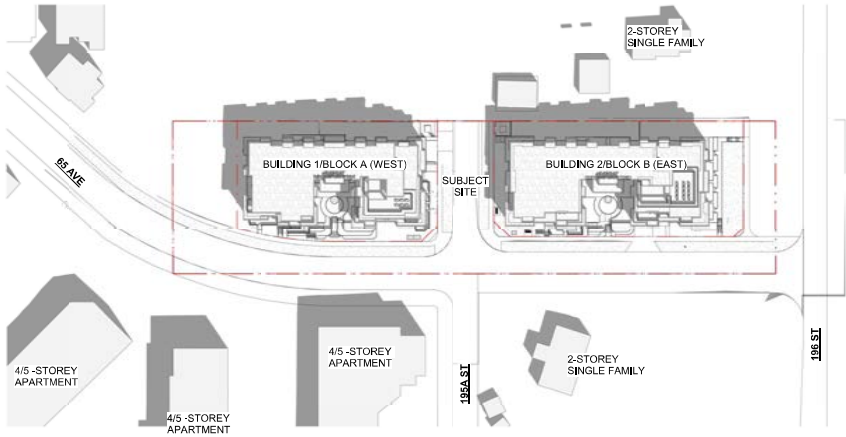
REVISION		
No.	Date	Description

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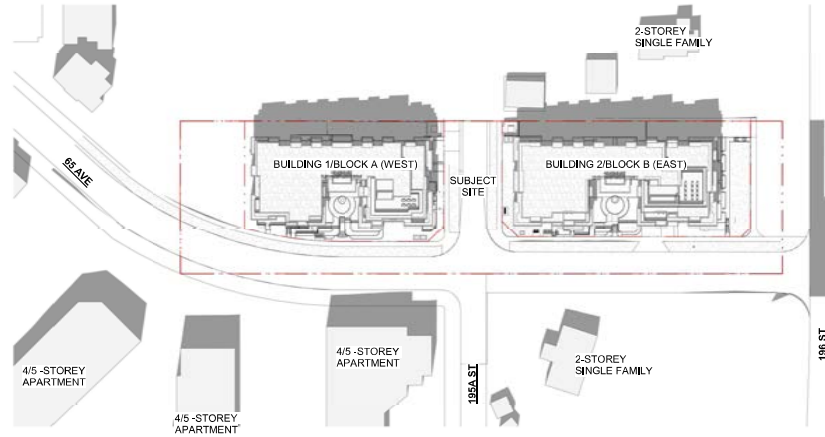
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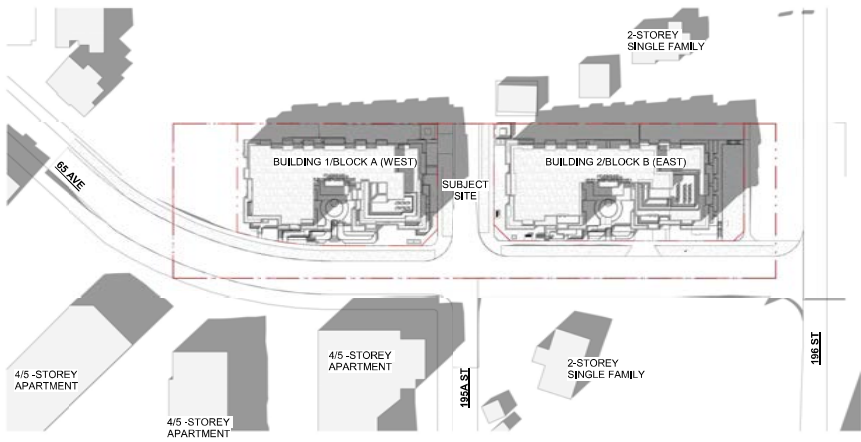




⑤ SHADOW 10AM SEPTEMBER 21ST
1" = 60'-0"



⑥ SHADOW 12PM SEPTEMBER 21ST
1" = 60'-0"



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Plot Date: 2022-07-19 3:20:38 PM

ARCHITECTS

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Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing:
**SHADOW ANALYSIS
SEPTEMBER**
Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2015-04-07	Re-issue for DP
2015-11-05	Re-check Issue for DP
2015-03-29	Re-check Issue for DP
2015-04-24	Re-check Issue for DP
2015-04-29	Re-check Issue for DP
2015-11-25	Plan Review Response
2015-11-02	Plan Review Response
2022-07-24	Issued for DP Renewal/Amendment
2022-07-18	Re-keyed for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.
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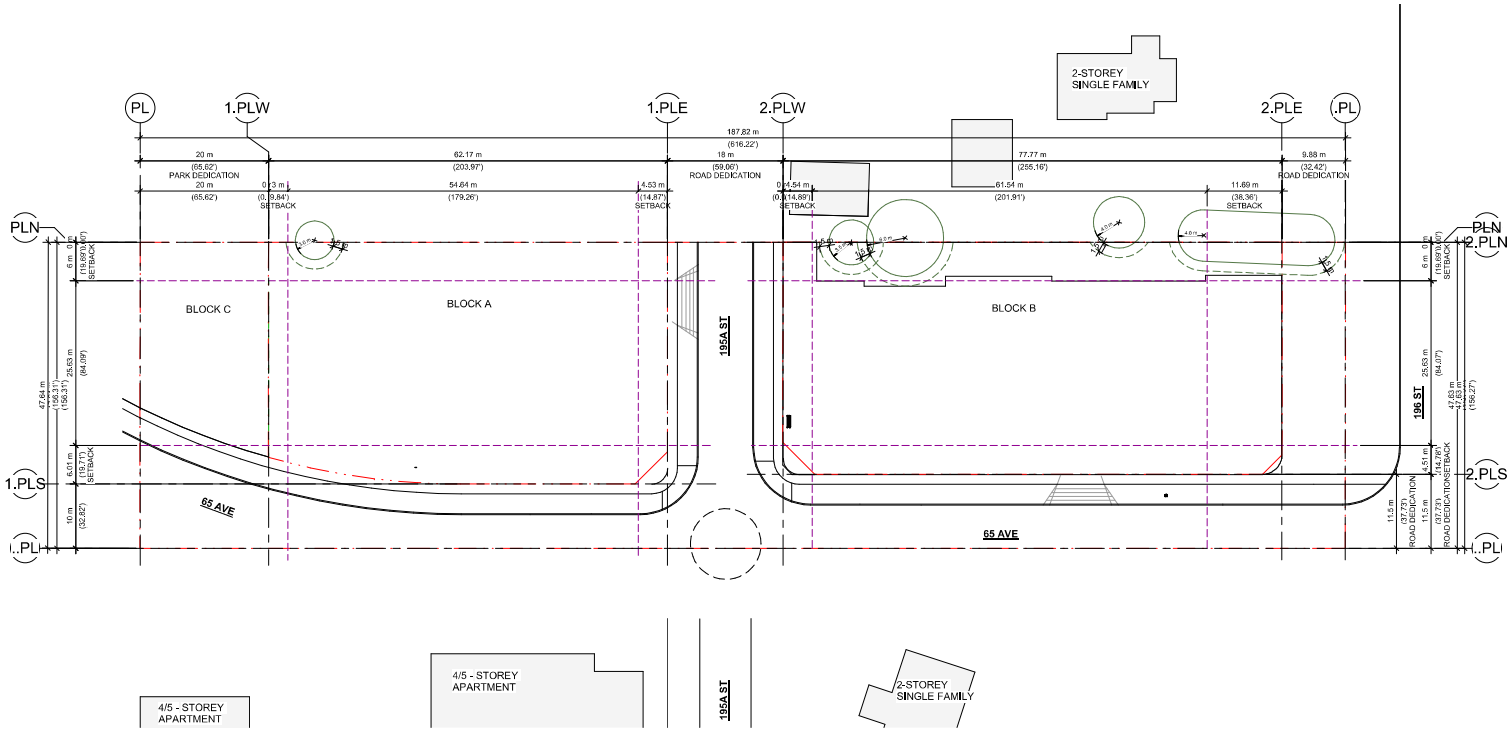
Scale:
1" = 60'-0"
DWG. NO.:
A041

ARCHITECTS

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Project: 1744
 Owner: Inspira Development (Insignia) Ltd.
 19545 & 19575 65 AVE, SURREY, BC
 Drawing: **BASE PLAN**

Project Status: **DP RENEWAL**

Date	Description
2014-06-05	Re-issue for DP
2014-03-28	Re-issue for DP
2014-02-24	Re-issue for DP
2014-06-28	Re-issue for DP
2015-10-25	Plan Review Response
2015-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal Amendment
2022-07-18	Re-issued for DP Renewal Amendment (Urban Design Comments)

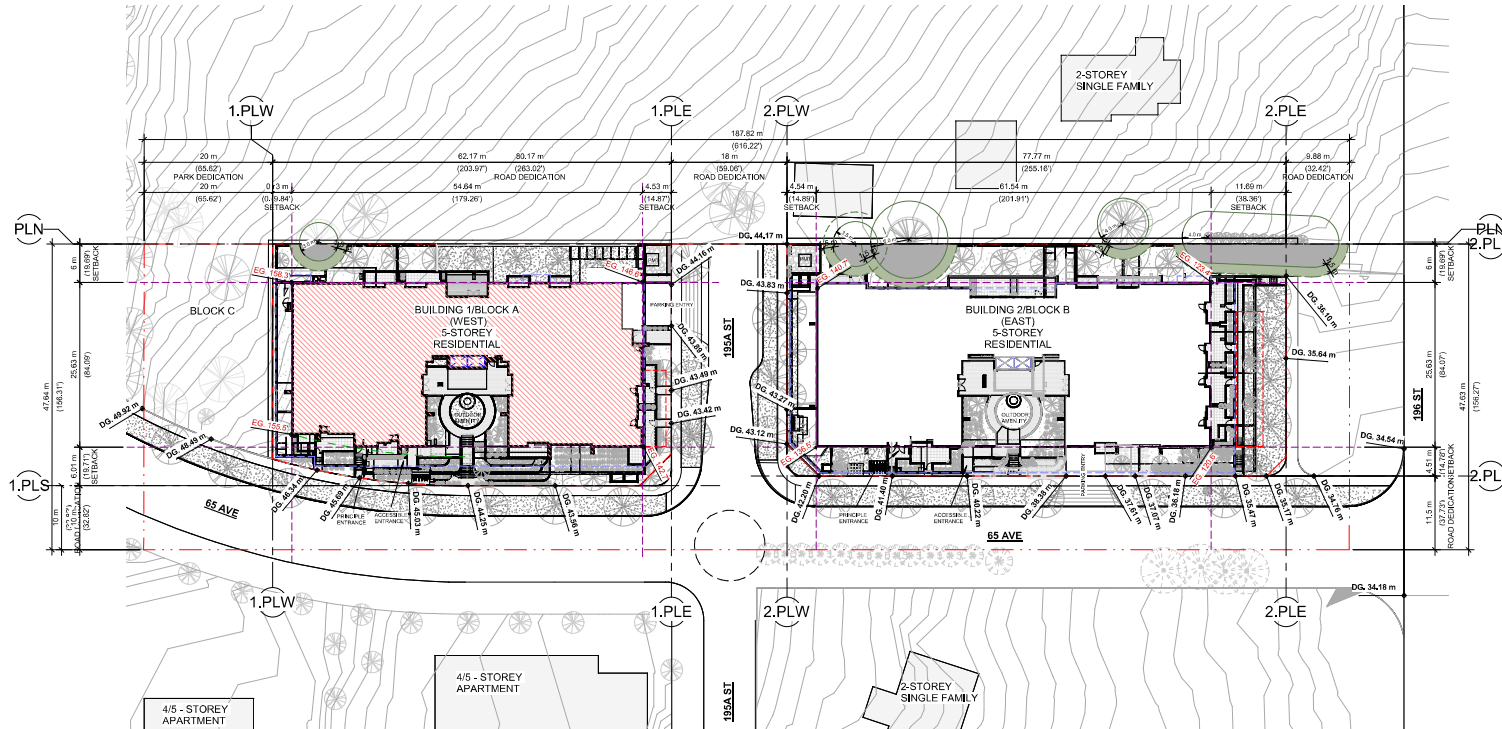
REVISION		
No.	Date	Description

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Scale: 1" = 30'-0"
 DWG. NO: **A100a**



Plans checked by: *Matthew An* Urban Designer
Planning & Development **CITY OF SURREY**
Date: 2022-07-20
M Acceptable
[] Not Acceptable



Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 & 19575 65 AVE, SURREY, BC
Drawing: **OVERALL SITE PLAN**

Project Status:
DP RENEWAL

Date	Description
2015-04-09	Issued for DP
2015-06-07	Re-issue for DP
2015-10-05	Re-issue for DP
2015-03-26	Re-issue for DP
2015-06-24	Re-issue for DP
2015-08-20	Re-issue for DP
2015-10-25	Plan Review Response
2015-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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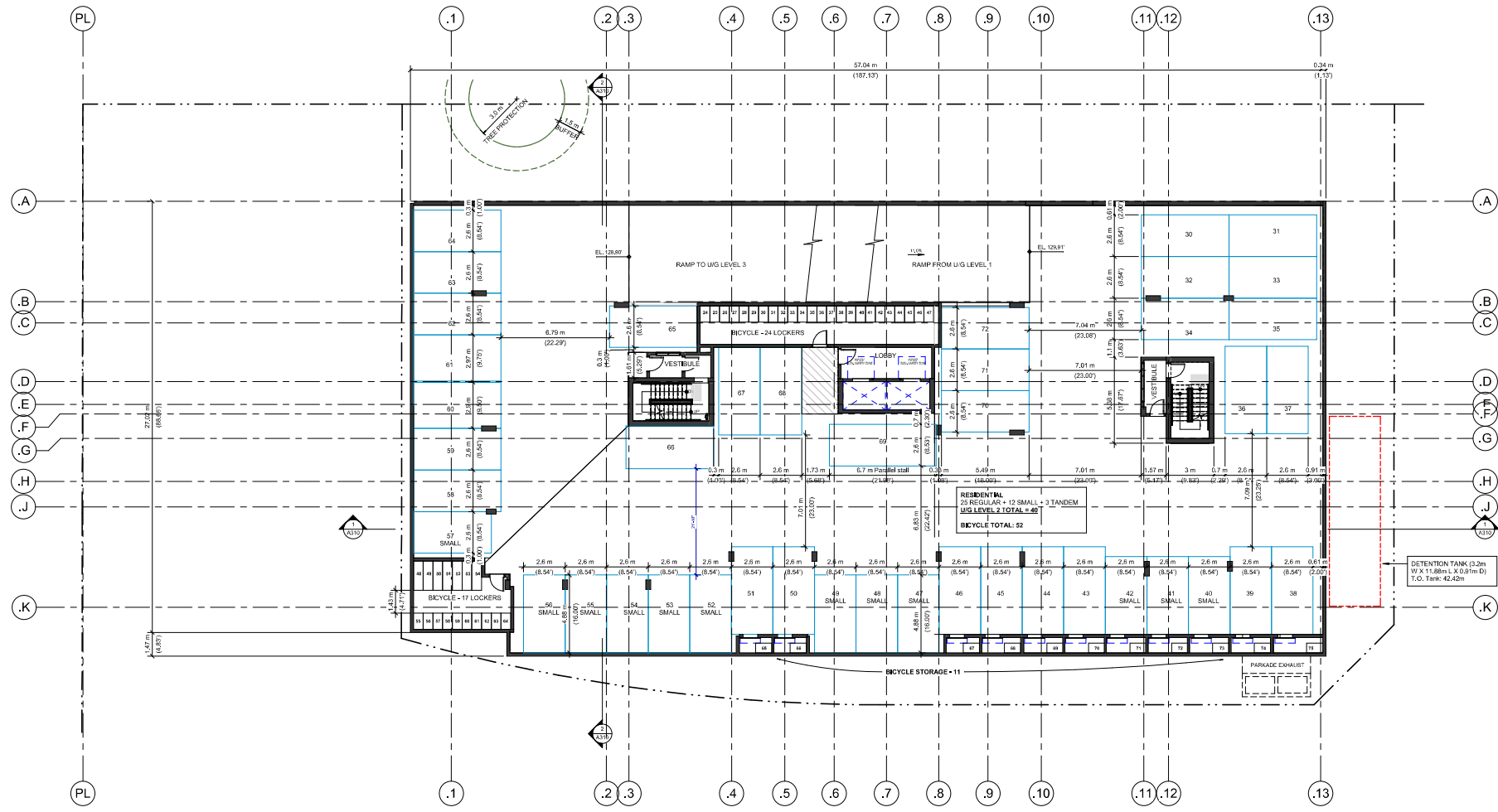
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Plot Date: 2022-07-19 3:12:32 PM



Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/ BLOCK A (WEST) UNDERGROUND LEVEL 2 PLAN
Project Status: DP RENEWAL

Date	Description
2018-04-03	Issue for DP
2018-06-27	Re-issue for DP
2018-10-23	Re-issue for DP
2019-03-26	Re-issue for DP
2019-05-29	Re-issue for DP
2019-06-28	Re-issue for DP
2019-11-25	Plan Review Response
2019-11-25	Plan Review Response
2022-03-24	Issued for DP Renewal/Re-submission
2022-07-19	Revised for DP Renewal/Re-submission (Urban Design Comments)

REVISION		
No.	Date	Description

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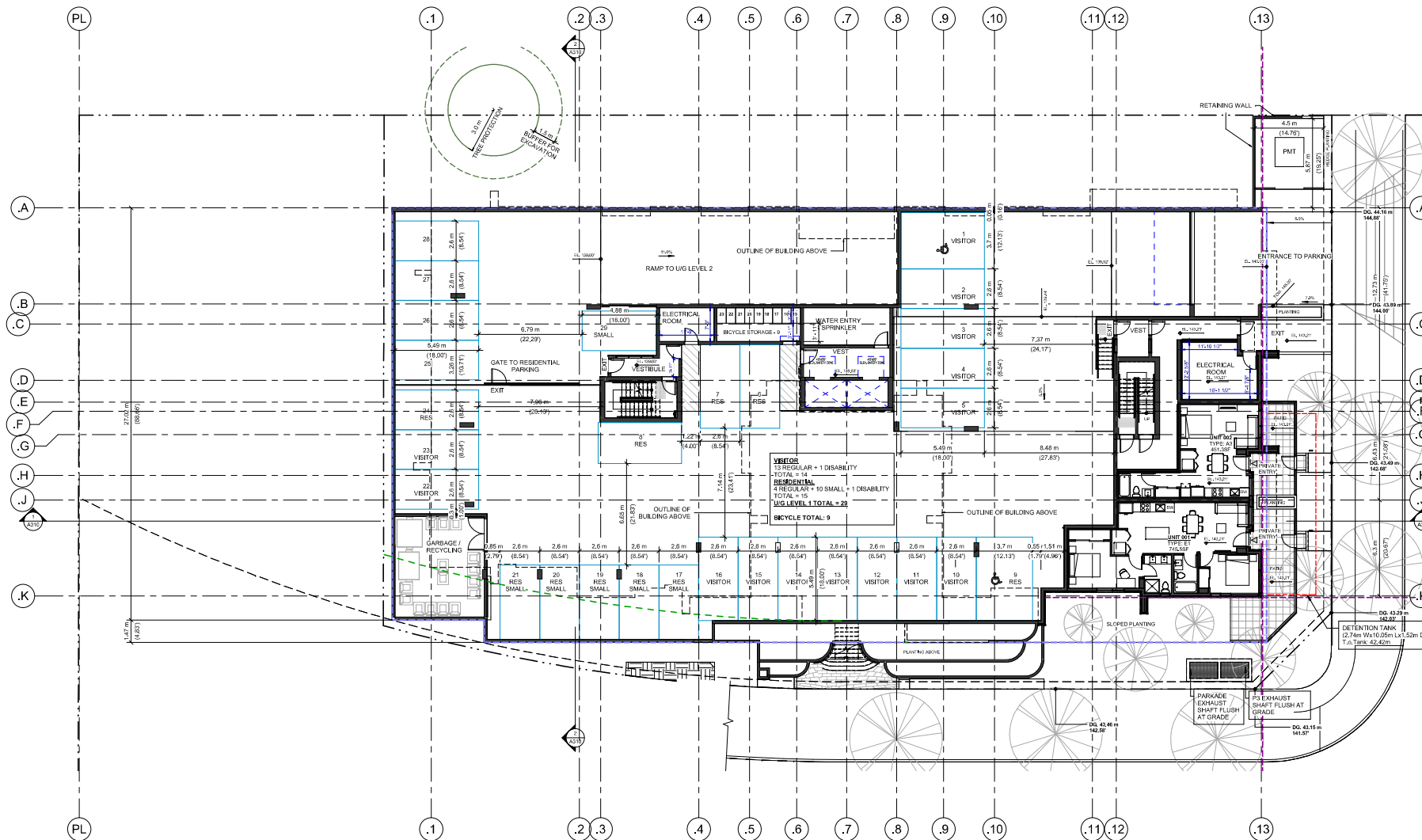
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Plot Date: 2022-07-19 3:12:34 PM



Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/BLOCK A (WEST) UNDERGROUND LEVEL 1 PLAN
Project Status: DP RENEWAL

Date	Description
2018-04-07	Issue for DP
2018-06-07	Re-issue for DP
2018-10-25	Re-issue for DP
2019-02-08	Re-issue for DP
2019-06-28	Re-issue for DP
2019-11-25	Plan Review Response
2019-11-25	Plan Review Response
2022-01-24	Based for DP Renewal Amendment
2022-01-18	Revised for DP Renewal Amendment (Urban Design Comments)

No.	Date	Description

All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.
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Scale: 1" = 10'-0"
DWG. NO: A112

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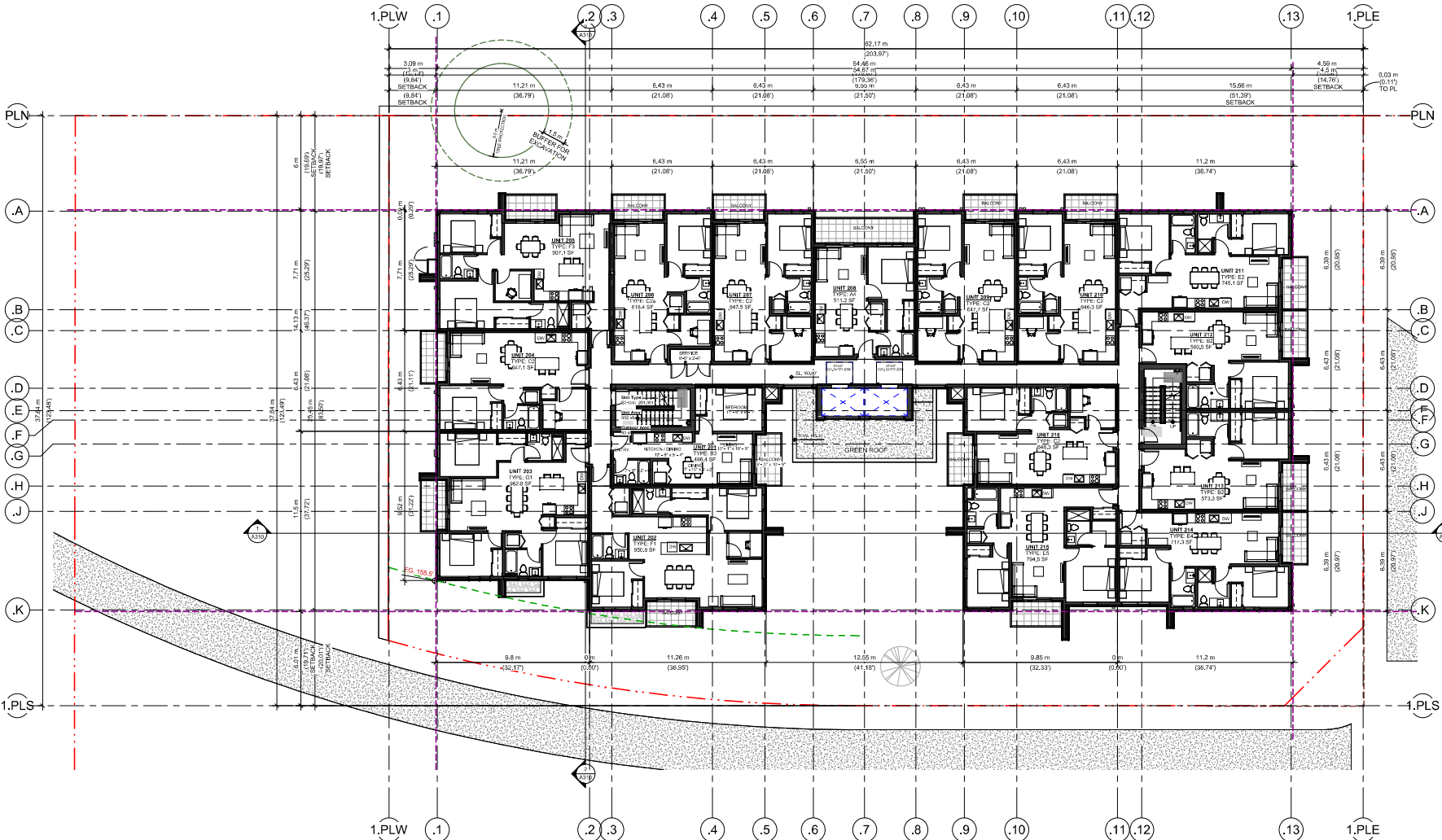
Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/ BLOCK A (WEST) LEVEL 2 PLAN
Project Status: DP RENEWAL

SUBMISSION	
Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2019-03-04	Re-issue for DP
2019-05-01	Re-issue for DP
2019-06-08	Re-issue for DP
2019-11-25	Plan Review Response
2019-12-02	Plan Review Response
2022-01-24	Issued for DP Renewal/Reassessment
2022-01-18	Revised for DP Renewal/Reassessment (Urban Design Comments)

REVISION		
No.	Date	Description

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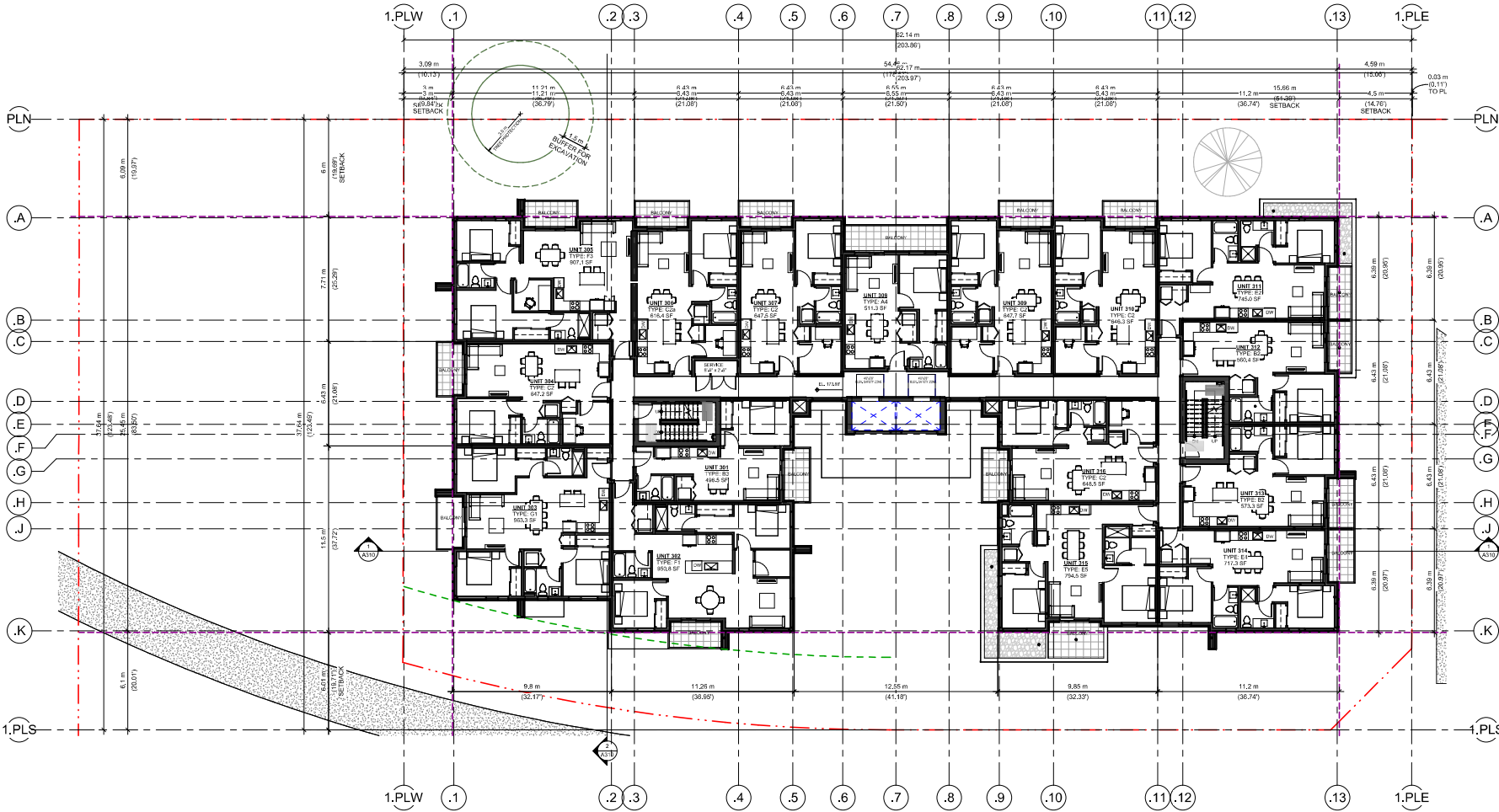
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Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/BLOCK A (WEST) LEVEL 3 PLAN

Project Status: DP RENEWAL

Date	Description
2018-04-05	Issue for DP
2018-06-27	Re-issue for DP
2018-10-25	Re-issue for DP
2019-03-28	Re-issue for DP
2019-05-24	Re-issue for DP
2019-06-28	Re-issue for DP
2019-11-25	Plan Review Response
2019-12-25	Plan Review Response
2022-03-24	Issued for DP Renewal/Re-submission
2022-07-18	Revised for DP Renewal/Re-submission (Urban Design Comments)

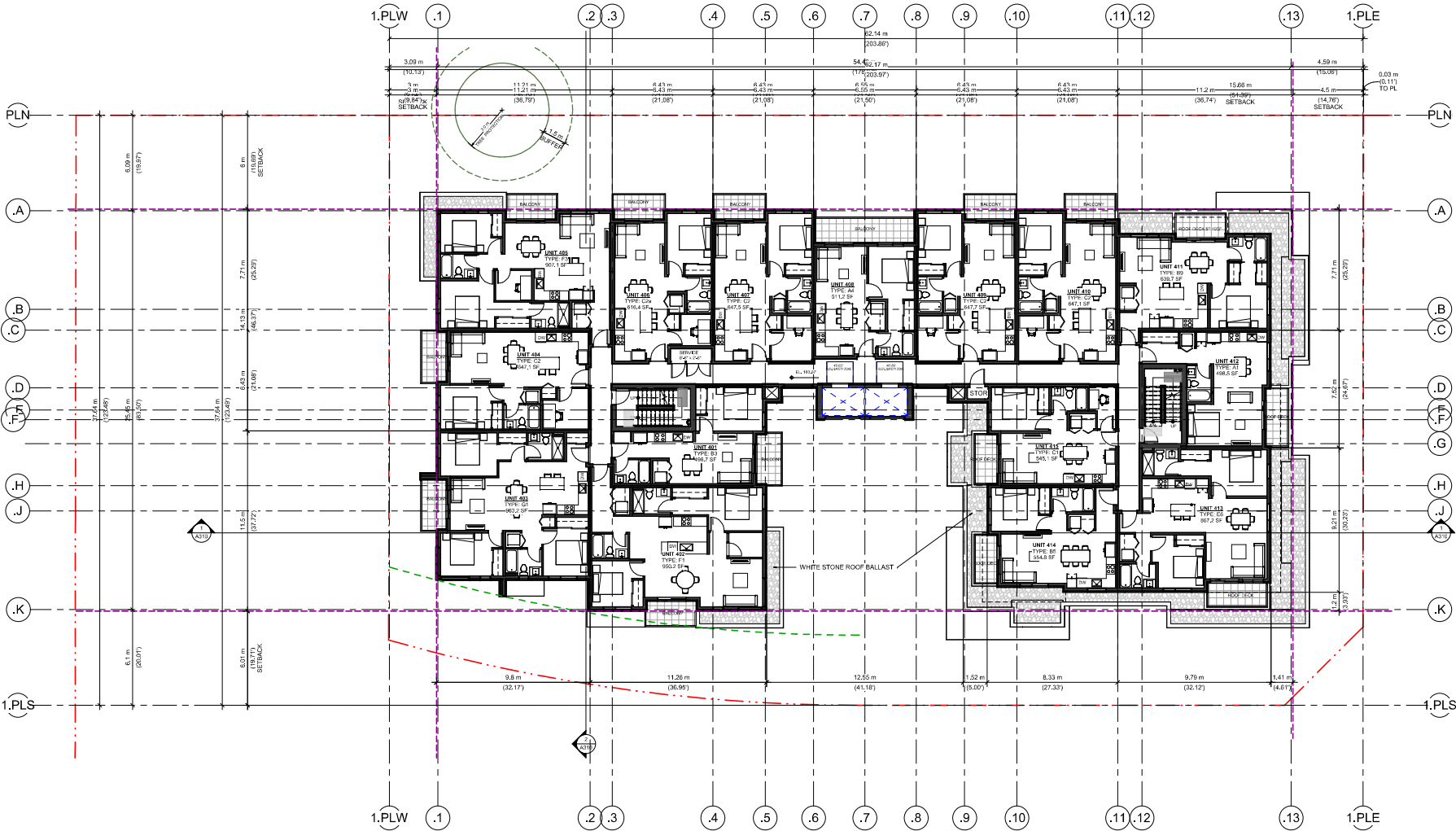
REVISION		
No.	Date	Description

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Scale: 1" = 10'-0"
DWG. NO: A125

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Plot Date: 2022-07-19 3:21:35 PM



Project: 1744
 Owner: Inspira Development (Insignia) Ltd.
 19545 65 AVE, SURREY, BC
 Drawing: BUILDING 1/ BLOCK A (WEST) LEVEL 4 PLAN

Project Status: DP RENEWAL

SUBMISSION	
Date	Description
2018-04-03	Issue for DP
2018-06-27	Re-issue for DP
2018-10-23	Re-issue for DP
2018-10-24	Re-issue for DP
2018-10-24	Re-issue for DP
2018-06-28	Re-issue for DP
2018-11-25	Plan Review Response
2018-11-25	Plan Review Response
2022-01-24	Based for DP Renewal/Reassessment
2022-01-18	Reviewed for DP Renewal/Reassessment (Urban Design Comments)

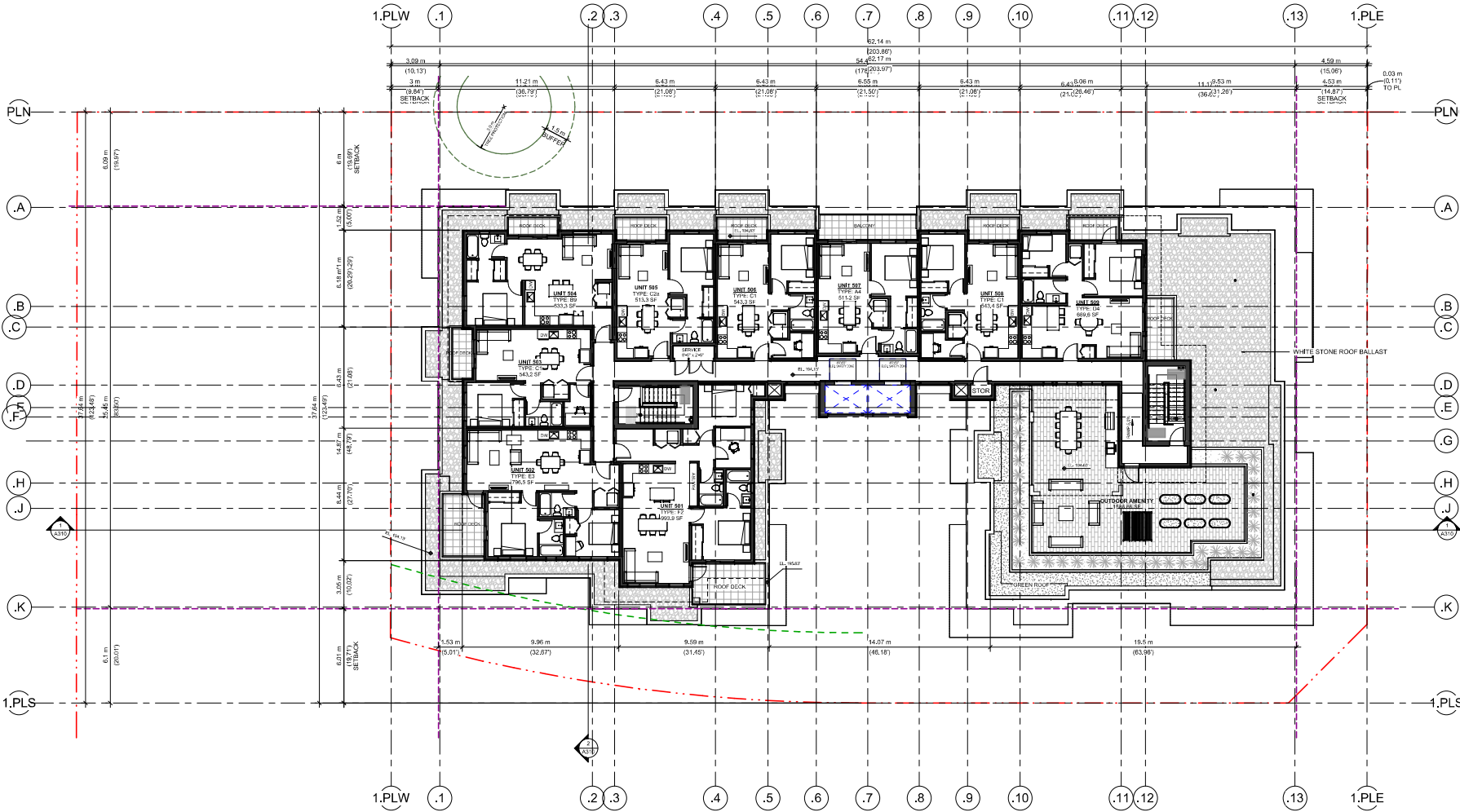
REVISION		
No.	Date	Description

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Scale: 1" = 10'-0"
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Plot Date: 2022-07-19 9:21:38 PM



Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing:
BUILDING 1/BLOCK A (WEST)
LEVEL 5 PLAN

Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2018-04-05	Issue for DP
2018-06-27	Re-issue for DP
2018-10-23	Re-issue for DP
2018-10-24	Re-issue for DP
2018-09-24	Re-issue for DP
2018-06-28	Re-issue for DP
2018-11-25	Plan Review Response
2018-12-21	Plan Review Response
2020-01-20	Based for DP Minor Amendment
2022-01-04	Issue for DP Renewal Amendment
2022-01-18	Re-issue for DP Renewal Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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1" = 10'-0"

DWG. NO:
A135

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Project:
1744
Owner:
Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing:
BUILDING 1/ BLOCK A
(WEST) ROOF PLAN

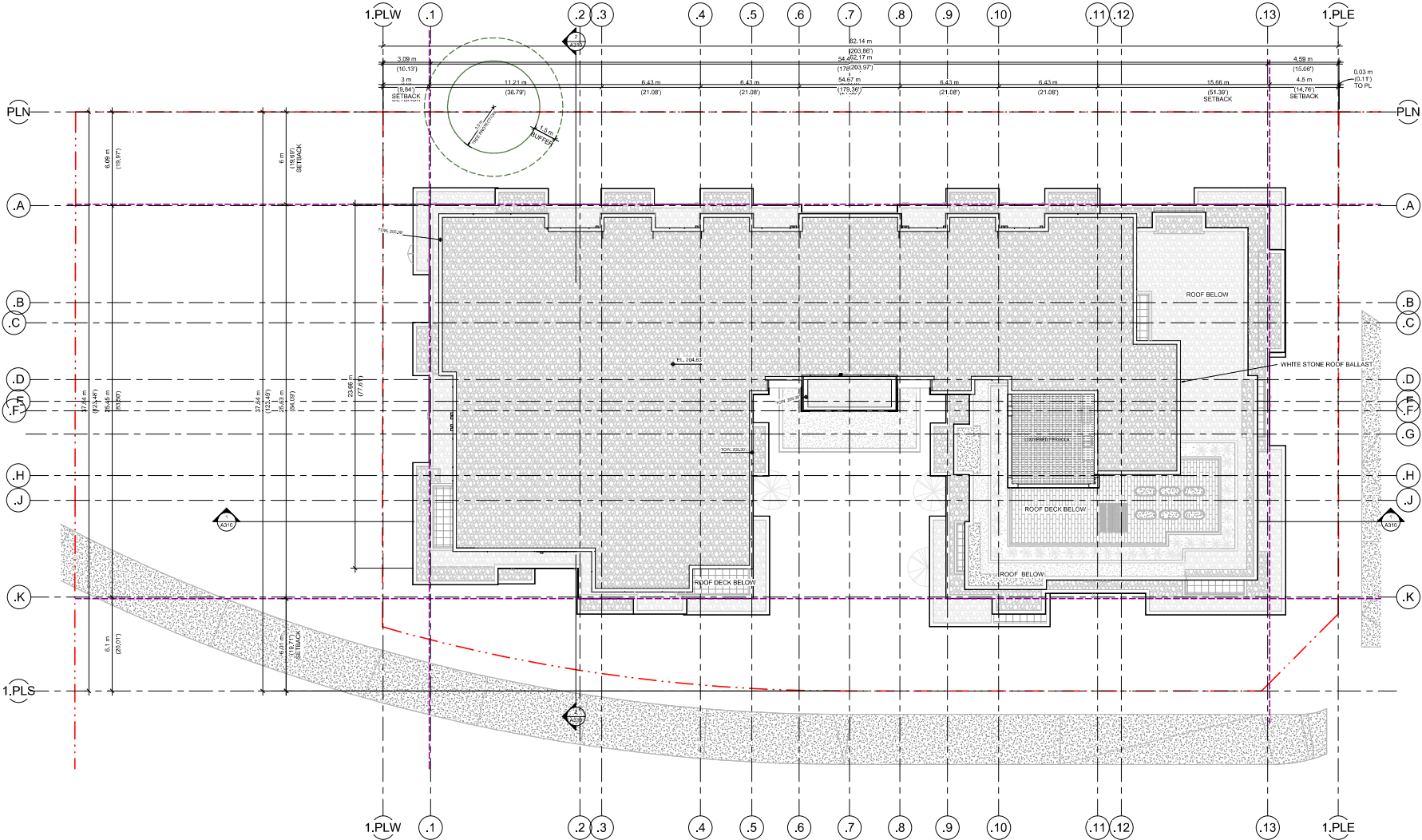
Project Status:
DP RENEWAL

Date	Description
2018-04-03	Issue for DP
2018-06-27	Re-issue for DP
2018-10-23	Re-issue for DP
2018-10-24	Re-issue for DP
2018-09-28	Re-issue for DP
2018-06-28	Re-issue for DP
2018-11-25	Plan Review Response
2018-11-25	Plan Review Response
2022-01-24	Based for DP Renewal/Amendment
2022-01-18	Revised for DP Renewal/Amendment (Upon Design Comments)

REVISION		
No.	Date	Description

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Scale:
1" = 10'-0"
DWG. NO.:
A140



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Plot Date: 2022-07-19 3:21:43 PM

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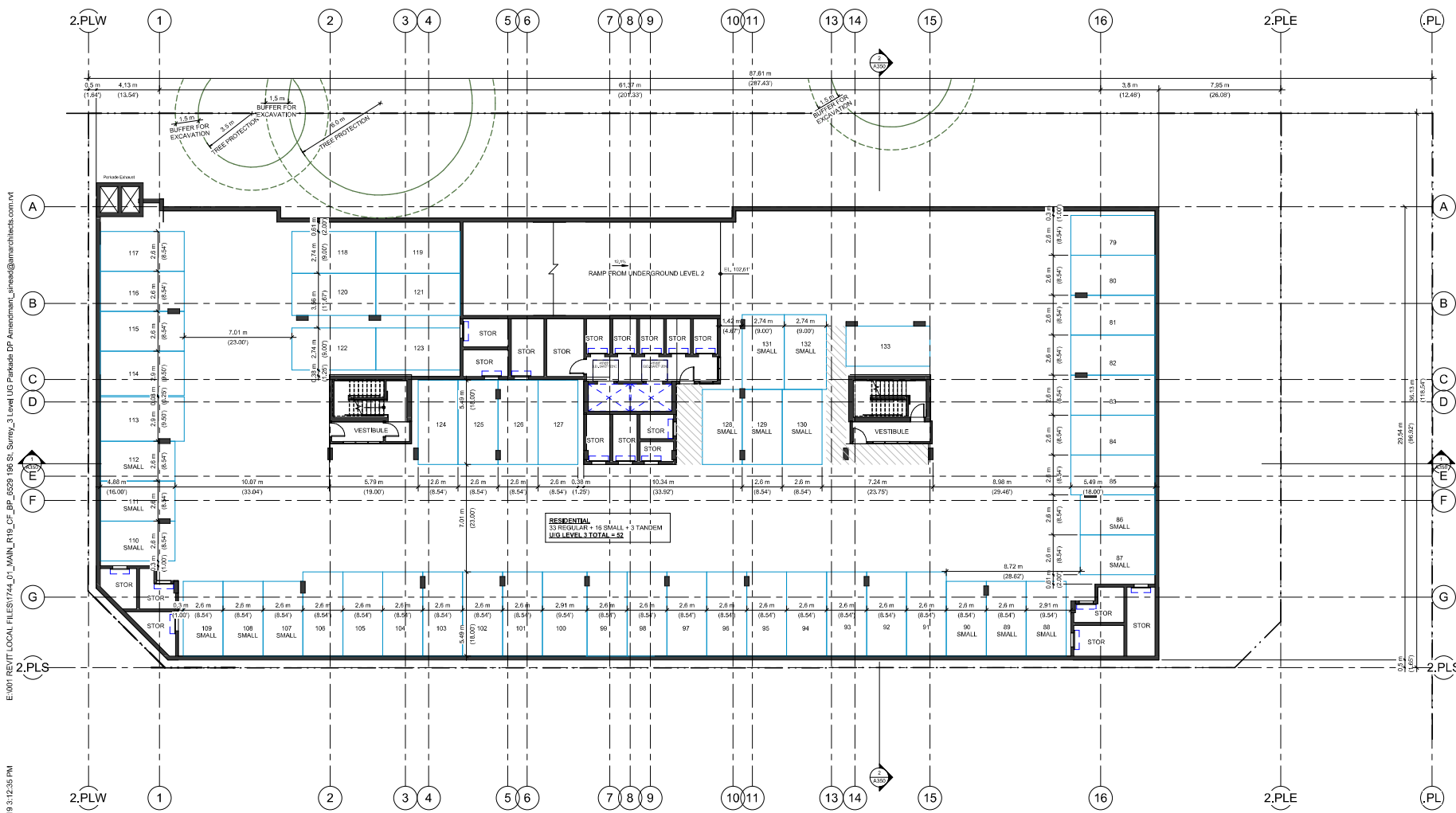
Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) UNDERGROUND LEVEL 3 PLAN
Project Status: DP RENEWAL

Date (m/d/yyyy)	Description
2018-06-27	Re-issue for DP
2018-10-25	Re-issue for DP
2019-03-28	Re-issue for DP
2019-05-24	Re-issue for DP
2019-06-28	Re-issue for DP
2019-11-25	Plan Review Response
2022-01-25	Issued for DP Renewal/Amendment
2022-01-26	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: 1" = 10'-0"
DWG. NO: A150



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Plot Date: 2022-07-19 3:12:35 PM

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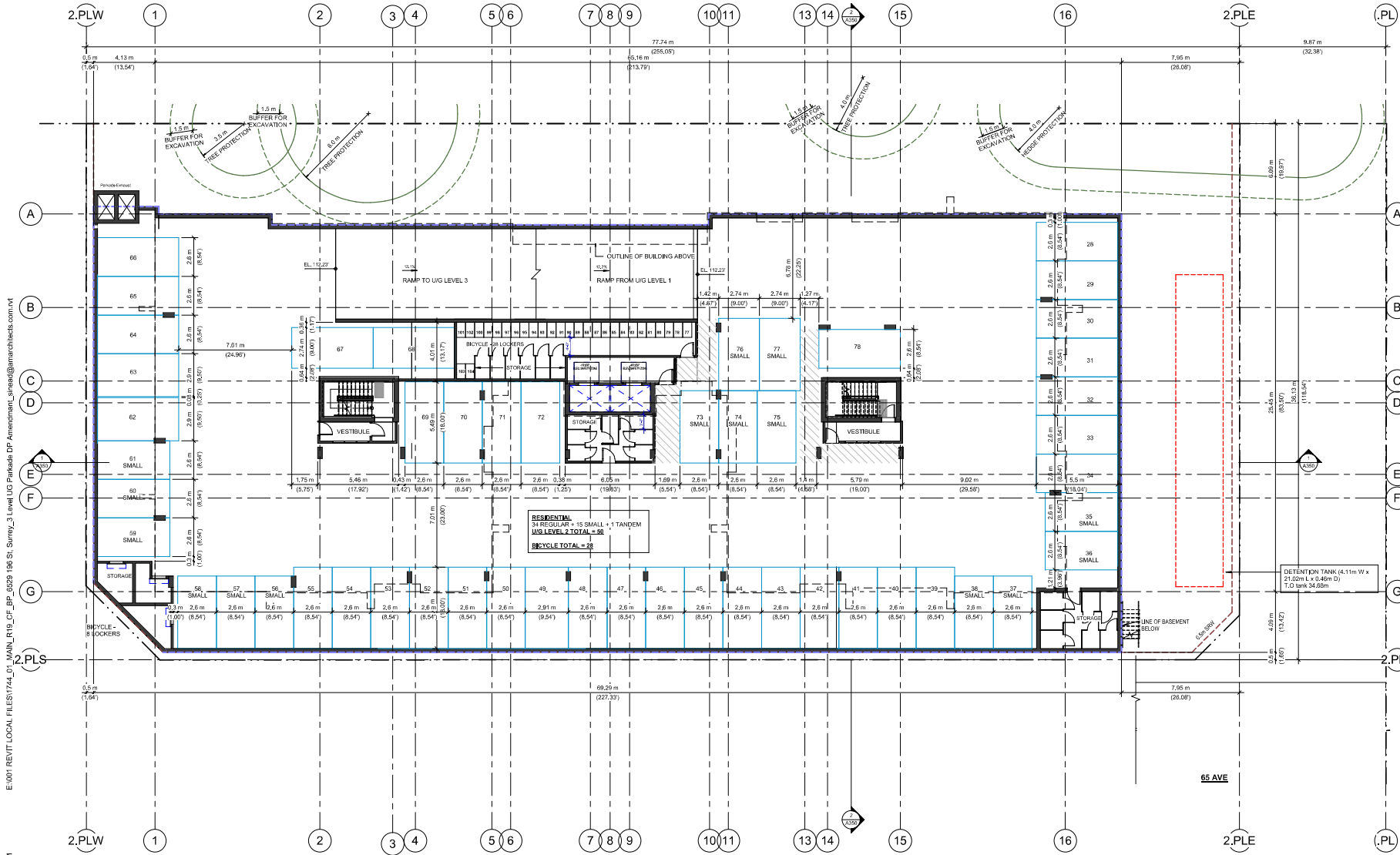
Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) UNDERGROUND LEVEL 2 PLAN
Project Status: DP RENEWAL

Date	Description
2018-04-05	Issued for DP
2018-06-07	Re-issue for DP
2018-10-23	Re-issue for DP
2019-03-04	Re-issue for DP
2019-05-08	Re-issue for DP
2019-08-28	Re-issue for DP
2019-11-25	Plan-Review Response
2022-01-26	Issued for DP Renewal/Amendment
2022-01-26	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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DWG. NO: A151



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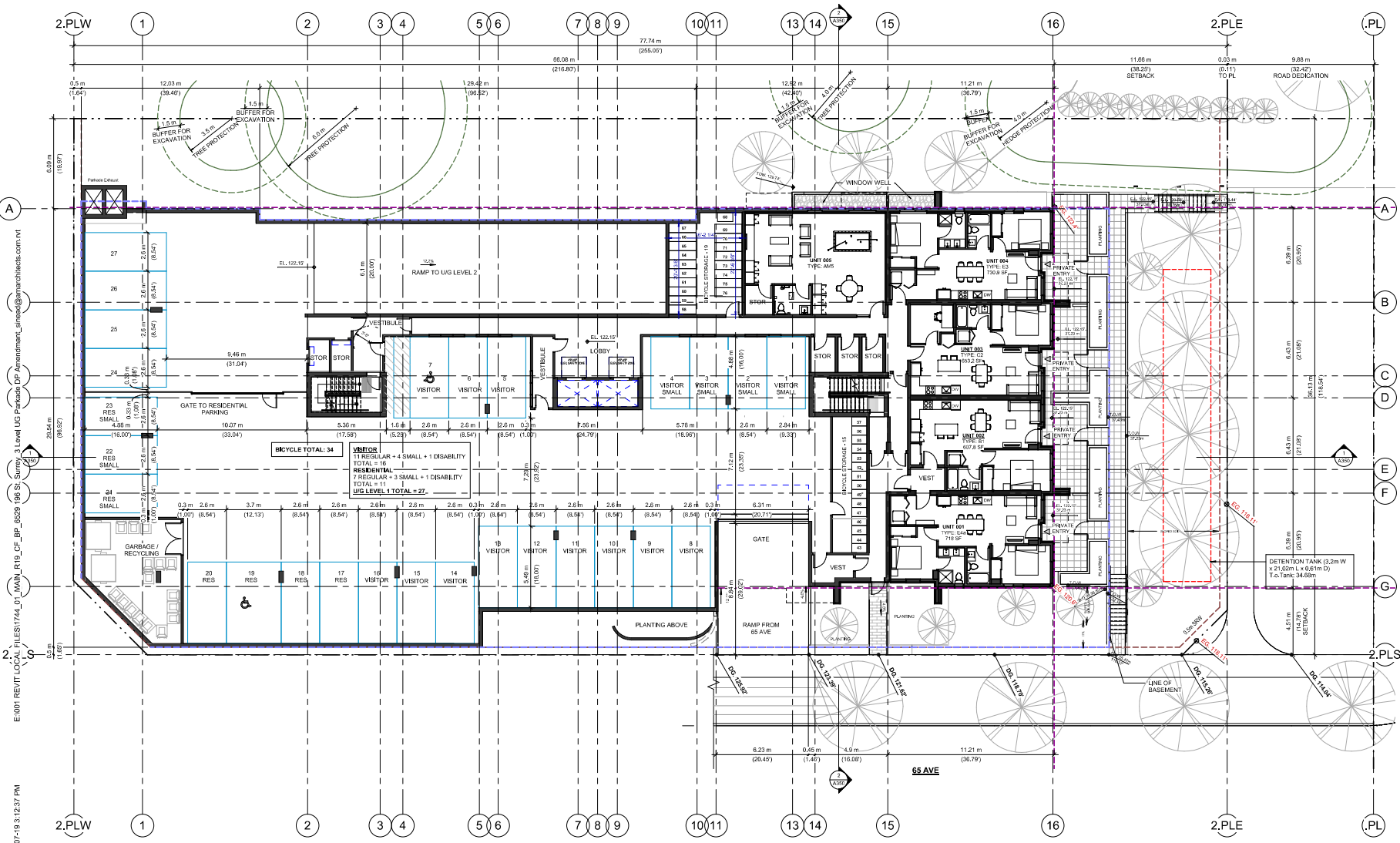
Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST)
UNDERGROUND LEVEL 1
FLOOR PLAN
Project Status: DP RENEWAL

SUBMISSION	
Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2019-03-04	Re-Submission for DP
2019-05-01	Re-Submission for DP
2019-06-08	Re-issue for DP
2019-11-25	Plan Review Response
2019-12-25	Plan Review Response
2020-01-20	Based for DP Minor Amendment
2020-02-01	Issue for DP Renewal Amendment
2022-01-18	Re-Submission for DP Renewal Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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DWG. NO.: A152



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Project: 1744
Owner: Insignia Development (Insignia) Ltd.
 19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) GROUND FLOOR PLAN

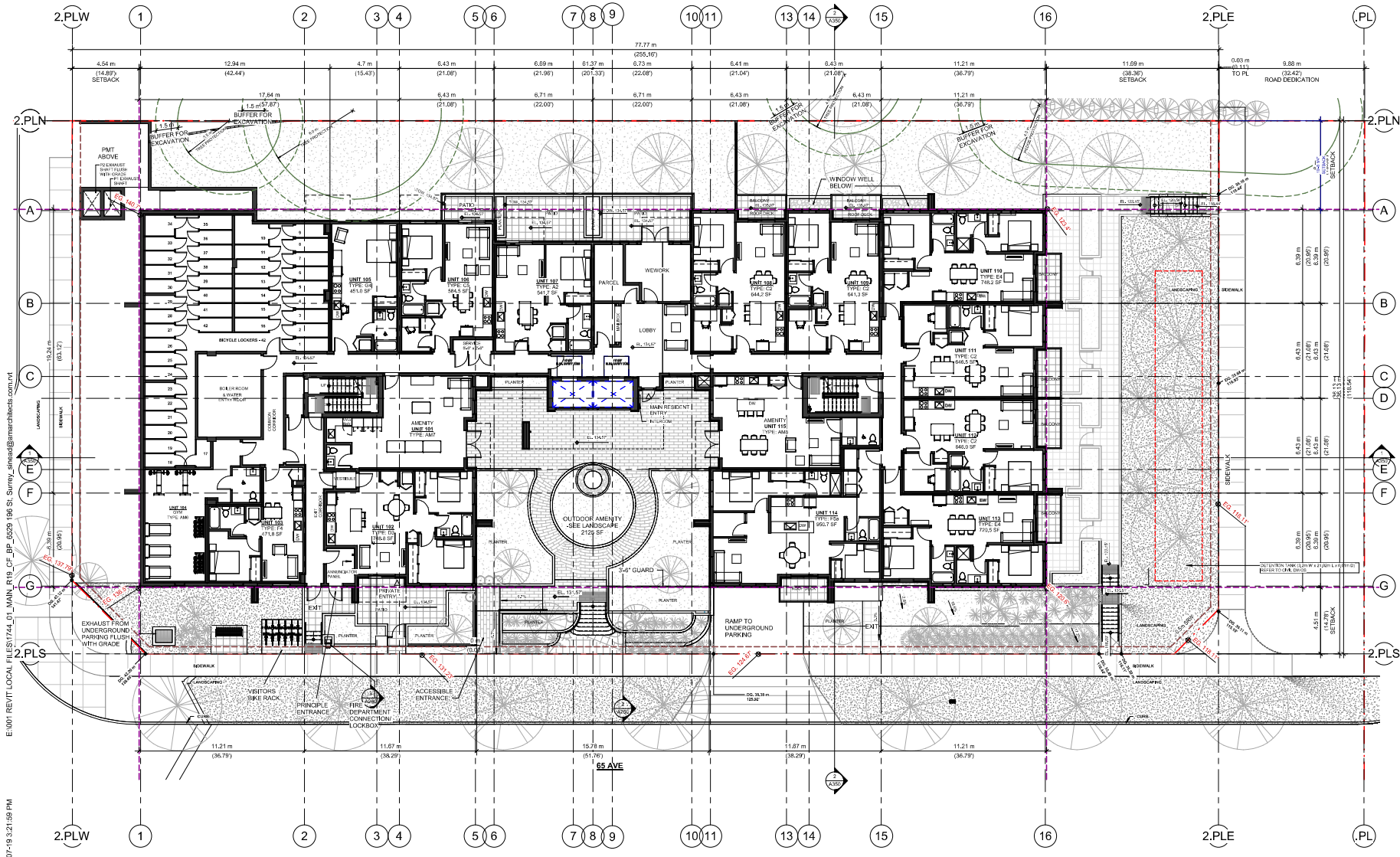
Project Status: DP RENEWAL

Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-23	Re-issue for DP
2018-10-24	Re-issue for DP
2018-09-24	Re-issue for DP
2018-06-28	Re-issue for DP
2018-11-25	Plan Review Response
2018-11-25	Plan Review Response
2020-03-25	Issued for DP Minor Amendment
2022-02-01	Issue for DP Renewal Amendment
2022-01-18	Re-issue for DP Renewal Amendment (Urban Design Comments)

No.	Date	REVISION	Description

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Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 85 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) LEVEL 4 PLAN

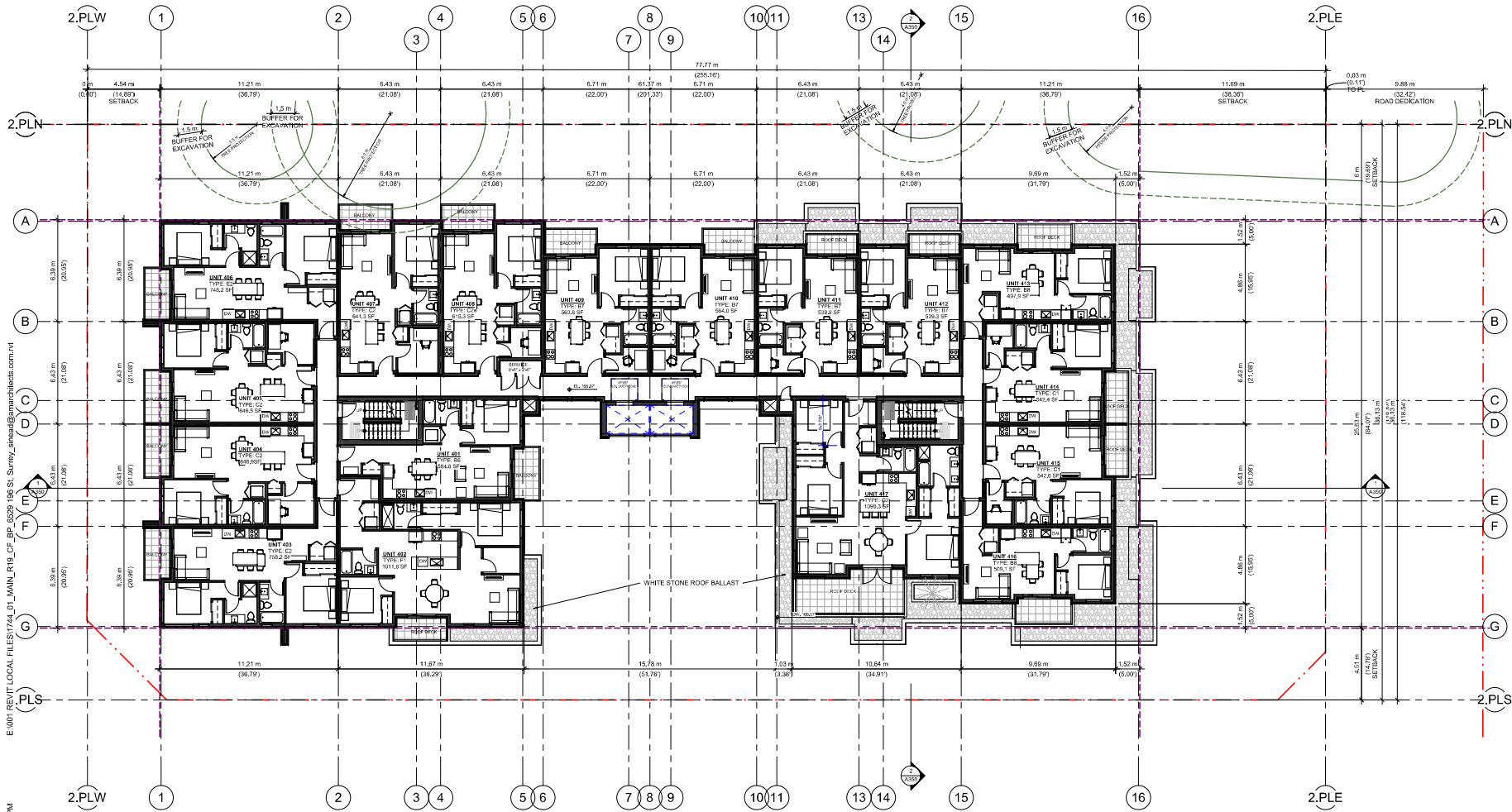
Project Status: DP RENEWAL

Date	Description
2018-04-02	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-04	Re-issue for DP
2018-09-04	Re-issue for DP
2018-06-08	Re-issue for DP
2018-11-25	Plan Review Response
2018-11-25	Plan Review Response
2022-01-24	Based for DP Renewal/Reassessment
2022-01-18	Revised for DP Renewal/Reassessment (Urban Design Comments)

REVISION		
No.	Date	Description

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Project:
1744
Owner:
Insignia Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing:
BUILDING 2/BLOCK B (EAST)
LEVEL 5 PLAN

Project Status:
DP RENEWAL

SUBMISSION	
Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-04	Re-issue for DP
2018-10-04	Re-issue for DP
2018-06-08	Re-issue for DP
2018-11-25	Plan Review Response
2018-11-25	Plan Review Response
2020-01-20	Issued for DP Renewal Amendment
2020-01-20	Issued for DP Renewal Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Email: office@AMArchitects.com



Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/BLOCK A (WEST) - ELEVATIONS NORTH & SOUTH
Project Status: DP RENEWAL

SUBMISSION	
Date	Description
2018-04-05	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-08	Re-issue for DP
2018-10-24	Re-issue for DP
2018-09-08	Re-issue for DP
2018-11-29	Plan Review Response
2018-12-02	Plan Review Response
2020-01-20	Issued for DP Renewal Amendment
2020-02-04	Issue for DP Renewal Amendment
2022-07-18	Re-issue for DP Renewal Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: 1" = 10'-0"
DWG. NO: A210



1 BUILDING 1/BLOCK A (WEST) NORTH ELEVATION
1" = 10'-0"



2 BUILDING 1/BLOCK A (WEST) SOUTH ELEVATION
1" = 10'-0"

MATERIAL LEGEND-BLDG 1&2	
No.	MATERIAL
1	FIBER CEMENT HORIZONTAL LAP SIDING, SMOOTH, 4" EXPOSURE, COLOUR: GRAY SLATE
2	FIBER CEMENT PANELS WITH 1/4" REVEALS (EASY TRIM), SMOOTH, COLOUR: GRAY SLATE
3	FIBER CEMENT PANELS WITH 1/4" REVEALS (EASY TRIM), SMOOTH, COLOUR: ARTIC WHITE
4	METAL PANEL, COATING WITH WOOD GRAIN - COLOUR: CEDAR
5	CAP FLASHING, PREFINISHED METAL - COLOUR: TO MATCH SIDING BELOW
6	EXPOSED ARCHITECTURAL CAST-IN-PLACE HIGH QUALITY CONCRETE WITH CLEAR, MATTE SEALER, WALLS, PLANTERS AT GRADE
7	EXPOSED ARCHITECTURAL CAST-IN-PLACE HIGH QUALITY CONCRETE, PAINTED CHARCOAL TO MATCH LAP SIDING, WALLS
8	VINYL WINDOWS (FRAME COLOUR: CHARCOAL)
9	VINYL BALCONY SWINGS / SLIDING DOORS (FRAME COLOUR: CHARCOAL)
10	METAL SIDEWALL EXHAUST CAPS, PAINTED COLOUR TO MATCH ADJACENT SIDING

MATERIAL LEGEND-BLDG 1&2	
No.	MATERIAL
11	7/8" HIGH ALUMINUM & OBTUSURE GLASS PRIVACY SCREEN (COLOUR: CHARCOAL)
13	ALUMINUM AND CLEAR GLASS GUARDRAIL, FRAME COLOUR: CHARCOAL
14	ALUMINUM FRONT ENTRY SWING DOOR - FRAME COLOUR: CHARCOAL
15	ALUMINUM AND GLASS GARDEN GATE - COLOUR: CHARCOAL
16	WALL-MOUNTED DOWNLIGHT - REFER TO ELECTRICAL DRAWINGS LIGHTING FIXTURE SCHEDULE, COLOUR: BLACK
17	PREFINISHED METAL DOWNSPOUTS, SCUPPERS ETC - COLOUR: CHARCOAL
18	PREFINISHED METAL THROUGH WALL FLASHING, PREFINISHED COLOR TO MATCH ADJACENT SIDING
20	CONCRETE STAIR
21	ALUMINUM OVERHEAD PARKING ACCESS PICKET GATE, COLOUR: CHARCOAL
22	PAINTED STEEL DOOR WITH GLAZING, COLOUR: CHARCOAL
23	CONCRETE BLOCK WALL (PAINTED), COLOUR: CHARCOAL
24	ALUMINUM FRAME AND PICKET GUARDRINGS, PREFINISHED (COLOUR: CHARCOAL)

Plot Date: 2022-07-19 9:32:41 PM E:\001\REVIT\LOCAL FILES\1744_01_MAIN\R19_CF_BP_0526 196_S1_Surrey_ankema@amarchitects.com.rvt

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Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19545 65 AVE, SURREY, BC
Drawing: BUILDING 1/BLOCK A (WEST) - SOUTH PRIVATE ENTRY ELEVATION
Project Status: DP RENEWAL

Date	Description
2019-03-08	Re-Issue for DP
2019-06-24	Re-Issue for DP
2019-09-03	Re-Issue for DP
2019-11-20	Plan Review Response
2019-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

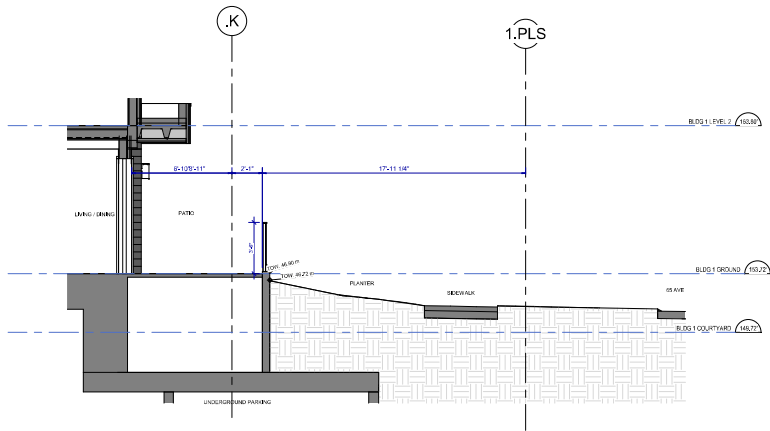
No.	Date	Description

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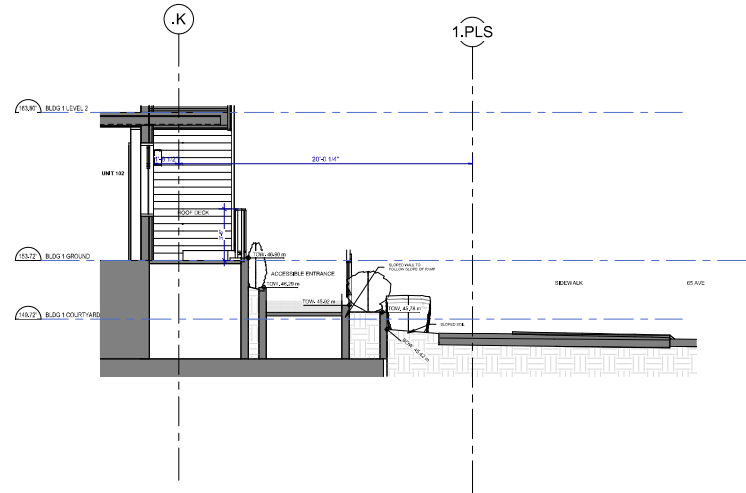
Scale: 1/4" = 1'-0"
DWG. NO: A221



1 BUILDING 1/BLOCK A (WEST) SOUTH ELEVATION - SOUTH ENTRIES
1/4" = 1'-0"



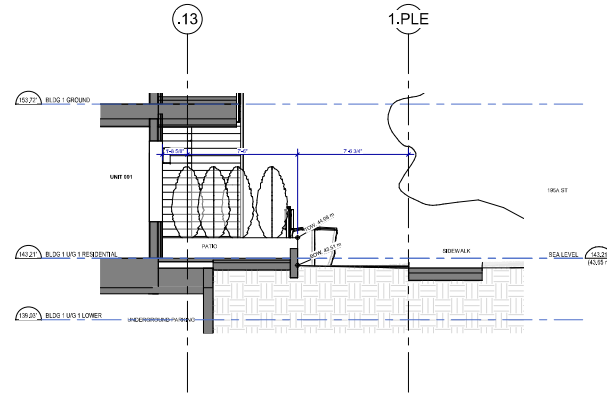
2 BUILDING 1 UNIT INDIVIDUAL ENTRY SOUTH SECTION 2
1/4" = 1'-0"



3 BUILDING 1 INDIVIDUAL UNIT ENTRY SECTION SOUTH
1/4" = 1'-0"



1 BUILDING 1/BLOCK A (WEST) PRIVATE ENTRY ELEVATION
1/4" = 1'-0"



BUILDING 1/BLOCK A (WEST) PRIVATE ENTRY EAST
SECTION
1/4" = 1'-0"

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ANKENMAN MARCHAND

Project:

1744

Owner:

Inspira Development (Insignia) Ltd.

19545 65 AVE, SURREY, BC

Drawing:

BUILDING 1/BLOCK A (WEST)
- EAST PRIVATE ENTRY

ELEVATION

Project Status:

DP RENEWAL

SUBMISSION

Date	Description
2019-03-08	Re-issue for DP
2019-06-24	Re-issue for DP
2019-08-03	Re-issue for DP
2019-11-20	Plan Review Response
2019-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION

No.	Date	Description

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Scale: 1/4" = 1'-0"

DWG. NO: A222



1 BUILDING 2/BLOCK B (EAST) SOUTH ELEVATION
1" = 10'-0"



2 BUILDING 2/BLOCK B (EAST) NORTH ELEVATION
1" = 10'-0"

MATERIAL LEGEND-BLDG 1&2	
No.	MATERIAL
1	FIBER CEMENT HORIZONTAL LAP SIDING, SMOOTH 9" EXPOSURE - COLOUR: GRAY SLATE
2	FIBER CEMENT PANELS WITH 1/4" REVEALS (EASY TRIM), SMOOTH COLOUR: GRAY SLATE
3	FIBER CEMENT PANELS WITH 1/4" REVEALS (EASY TRIM), SMOOTH COLOUR: ARTIC WHITE
4	METAL PANEL, COATING WITH WOOD GRAIN - COLOUR: CEDAR
5	CAP FLASHING, PREFINISHED METAL - COLOUR: TO MATCH SIDING BELOW
6	EXPOSED ARCHITECTURAL CAST-IN-PLACE HIGH QUALITY CONCRETE WITH CLEAR, MATTE SEALER; WALLS, PLANTERS AT GRADE
7	EXPOSED ARCHITECTURAL CAST-IN-PLACE HIGH QUALITY CONCRETE, PAINTED CHARCOAL TO MATCH LAP SIDING; WALLS
8	WIND WINDOWS FRAME COLOUR: CHARCOAL
9	WINDY BALCONY SWING / SLIDING DOORS FRAME COLOUR: CHARCOAL
10	METAL SIDEWALL EXHAST OUT CAPS, PAINTED COLOUR TO MATCH ADJACENT SIDING

MATERIAL LEGEND-BLDG 1&2	
No.	MATERIAL
11	7x7 HIGH ALUMINUM & OBTUSURE GLASS PRIVACY SCREEN (COLOUR: CHARCOAL)
13	ALUMINUM AND CLEAR GLASS GUARDRAIL, FRAME COLOUR: CHARCOAL
14	ALUMINUM FRONT ENTRY SWING DOOR - FRAME COLOUR: CHARCOAL
15	ALUMINUM AND GLASS GARDEN GATE - COLOUR: CHARCOAL
16	WALL MOUNTED DOWNLIGHT - REFER TO ELECTRICAL DRAWINGS LIGHTING FIXTURE SCHEDULE, COLOUR: BLACK
17	PREFINISHED METAL DOWNPOUTS, SCUPPERS ETC - COLOUR: CHARCOAL
18	PREFINISHED METAL THROUGH WALL FLASHING, PREFINISHED COLOR TO MATCH ADJACENT SIDING
20	CONCRETE STAIR
21	ALUMINUM OVERHEAD PARKING ACCESS PICKET GATE, COLOUR: CHARCOAL
22	PAINTED STEEL DOOR WITH GLAZING COLOUR: CHARCOAL
23	CONCRETE BLOCK WALL PAINTED COLOUR: CHARCOAL
24	ALUMINUM FRAME AND PICKET GUARDRAILS, PREFINISHED (COLOUR: CHARCOAL)

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ANKENMAN MARCHAND

Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) - ELEVATIONS NORTH & SOUTH
Project Status: DP RENEWAL

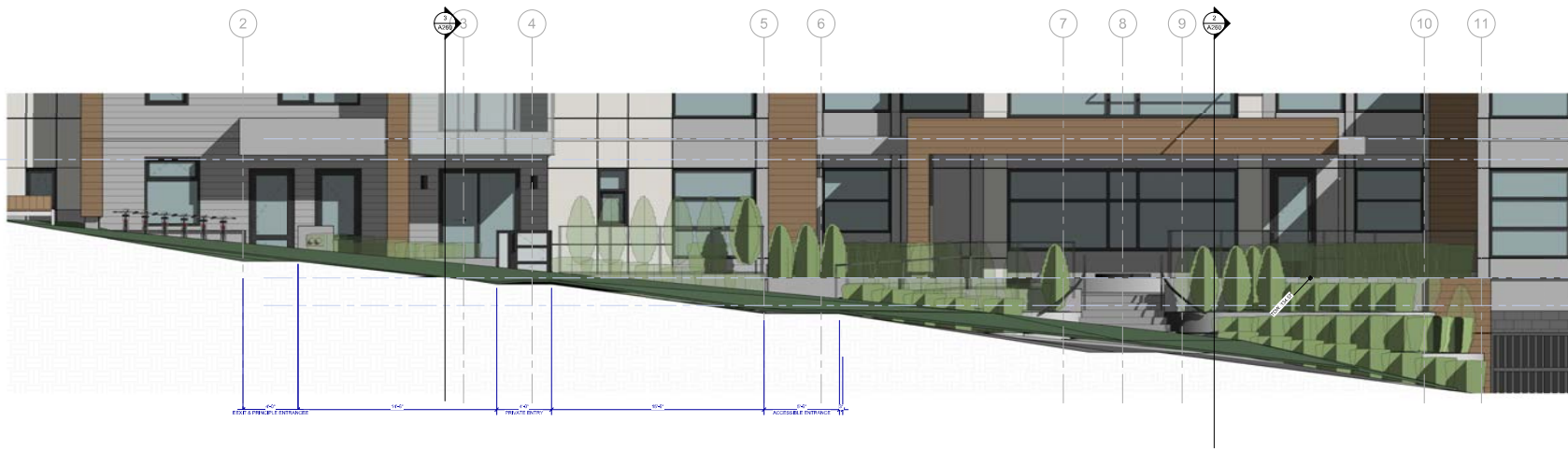
SUBMISSION	
Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-08	Re-issue for DP
2018-10-08	Re-issue for DP
2018-09-09	Re-issue for DP
2018-11-29	Plan Review Response
2018-12-02	Plan Review Response
2020-03-20	Issued for DP Renewal Amendment
2020-02-01	Issue for DP Renewal Amendment
2022-07-18	Re-issue for DP Renewal Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

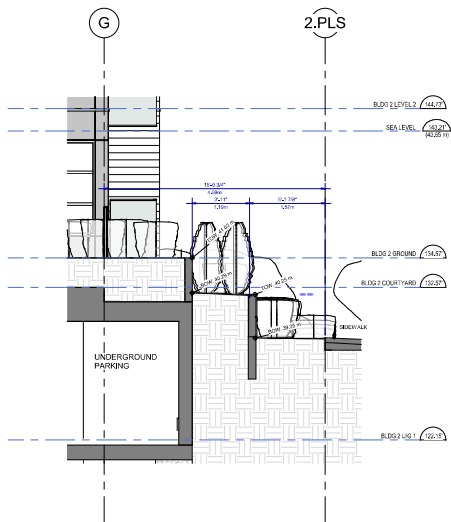
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Scale: 1" = 10'-0"
DWG. NO: A250

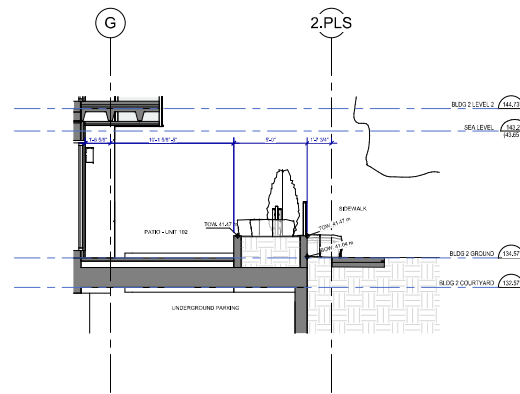
Plot Date : 2022-07-19 3:23:42 PM
E:\001\REVIT\LOCAL FILES\1744_01_MAIN_R19_CF_BP_0526 196 ST_Surry_anead@amarchitects.com.rvt



1 BUILDING 2/BLOCK B (EAST) SOUTH - ENTRY
1/4" = 1'-0"



2 MAIN ENTRY SECTION
1/4" = 1'-0"



3 PRIVATE ENTRY SECTION BLDG 2 SOUTH
1/4" = 1'-0"

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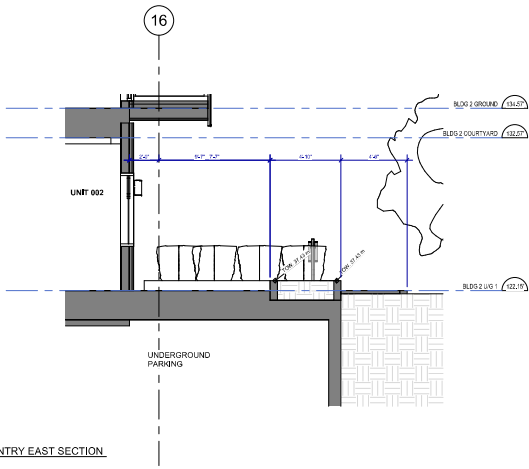
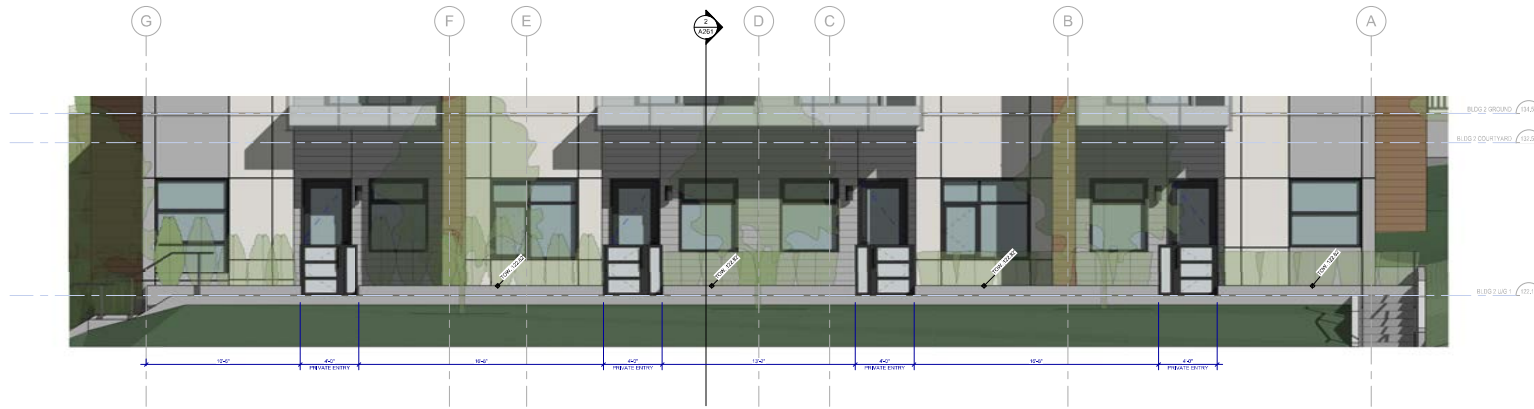
Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) - SOUTH MAIN & UNIT ENTRY
Project Status: DP RENEWAL

SUBMISSION	
Date	Description
2018-03-08	Re-issue for DP
2018-06-24	Re-issue for DP
2018-08-03	Re-issue for DP
2018-11-20	Plan Review Response
2019-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION		
No.	Date	Description

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Scale: 1/4" = 1'-0"
DWG. NO: A260



② PRIVATE ENTRY EAST SECTION
1/4" = 1'-0"

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ANKENMAN MARCHAND

Project:

1744

Owner:

Inspira Development (Insignia)
Ltd.

19575 65 AVE, SURREY, BC

Drawing:

**BUILDING 2/BLOCK B (EAST) -
EAST PRIVATE ENTRY
ELEVATION**

Project Status:

DP RENEWAL

SUBMISSION

Date	Description
2018-03-03	Re-issue for DP
2018-06-24	Re-issue for DP
2018-08-03	Re-issue for DP
2018-11-20	Plan Review Response
2019-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Amendment
2022-07-18	Re-issued for DP Renewal/Amendment (Urban Design Comments)

REVISION

No.	Date	Description

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Scale: 1/4" = 1'-0"
DWG. NO: **A261**



Project:

1744

Owner:

Inspira Development (Insignia)

Ltd.

19545 65 AVE, SURREY, BC

Drawing:

BUILDING 1/BLOCK A (WEST)

- SECTIONS

Project Status:

DP RENEWAL

SUBMISSION

Date	Description
2018-04-05	Issue for DP
2018-06-07	Re-issue for DP
2018-10-05	Re-issue for DP
2018-10-08	Re-issue for DP
2018-10-26	Re-issue for DP
2018-09-28	Re-issue for DP
2018-11-26	Plan Review Response
2018-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Reassessment
2022-07-18	Reviewed for DP Renewal/Reassessment (Open Design Comments)

REVISION

No.	Date	Description

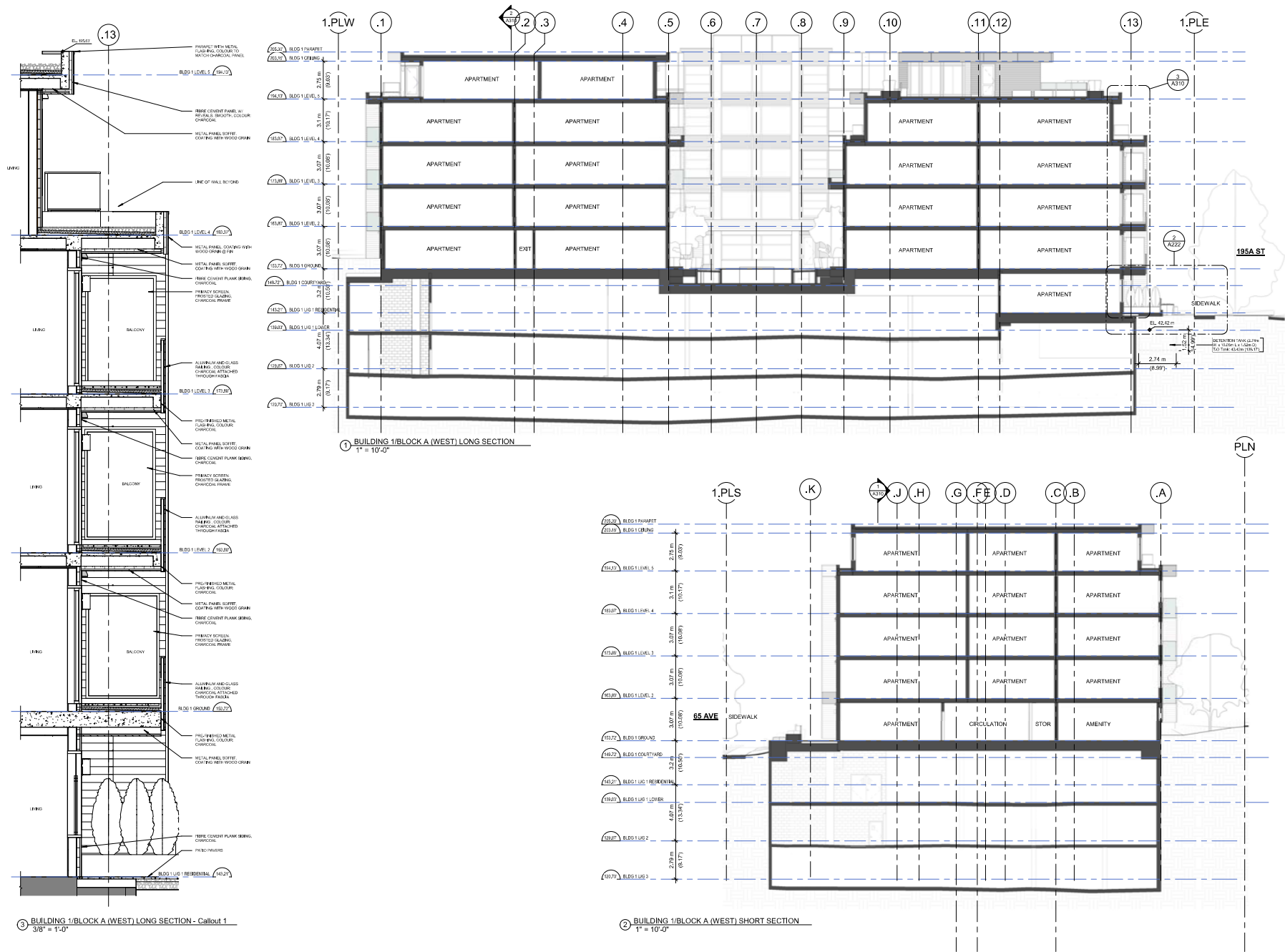
All Drawings in this set to be read in conjunction with each other. Any errors or discrepancies to be reported to the Architect before commencing work. Contractors are responsible to ensure that all work is executed to the requirements of the appropriate Building Code Authority.
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Scale:

As indicated

DWG. NO.:

A310

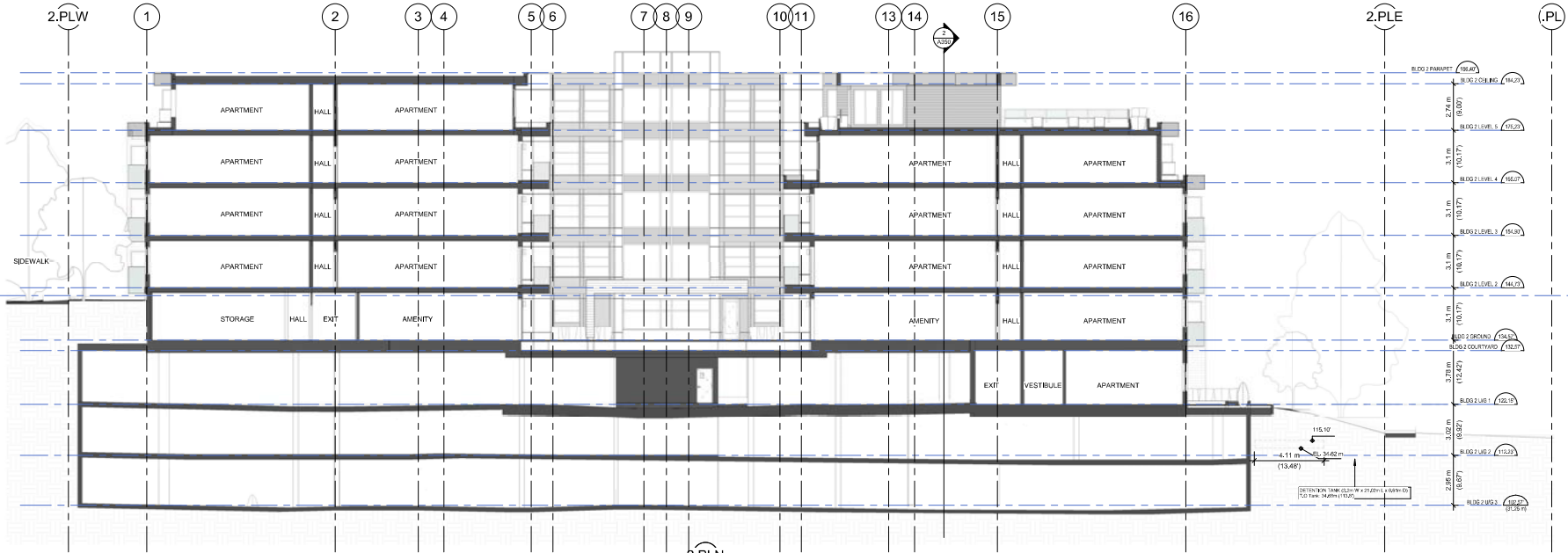


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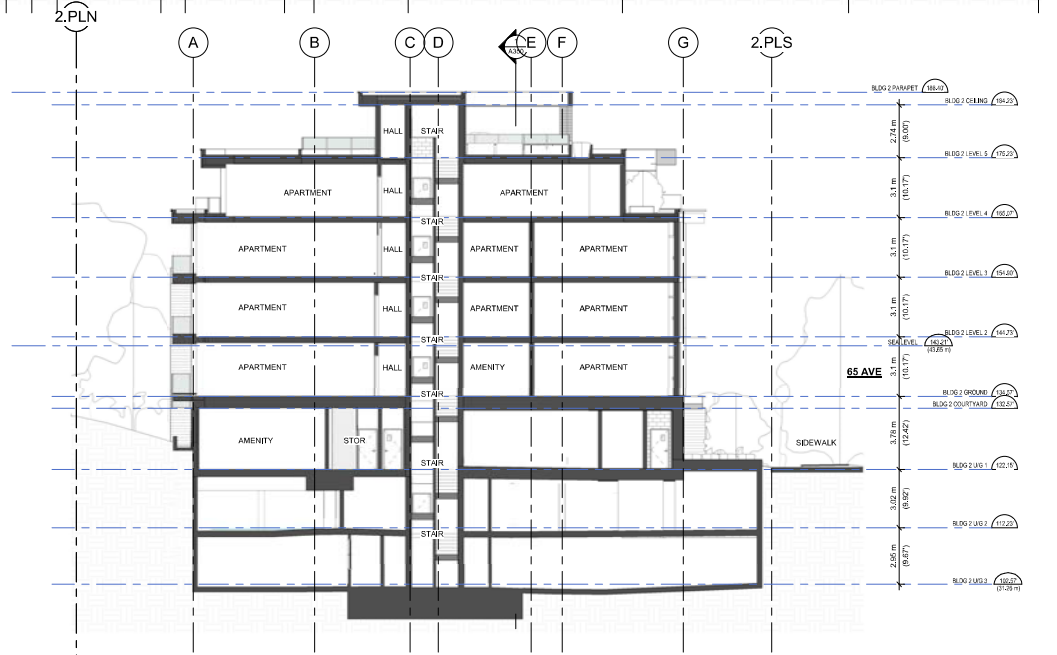
Plot Date: 2022-07-19 9:24:18 PM

3 BUILDING 1/BLOCK A (WEST) LONG SECTION - Callout 1
3/8" = 1'-0"

2 BUILDING 1/BLOCK A (WEST) SHORT SECTION
1" = 10'-0"



1 BUILDING 2/BLOCK B (EAST) WEST SECTION
1" = 10'-0"



2 BUILDING 2/BLOCK B (EAST) SHORT SECTION
1" = 10'-0"

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Project: 1744
Owner: Inspira Development (Insignia) Ltd.
19575 65 AVE, SURREY, BC
Drawing: BUILDING 2/BLOCK B (EAST) - SECTIONS

Project Status: DP RENEWAL

Date	Description
2018-04-03	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-08	Re-issue for DP
2018-10-26	Re-issue for DP
2018-09-28	Re-issue for DP
2018-11-28	Plan Review Response
2018-12-02	Plan Review Response
2022-03-24	Issued for DP Renewal/Reopen
2022-07-18	Revised for DP Renewal/Reopen (Open Design Comments)

REVISION

No.	Date	Description

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Scale: 1" = 10'-0" DWG. NO: A350



VIEW FROM 195A ST



VIEW FROM 65 AVE TO ENTRY AND COURTYARD



VIEW FROM THE TOP OF 65 AVE

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Project:

1744

Owner:

Inspira Development (Insignia) Ltd.

19545 65 AVE, SURREY, BC

Drawing:

BUILDING 1/BLOCK A (WEST)
- 3D VIEWS

Project Status:

DP RENEWAL

SUBMISSION

Date	Description
2018-04-05	Issue for DP
2018-06-07	Re-Issue for DP
2018-10-05	Re-Issue for DP
2018-10-05	Re-Issue for DP
2018-09-04	Re-Issue for DP
2018-06-28	Re-Issue for DP
2018-11-29	Plan Review Response
2018-11-29	Plan Review Response
2022-01-24	Based for DP Renewal/Reassessment
2022-01-18	Re-Issue for DP Renewal/Reassessment (Urban Design Comments)

REVISION

No.	Date	Description

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Scale:

DWG. NO:

A710



VIEW FROM 65 AVE TO ENTRY AND COURTYARD



VIEW FROM CORNER OF 65 AVE AND 196 ST



VIEW FROM CORNER OF 65 AVE AND 195A ST

ARCHITECTS

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Vancouver, BC, V6J
N5S

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ANKENMAN MARCHAND

Project:

1744

Owner:

Inspira Development (Insignia) Ltd.

19575 65 AVE, SURREY, BC

Drawing:

BUILDING 2/BLOCK B (EAST)
- 3D VIEWS

Project Status:
DP RENEWAL

SUBMISSION

Date	Description
2018-04-08	Issue for DP
2018-06-07	Re-issue for DP
2018-10-03	Re-issue for DP
2018-10-04	Re-issue for DP
2018-09-04	Re-issue for DP
2018-06-08	Re-issue for DP
2018-11-25	Plan Review Response
2018-12-02	Plan Review Response
2022-01-24	Issued for DP Renewal/Re-submission
2022-01-18	Reviewed for DP Renewal/Re-submission (Upon Design Comments)

REVISION

No.	Date	Description

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Scale:

DWG. NO:
A750

INSIGNIA

19545 & 19575 65th Ave
Surrey, BC

OWNER
CLIENT
1034786 BC LTD.
INSPIRA DEVELOPMENT (INSIGNIA) LTD.
Suite 306 - 7337 137 Street
SURREY BC, V3W 1A4
T: (778-544-2643)

DRAWING LIST

L-1.0	Overall Site Plan & Legends & Notes	DETAILS	
L-1.1	West Ground Level	L-3.1	Hardscape Details
L-1.2	East Ground Level	L-3.2	Planting Detail Plans
L-1.3	West Roof Level	L-3.3	Softscape Details
L-1.4	East Roof Level	L-3.4	Furnishing Details
L-2.1	West Planting	L-3.5	Custom Details
L-2.2	East Planting	L-3.6	Custom /WF Details
		L-3.7	Lighting Cutsheets

LEGENDS

HARDSCAPE LEGEND				SOFTSCAPE LEGEND				FURNISHING LEGEND			
KEY	GRAPHIC	DESCRIPTION	DETAIL KEY	KEY	GRAPHIC	DESCRIPTION	DETAIL KEY	KEY	GRAPHIC	DESCRIPTION	DETAIL KEY
1-1	[Symbol]	CIP Concrete Paving to C&S standard Colour: Integral coloured Finish: Light Brown Pattern: Saw cut (as shown on L-1.1)	[Detail Key]	1-8	[Symbol]	Planting (Average #2 pots 45cm spacing) w/ # 2/4 Poly Nursery Bedding	[Detail Key]	F-1	[Symbol]	Bliv Rocks Model: CAPROE Moulding Surface Finish: Stone Texture / F.C. w/ E-Coat Redwood Supplier: Formex + Surfaces	[Detail Key]
1-2	[Symbol]	CIP Concrete Paving to C&S standard Colour: Integral coloured Finish: Light Brown Pattern: Saw cut (as shown on L-1.1)	[Detail Key]	1-9	[Symbol]	Staked Lawn (at Central Lawn)	[Detail Key]	F-2	[Symbol]	Round Rock Boulders Size: 10" - 18" (30-700) & 20" - 24" (250-5000) Supplier: Northwest Landscape & Stone	[Detail Key]
1-3	[Symbol]	REGIARD Metabio 80 Concrete Soil Pavers Size: 38x38x80 (1.19x1.19x0.8) Colour: Andes Beige / Staked Grey Pattern: As Shown (Detail Plans on L-4.1)	[Detail Key]	1-10	[Symbol]	Extensive Green Roof Assembly	[Detail Key]	F-3	[Symbol]	Custom Bench Top on Concrete Wall w/ Strip Lighting Detail (at Amenity Deck)	[Detail Key]
1-4	[Symbol]	REGIARD Metabio 80 Concrete Soil Pavers Size: 38x38x80 (1.19x1.19x0.8) Colour: Andes Beige / Staked Grey Pattern: As Shown (Detail Plans on L-4.1)	[Detail Key]	1-11	[Symbol]	Hybridized Meadow Buffer Planting	[Detail Key]	F-4	[Symbol]	Pre-Fab Rocked Benches (at Strip 2 Rock Garden) Model: VECOR Enders Moulding Surface Finish: Stone Texture / F.C. w/ E-Coat Redwood Supplier: Formex + Surfaces	[Detail Key]
1-5	[Symbol]	REGIARD Metabio 80 Concrete Soil Pavers Size: 38x38x80 (1.19x1.19x0.8) Colour: Andes Beige Pattern: As Shown (Detail Plans on L-4.1)	[Detail Key]	1-12	[Symbol]	Proposed trees 7cm caliper minimum (Refer to L-3 Planting list)	[Detail Key]	F-5	[Symbol]	Custom CIP Concrete Water Feature w/ Stone Cladding (at Central Courtyard)	[Detail Key]
1-6	[Symbol]	Decorative River Rock Size: 10-20 cm Colour: Ebony Black Supplier: Northwest Landscape & Stone	[Detail Key]			Proposed Multi-stem Trees 3m H. min (Refer to L-3 Planting list)	[Detail Key]	F-6	[Symbol]	Custom Outdoor Kitchens w/ Built-In BBQ Model: Viking Series Finish: Stainless Steel	[Detail Key]
1-7	[Symbol]	AZER Legacy Collection Composite Wood Deck Assembly Colour: Tepeka	[Detail Key]			Existing Trees to be Retained w/ C&S Protection & Excavation Buffer (Refer to Attached Report for Full Details/Protection)	[Detail Key]	F-7	[Symbol]	Resilient Furnishings To Be Specified by ID.	[Detail Key]
								F-8	[Symbol]	Work Table Assembly (at Roofing Urban Ag) Model: VECOR Moulding Surface Finish: Stone Texture / F.C. w/ E-Coat Redwood Supplier: Formex + Surfaces	[Detail Key]
								F-9	[Symbol]	Pre-Fab Customized Wash-Tab Style Planters (at Roofing Urban Ag) Supplier: Per Contractor	[Detail Key]

LIGHTING LEGEND			
[Symbol]	Wall Mounted Step Lights	[Symbol]	Spot Lighting
[Symbol]	Outdoor Step Lighting	[Symbol]	Wall Mounted Downlight
[Symbol]	Recessed Lighting		

NOTES

General Notes

- Refer to architectural drawings for all walls and their layout and elevations, unless otherwise noted.
- Refer to electrical drawings for all final landscape lighting layout and specifications.
- Refer to architectural and mechanical drawings for all door locations and rim elevations.

Planting Notes

- All plants to planting to be per Canadian Landscape Standards (C.L.S.) latest edition.
- Plant selection subject to availability at the time of planting.
- Contractor shall source specified plant material and only other area of search has been exhausted will substitutions be considered.
- All trees to be staked in accordance with C.L.S.
- All plants to be sourced from nurseries certified type of firm.
- Plant size and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller plant sizes shall be as shown in the plant list and the standard for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list calls for #3 size containers, these shall be as defined in the C.L.S.
- All trees to have minimum 10 cubic metres of growing medium unless otherwise specified.

Irrigation Notes

- All Soft Landscape Areas' are to be irrigated with a high efficiency design/Full Irrigation system to ASCE Standards, complete with Rain and Wind Sensor.
- The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.
- System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to maximize evapotranspiration and wind lift.
- System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas.
- Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.
- Should the contractor proceed without approval, any additional modifications to the irrigation system, as directed by the Landscape Architect shall be at contractor cost.
- Lawns shall be irrigated on separate zones from planted areas.
- IRBCE to Substantial Performance, contractor shall provide a maintenance daily and Operation manual manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule.
- Recent Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system.
- Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including wintering for the fall time with the designated representative observing.
- All piping shall be class 200.
- The GPR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, tees, etc. require threaded joints.
- Provide sleeves under all hard surfaces and as required through walls. Provide vehicular pointing, cast iron piping required.
- Isovalued valves shall be fit quality, compatible with the controller selected.
- Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with positive lock ball cover, used to suit valves and other components with adequate room for operation and maintenance.

Soil Preparation and Placement Notes

- All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition.
- Submit soil analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Re-submit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 lbs. physical sample.
- Submittals shall be made at least seven (7) days before.
- Contractor shall not expose or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure.
- Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.
- Soil storage shall be 30cm (12") diameter drum gravel free from any fill and clay as shown in detail.
- Place growing medium, except structural to required high grades and minimum depths as detailed, unless shown otherwise.

Product and Material Notes

- All materials to be as specified or pre-approved equivalent.
- All material and products to be installed per manufacturer's specifications.

NO.	DATE	DESCRIPTION
10	Jul 18, 2022	DP Renewal
12	Apr 26, 2022	Planning Review
11	Feb 25, 2022	Issued for DP
10	Dec 18, 2019	Plan Review Response
09	Oct 25, 2019	Plan Review Response
08	Sep 09, 2019	Re-issued for DP
07	Jun 24, 2019	Re-issued for DP
06	Apr 26, 2019	Issued for 90% Tender
05	Mar 08, 2019	Re-issued for DP
04	Jun 14, 2018	Issued for ACP
03	Jun 08, 2018	Issued for ODC Review
02	May 23, 2018	Re-issued for DP
01	Mar 06, 2018	Issued for Re-zoning/DP

no. | date | item

Revisions:

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PETER KREUK
102
REGISTERED PROFESSIONAL ENGINEER
MECHANICAL ENGINEERING

Project:
INSIGNIA
19545 & 19575 65th Avenue
Surrey, BC

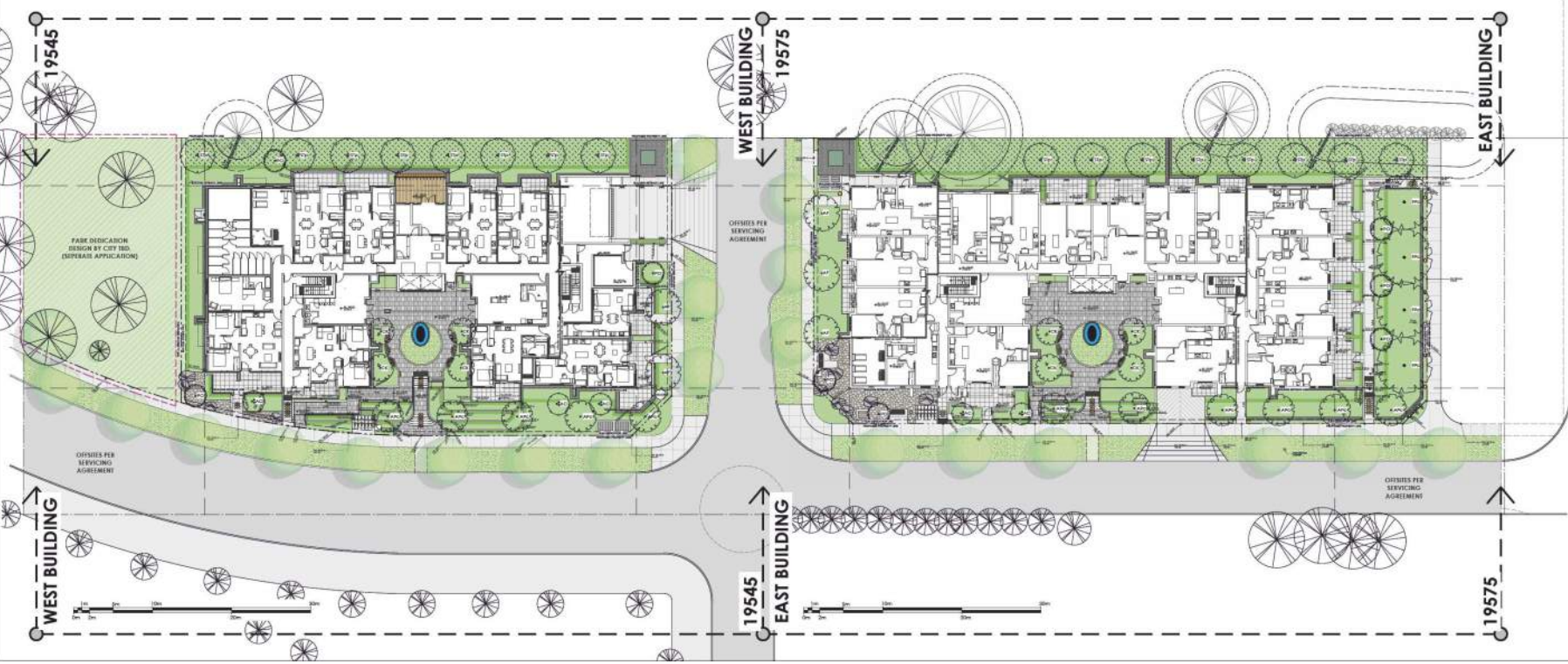
Drawn by: JH
Checked by: PK
Date: Jul 15, 2022
Scale: 3/32" = 1'-0"

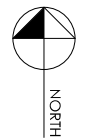
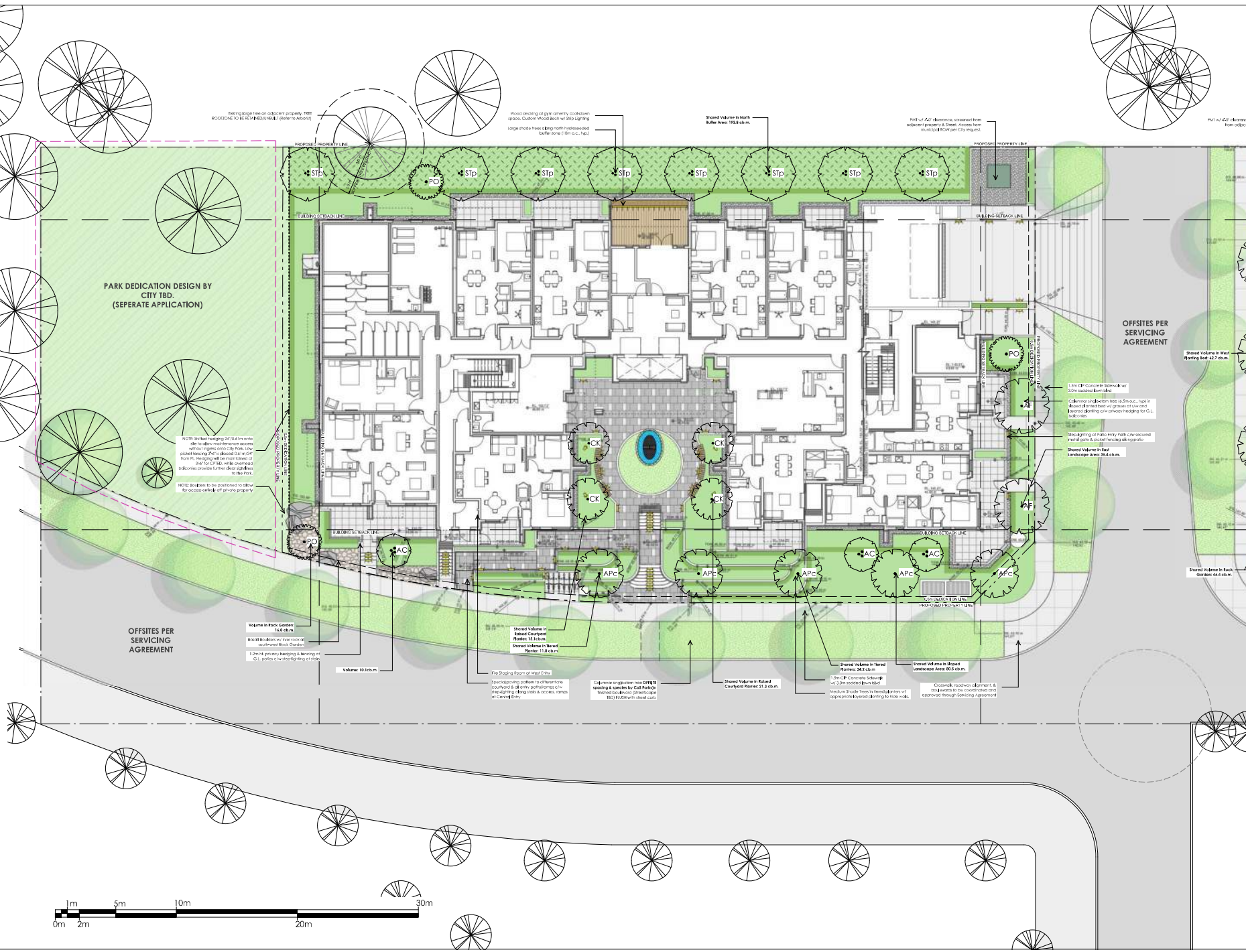
Drawing Title:
Landscape
Overall Site Plan

Project No.:
17104

Sheet No.:

L-1.0





13 Jul 18, 2022	DP Renewal
12 Apr 26, 2022	Planning Review
11 Dec 17, 2021	Issued for EP
10 Dec 16, 2019	Plan Review Response
09 Oct 25, 2019	Plan Review Response
08 Sep 09, 2019	Re-issued for DP
07 Jun 24, 2019	Re-issued for DP
06 Apr 24, 2019	Issued for 99% Tender
05 Mar 08, 2019	Re-issued for DP
04 Jun 14, 2018	Issued for ADP
03 Jun 08, 2018	Issued for DRG Review
02 May 28, 2018	Re-issued for DP
01 Mar 06, 2018	Issued for Reasoning/DP

Revisions:

no.:	date:	item:
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 Dunrite Krewk Ltd.
 102 - 1837 West 5th Avenue
 Vancouver BC V6J 1H5
 t: 604 684 4511
 f: 604 684 6577
 www.dkbc.ca

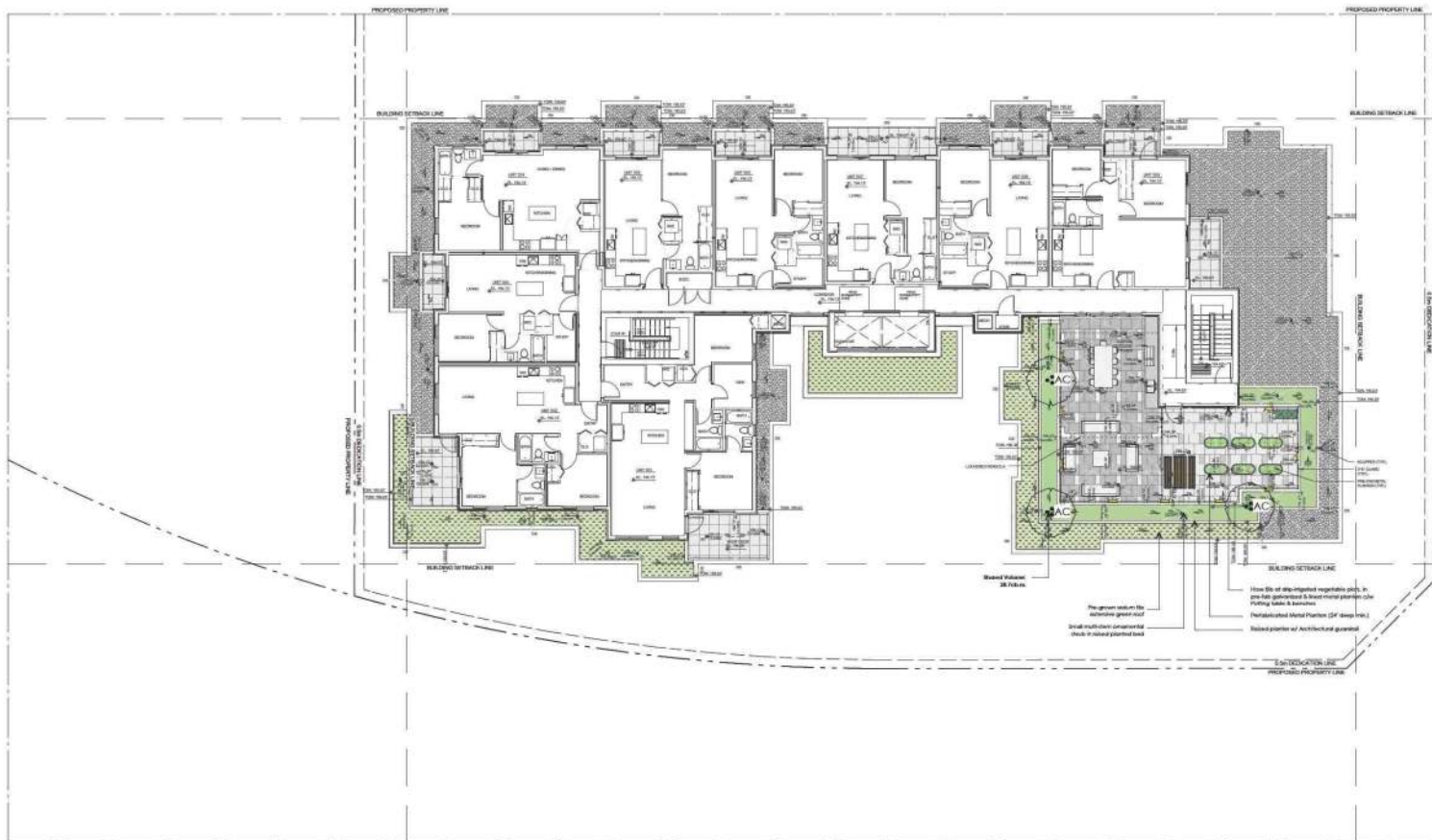


Project:
INSIGNIA WEST
 19545 65th Avenue
 Surrey, BC

Drawn by: JBT
 Checked by: PK
 Date Modif.: Jul 18, 2022
 Scale: 3/16" = 1'-0"

Drawing Title:
Landscape
West Building
Ground Plan

Project No.:
 17104
 Sheet No.:



- 13 Jul 18, 2022 DP Renewal
- 12 Apr 26, 2022 Planning Review
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- 04 Jun 14, 2018 Issued for ADP
- 03 Jun 08, 2018 Issued for LDC Review
- 02 May 25, 2018 Re-issued for DP
- 01 Mar 04, 2018 Issued for Rezoning/DP

no. | date | item

Revisions:

DK Durante Kivik Ltd.
 102 - 1837 West 5th Avenue
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Project:
INSIGNIA WEST
19545 65th Avenue
Surrey, BC

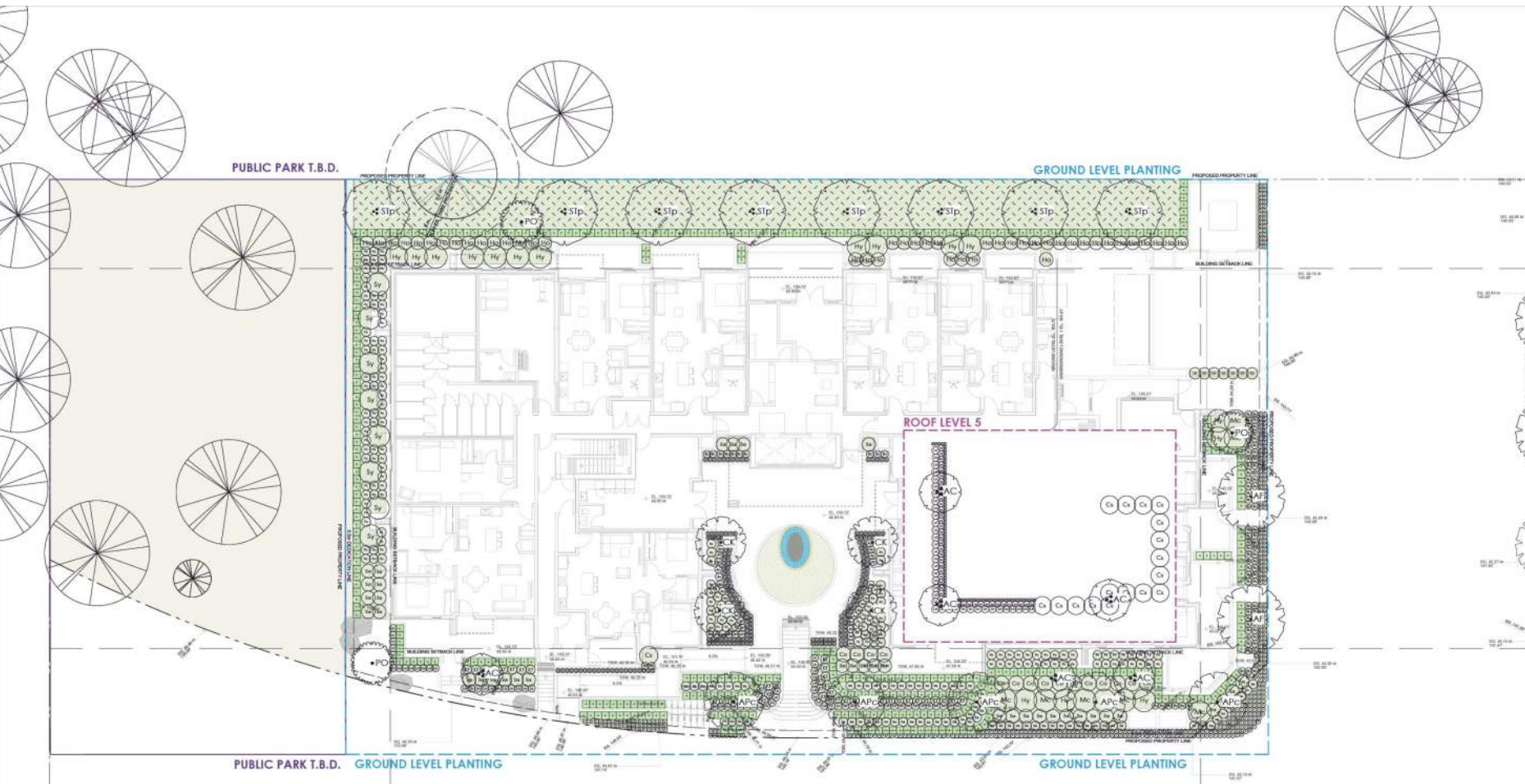
Drawn by: JRF
 Checked by: PK
 Date Modif.: Jul 18, 2022
 Scale: 3/16" = 1'-0"

Drawing Title:
Landscape
West Building
Roof Plan

Project No.:
17104

Sheet No.:





- 13 Jul 18, 2022 DP Renewal
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- 05 Mar 08, 2019 Re-issued for DP
- 04 Jun 14, 2018 Issued for ADP
- 03 Jun 08, 2018 Issued for OIC Review
- 02 May 28, 2018 Re-issued for DP
- 01 Mar 06, 2018 Issued for Reconciling/DP

no: | date: | item:
 Revisions:

 Durate Krew Ltd.
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 Vancouver BC V6J 1H5
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Project:
INSIGNIA WEST
19545 65th Avenue
Surrey, BC

Drawn by: JRI
 Checked by: PK
 Date Modif.: Jul 18, 2022
 Scale: 3/16" = 1'-0"

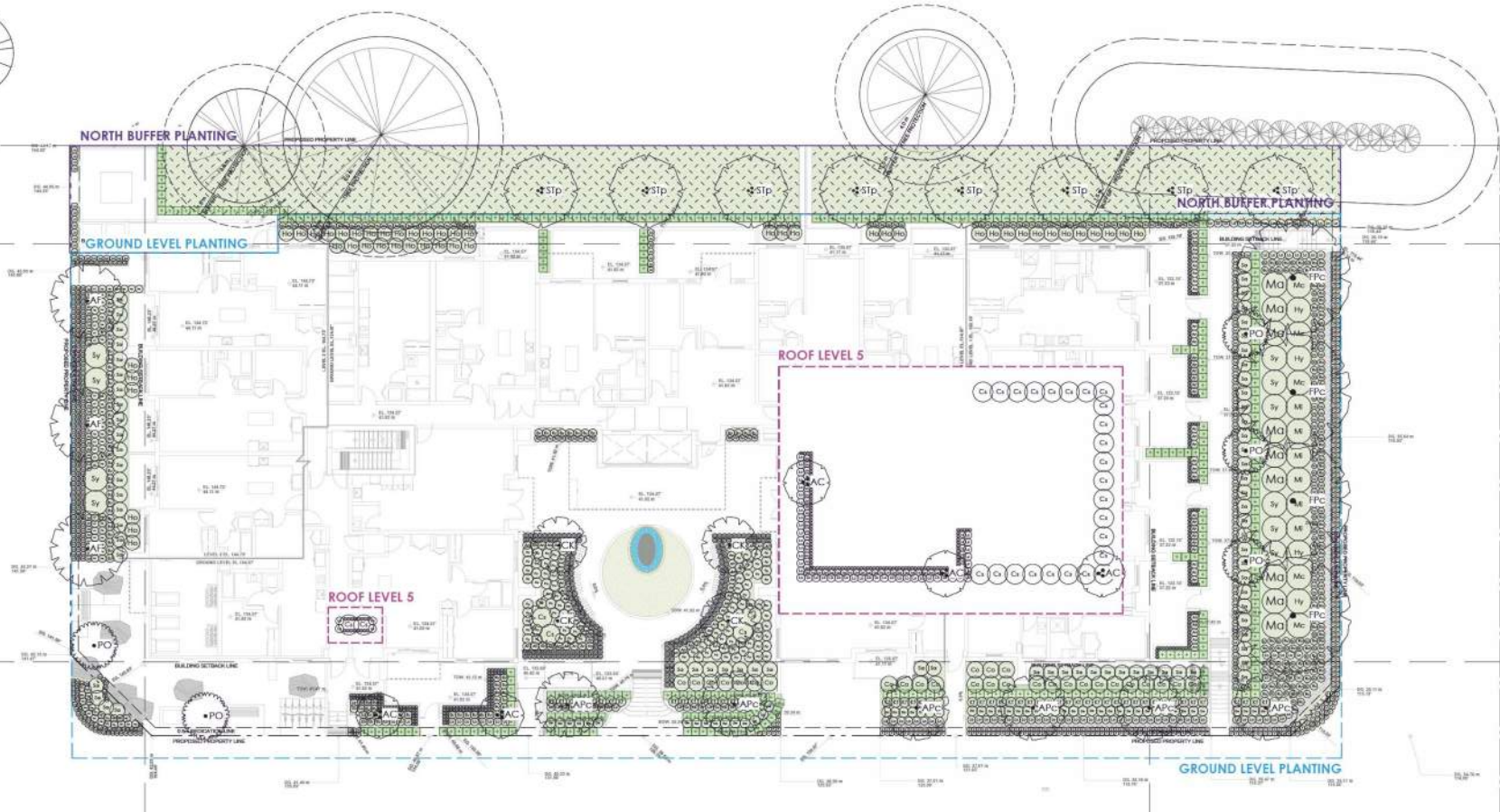
Drawing Title:
Landscape
West Building
Planting Plan

Project No.:
 17104
 Sheet No.:

L-2.1

PLANT LIST (BOTH SITES 19545 & 19575)				
Sym	Qty	Botanical Name	Common Name	Size
Trees				
AC	9	Acer circinnatum 'Pacific Fire'	Pacific Fire Vine Maple	8cm cal 8.8
APC	11	Acer platanoides 'Columnare'	Columnar Norway Maple	8cm 8.8
AF	5	Acer x fraxinoides 'Autumn Blaze'	Red Maple	8cm 8.8
CE	8	Cornus kousa 'Eddie's White Wonder'	Eddie's Chinese Dogwood	8cm 8.8
PD	8	Ficus Omorika	Sarban Spruce	3.0m H, 8.8
PH	4	Fraxinus pennsylvanica 'Cinnamon'	Cinnamon Ash	7cm 8.8
SLP	15	Sterea pseudocamelia	Japanese Stewartia	3.0m multi 8.8
TOTAL: 60 88 trees meet min. replacement tree requirements (100m soil volume & 8cm cal/3.0m)				
Shrubs/Trees				
Cx	49	Cornus sanguinea 'Midwinter Fire'	Blood Red Dogwood	#3 pot, 40" o.c.
Co	43	Cornus sericea 'Cardinal'	Red-Osier Dogwood	#3 pot, 36" o.c.
Bu	76	Euphorbia wulfenii 'Shady'	Dwarf Spurge	#2 pot, 24" o.c.
Ja	157	Falax japonica	Japanese Anemone	#2 pot, 24" o.c.
Ho	92	Hosta tardiana Group 'Hokycan'	Hosta	#2 pot, 24" o.c.
Hy	21	Hydrangea orbocensans 'Annabelle'	Smooth Hydrangea	#3 pot, 40" o.c.
Hi	3	Hypericum densiflorum	St. John's Wort	#3 pot, 40" o.c.
Lo	281	Lonicera pileolata 'Moss Green'	Honeycuckle	#2 pot, 24" o.c.
Ma	9	Malva sylvestris	Queen's Creeper	#3 pot, 40" o.c.
Pr	100	Populicum monilum	Swamp Poplar	#2 pot, 18" o.c.
So	110	Salix purpurea 'Nana'	Purple Willow	#2 pot, 36" o.c.
Sc	22	Sarcococca confusa var. 'Humilis'	Sweetbox	#2 pot, 30" o.c.
St	4	Symphoricarpos albus	White Snowberry	#3 pot, 40" o.c.
Sy	16	Syringa pubescens 'Miss Kim'	Manchurian Lilac	#3 pot, 40" o.c.
+	822	Taxus media s 'Hicks'	Hicks New Hedge	4" N, 8.8; 88-fo 88
Perennials/Groundcover/Cresses				
Al	10	Agapanthus africanus 'Big Blue'	Blue Lily of the Nile	#2 pot, 18" o.c.
An	124	Anemone x hybrida 'Andrea Atkinson'	Windflower	#2 pot, 18" o.c.
KT	97	Colomatogly x oculifera 'Earl Foester'	Feather Reed Grass	#2 pot, 24" o.c.
C	403	Carex oshimensis 'Evergold'	Evergold Sedge	#2 pot, 12" o.c.
De	130	Deschampsia cespitosa	Tufted Hair Grass	#2 pot, 12" o.c.
E	47	Echinacea purpurea 'Magnus'	Purple Coneflower	#1 pot, 12" o.c.
G	390	Geranium sanguineum	Bloody Cranebill	#1 pot, 12" o.c.
Lo	276	Lovandula angustifolia 'Hidcole Blue'	Blue English Lavender	#2 pot, 24" o.c.
Ld	261	Lithodora diffusa 'Heavenly Blue'	Purple Gormwell	4" pot, 12" o.c.
M	12	Macarthuria sinensis 'Crocifera'	Maiden Grass	#3 pot, 40" o.c.
Mc	12	Macarthuria sinensis 'Cascadi'	Cascade Maiden Grass	#3 pot, 40" o.c.
Ni	21	Nepeta x faconii 'X3 Kalf'	Nepeta	#2 pot, 24" o.c.
Na	56	Nepeta 'Six Hills Giant'	Giant Nepeta	#2 pot, 24" o.c.
P	817	Pachyandra terminalis	Japanese Spurge	4" pot, 12" o.c.
Ru	156	Rudbeckia helo	Black-eyed Susan	#2 pot, 18" o.c.
Hydroseed Mix (Partial Shade Xericosep)				
Aquilegia canadensis	Columbine, giant			
Aquilegia vulgaris	Columbine, dwarf			
Campanula carpatica	Tussock Bellflower			
Chrysanthemum maximum	Shasta Daisy 'Alaska'			
Clarkia elegans	Clarkia			
Collinsia heterophylla	Chinese Houses			
Coreopsis lanceolata	Lance Leaf Coreopsis			
Cynoglossum amabile	Chinese Forget Me Not			
Delphinium ajacis	Rocket Larkspur			
Dianthus barbatus	Sweet William Pink			
Echinacea purpurea	Purple Coneflower			
Eschscholzia californica	California Poppy			
Gypsophila elegans	Baby's Breath			
Isatis umbellata	Candytuft			
Linum maritimum	Spurred Snapdragon			





- 18 Jul 18, 2022 DP Renewal
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no. | date | item

Revisions:



PLANT LIST (BOTH SITES 19545 & 19575)				
Sym	Qty	Botanical Name	Common Name	Size
Trees				
AC	9	Acer crinitum 'Pacific Fire'	Pacific Fire Vine Maple	5cm cal 8.8
APC	11	Acer plantanosides 'Columnare'	Columnar Norway Maple	6cm 8.8
AF	5	Acer x fraxinoides 'Autumn Blaze'	Red Maple	6cm 8.8
CK	8	Cornus kousa 'Eddie's White Wonder'	Eddie's Chinese Dogwood	4cm 8.8
PO	6	Picea Omorika	Serbian Spruce	3.0m H, 8.8
FFC	4	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Ash	7cm 8.8
STp	15	Stewartia pseudocamelia	Japanese Stewartia	3.0m multi 8.8
TOTAL:	40	All trees meet min. replacement tree requirements (100mm soil volume & 5cm cal/3.0m)		
Shrubs/Pens				
Co	49	Cornus sanguinea 'Midwinter Fire'	Blood Red Dogwood	#3 pot, 48" o.c.
Co	43	Cornus sericea 'Cardinal'	Red-Osier Dogwood	#3 pot, 34" o.c.
Ev	76	Euphorbia wulfenii 'Shorty'	Dwarf Spurge	#2 pot, 24" o.c.
Fa	167	Fatsia japonica	Japanese Aralia	#2 pot, 24" o.c.
Hy	92	Hosta hardiana Group 'Inkycan'	Hosta	#2 pot, 34" o.c.
Hy	21	Hydrangea arborescens 'Annabelle'	Smooth Hydrangea	#3 pot, 40" o.c.
Hy	3	Hydrangea daniiflorum	St. John's Wort	#3 pot, 40" o.c.
Lo	203	Lonicera pleuralis 'Miss Green'	Privet Honeyuckle	#2 pot, 38" o.c.
Ma	9	Mahonia aquifolium	Oregon Grape	#3 pot, 48" o.c.
Pa	185	Polygonum maritimum	Swirl Fern	#2 pot, 18" o.c.
So	110	Salix purpurea 'Tringa'	Purple Willow	#2 pot, 34" o.c.
Sc	22	Sarcococca confusa var. 'Nuttallii'	Sweetbox	#2 pot, 30" o.c.
Sc	4	Symphoricarpos albus	White Snowberry	#3 pot, 40" o.c.
Sp	18	Syringa pubescens 'Miss Kim'	Manchurian Lilac	#3 pot, 40" o.c.
+	822	Taxus media x Hicksii	Hicks' New England	4" H, 8.8; 88-10-88
Ferns/Grasses/Creepers				
Al	10	Agapanthus africanus 'Big Blue'	Blue Lily of the Nile	#2 pot, 18" o.c.
An	134	Anemone x hybrida 'Andrea Atkinson'	Windflower	#2 pot, 18" o.c.
Cl	97	Calamagrostis x oculata 'Earl Fossler'	Feather Reed Grass	#2 pot, 24" o.c.
C	473	Carex oshimensis 'Tvergaard'	Evergold Sedge	#2 pot, 12" o.c.
De	130	Deschampsia cespitosa	Luffed Hair Grass	#2 pot, 12" o.c.
E	67	Echinacea purpurea 'Magnus'	Purple Coneflower	#1 pot, 12" o.c.
O	390	Geranium sanguineum	Bloody Cranebill	#1 pot, 12" o.c.
La	274	Lavandula angustifolia 'Hidcote Blue'	Blue English Lavender	#2 pot, 24" o.c.
Ld	241	Lithodora diffusa 'Tweedy Blue'	Purple Gramwell	4" pot, 12" o.c.
M	12	Macarthuria sinensis 'Crocifera'	Maiden Grass	#3 pot, 40" o.c.
Mc	12	Macarthuria sinensis 'Crocifera'	Cascade Maiden Grass	#3 pot, 40" o.c.
Ne	21	Nepeta x fassenii 'El Gaf'	Hoplet	#2 pot, 24" o.c.
Ne	56	Nepeta 'Six Hill Giant'	Giant Nepeta	#2 pot, 24" o.c.
P	877	Pachyrhizos ternstroemii	Japanese Saurce	4" pot, 12" o.c.
Ru	156	Ruthecolia helix	Black-eyed Susan	#2 pot, 18" o.c.
Hydrated Mix (Partial Shade Xericcape)				
		Aquilegia canadensis	Columbine, giant	
		Aquilegia vulgaris	Columbine, dwarf	
		Campanula corpatia	Tussock Bellflower	
		Chrysanthemum maximum	Shasta Daisy 'Alaska'	
		Clatka elegans	Clatka	
		Collinsia heterophylla	Chinese Houses	
		Corydalis saccobulba	Lance Leaf Corydalis	
		Cynoglossum amabile	Chinese Forget Me Not	
		Dalium sp. sp.	Rocket Dalium	
		Dianthus barbatus	Sweet William Pink	
		Echinacea purpurea	Purple Coneflower	
		Echinocloa californica	California Poppy	
		Cypripedium elegans	Baby's Breath	
		Ilex umbellata	Candytuft	
		Linaria maroccana	Spurred Snapdragon	



Project:
INSIGNIA
19575 45th Avenue
Surrey, BC

Drawn by: JRI
Checked by: PK
Date: Jul 18, 2022
Scale: 3/16" = 1'-0"

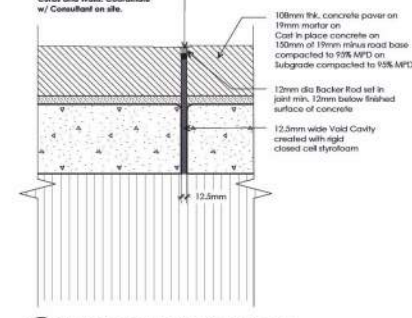
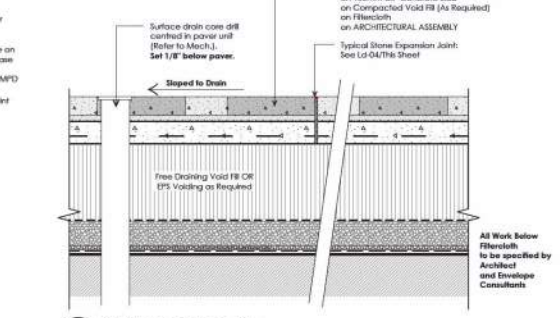
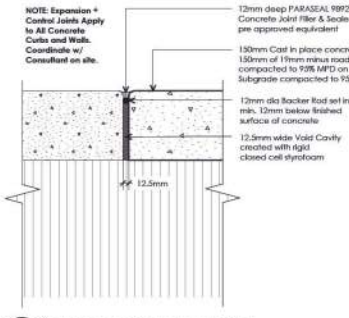
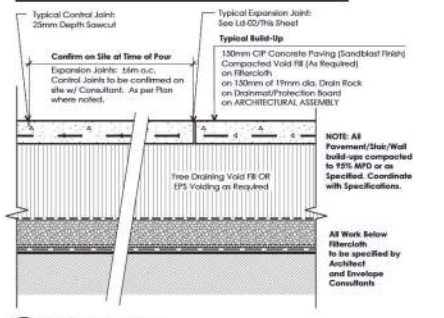
Drawing Title:
Landscape
East Building
Planting Plan

Project No.:
17104
Sheet No.:

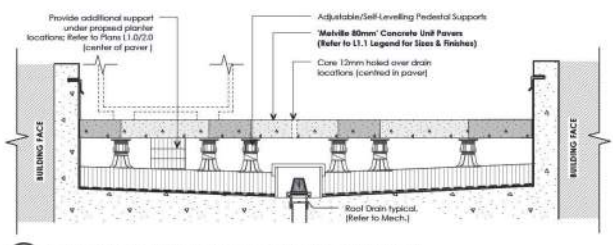
GENERAL NOTES:
 1. Confirm all "Special Tooling", Expansion Joint and Control Joint Layout on site w/Consultant.
 2. Remove all "soft spots" in subgrade to Consultant approval and to Specifications Section 02710.
 3. Place EFB of all locations where slab meets/abuts with walls or stairs or any "permanent" adjacent work - not of this contract. Max. 6m o.c. unless shown otherwise. Refer to Layout Plan L-1.
 4. Refer to L-1 Layout Materials and Coating Plan for specific concrete finish treatments. "Medium Sandblast Finish" preferred. Tool all edges.
 5. Reinforcing where shown 10M Bar at 300mm o.c. both ways. Slab thickness to 150mm CIP Concrete.

GENERAL CONCRETE WORKS NOTES:
 1. All concrete details shown on landscape drawings for design purposes only.
 2. All concrete work on slabs to be built off arch. drawings.
 3. All reinforcement as shown on structural drawings.

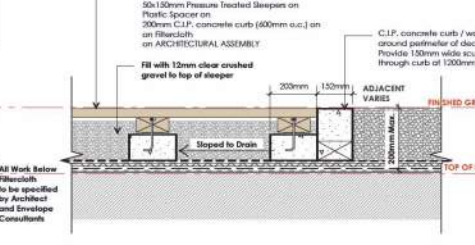
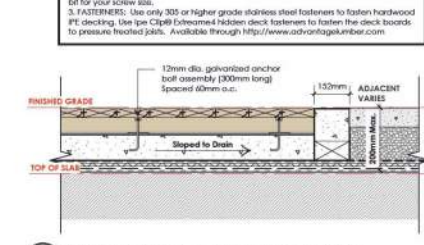
GENERAL NOTES:
 1. Cut all pavers as required to maintain pattern/layout as shown on Plans
 2. Pavers to be cut with Concrete Stone Saw, no guidelines cuts will be allowed.
 3. All paver joints to be filled with polymeric sand.
 4. Filletcloth to wrap up all sides to within 3/4" from paver finished grade.



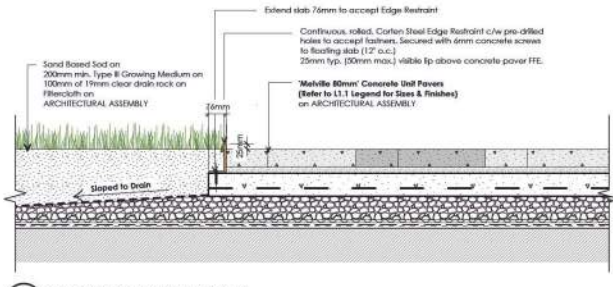
GENERAL NOTES:
 1. Installation must be complete in accordance with unit paver products specifications.
 2. Use of buffer pads is mandatory.
 3. Pre-approved equivalent pedestals or spacers may be used as alternate.
 4. Provide additional support in centre of pavers below all proposed planter locations



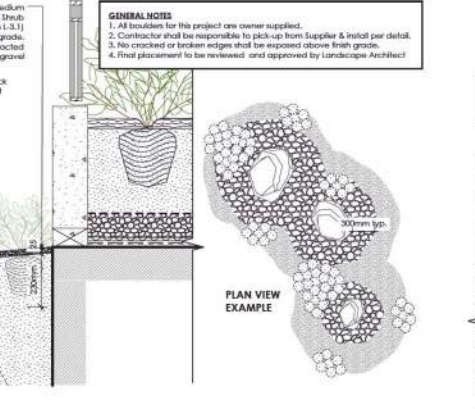
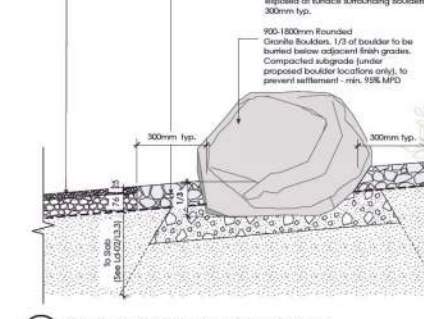
GENERAL NOTES:
 1. END SEALING: All cut ends of IPE decking to be treated with end grain sealant within 24 hours of cutting. Do Not apply and grain sealant to surface of decking. Sealant to be wiped off surface of deck boards immediately.
 2. CUTTING AND DRILLING: Due to the hard nature of IPE, premium cordite tipped saw blades to be used for cutting. Use Brad point drill bits or farther bits to provide cleaner holes. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size.
 3. FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten hardwood IPE decking. Use IPE Clips (stainless hidden deck fasteners) to fasten the deck boards to pressure treated joists. Available through <http://www.advantagekamber.com>



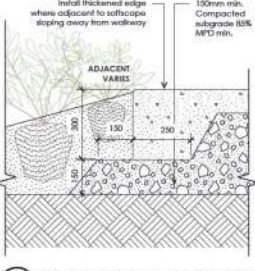
GENERAL NOTES:
 1. Submit Section / Engineered shop drawings for review and approval for all masonry prior to fabrication and in accordance with specification Section 03 50 00.
 2. Confirm all dimensions on site. Modify as required to maintain design intent.
 3. Pre-approved equivalent edge restraint may be used as alternate.
 Provide shop drawings.



GENERAL NOTES:
 1. All boulders for this project are owner supplied.
 2. Contractor shall be responsible to pick-up from supplier & install per detail.
 3. No cracked or broken edges shall be exposed above finish grade.
 4. Final placement to be reviewed and approved by Landscape Architect



GENERAL NOTES:
 1. Refer to structural drawings for reinforcement.
 2. Floating slab for mortared concrete pavers to also receive finished edge where applicable.



Date	By	Item
13 Jul 18, 2022	DP	Revised
12 Apr 26, 2022	DP	Planning Review
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01 Mar 04, 2018	DP	Issued for Reasoning/DP

Revisions:

OK
 Duran Kruuk Ltd.
 102 - 1837 West 5th Avenue
 Vancouver BC V6J 1K6
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 F: 604 684 0277
 www.okbc.ca

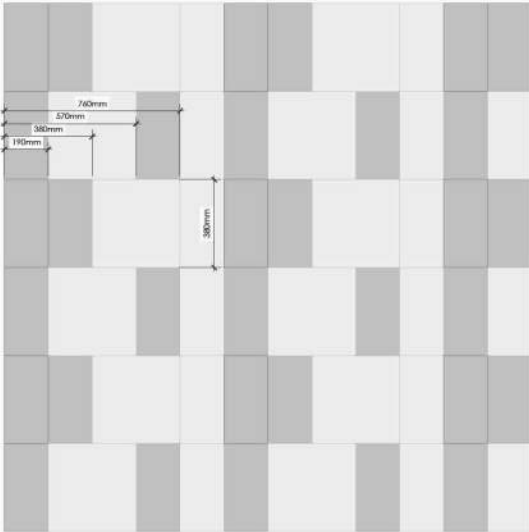


Project:
INSIGNIA EAST + WEST
 19545 & 19575 65th Avenue
 Surrey, BC

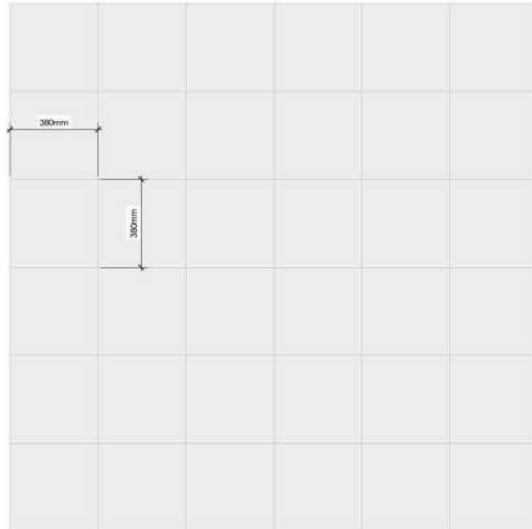
Drawn by: JBT
 Checked by: PK
 Date: Jul 16, 2022
 Scale: As Noted

Drawing Title:
Landscape Hardscape Details

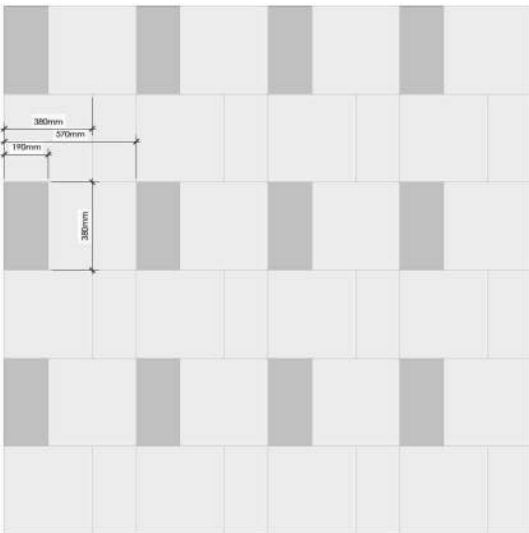
Project No.:
 17104
 Sheet No.:



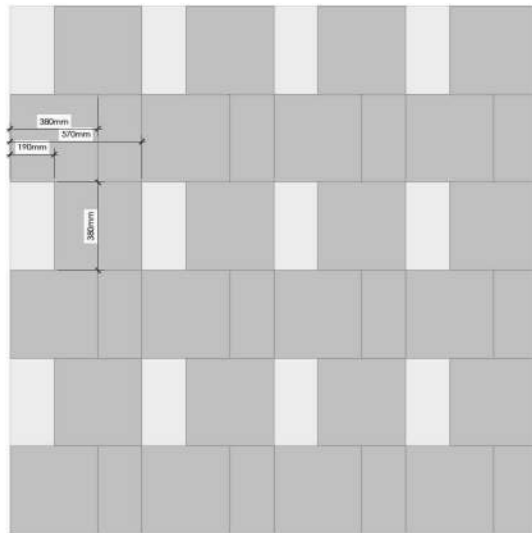
1d-01
11.1 Unit Paver Layout #1 - At Courtyards
Scale: 1:10



1d-02
11.1 Unit Paver Layout #2 - At Patios
Scale: 1:10



1d-03
11.1 Unit Paver Layout #3 - At Building Entries & Shared Amenities
Scale: 1:10



MELVILLE COLLECTION
MelvilleM80 Pavers



- Pedestian - Designed to withstand pedestrian traffic.
- Vehicular - Designed to withstand car traffic.

MelvilleM80 Pavers

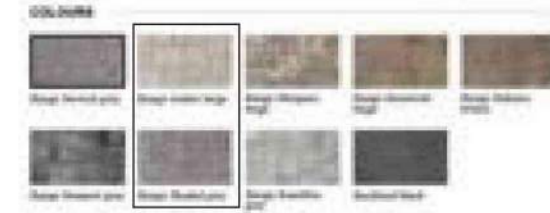
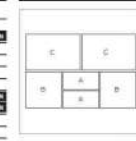
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A	80 x 190 x 380	3.15 x 7.5 x 15
B	80 x 380 x 370	3.15 x 15 x 12.75
C	80 x 380 x 370	3.15 x 15 x 12.75

Weight (each) 27 kg 60 lbs
 Weight (each) 5.50 units/m² 0.45 units/ft²
 Area/acre 0.87 m² 0.23 ft²
 Area/sq ft 7.83 m² 84.87 ft²
 Length/acre 2.26 km 1.4 mi
 Length/acre 20.52 km 12.75 mi
 Weight/acre 1.63 kg 3.57 lbs

Columns

Code	Color
PRESTIGE COLUMNS	
L302046	Range Amber Stone
L302072	Rockland Black
L302063	Range Travertine Grey
L302074	Range Majestic Stone
TRAVERTINE COLUMNS	
L302045	Range Shaded Grey
L302143	Range Travertine Stone
L302064	Range Sandstone Stone
L302073	Range Neopart Grey

Typical row



SUPPLIER:
 BELGARD | Espocaste - an Oldcastle Company
 (Permacrete Product Line)
 Contact: Bruce McKinley | +778-836-2736

- 13 Jul 18, 2022 DP Renewal
- 12 Apr 26, 2022 Flooring Review
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no. | date | name

Revisions:

Ok Design Group
 102 - 1837 West 5th Avenue
 Vancouver BC V6J 1K6
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 www.okdgc.ca

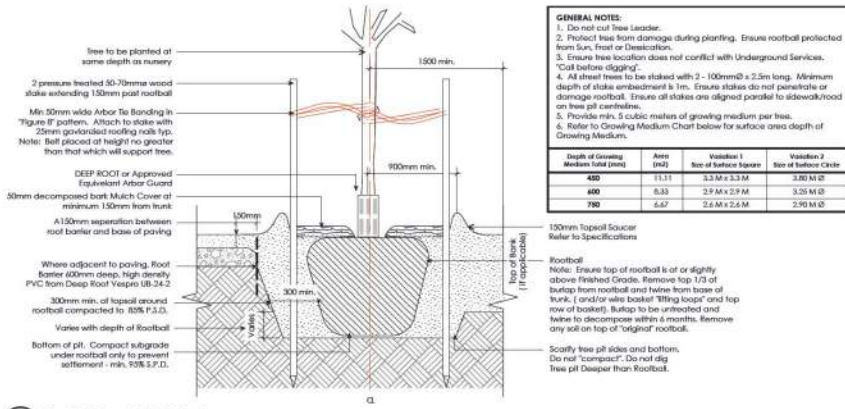


Project:
INSIGNIA EAST + WEST
19545 & 19575 65th Avenue
Surrey, BC

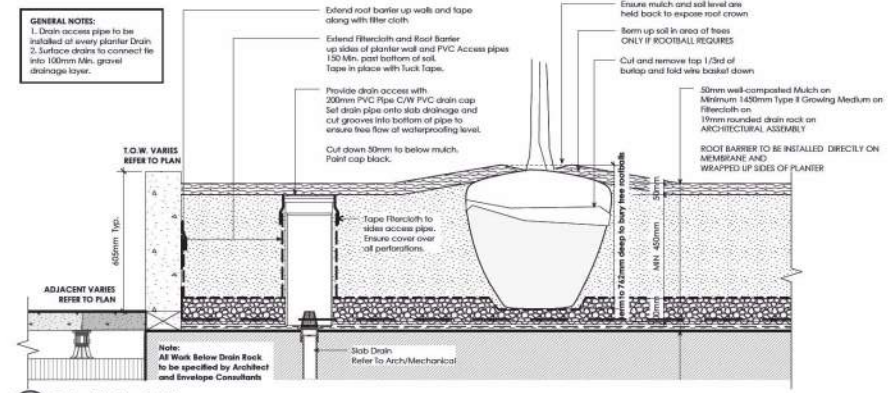
Drawn by: JBT
 Checked by: PK
 Date: Jul 18, 2022
 Scale: As Noted

Drawing Title:
Landscape Planning
Detail Plans

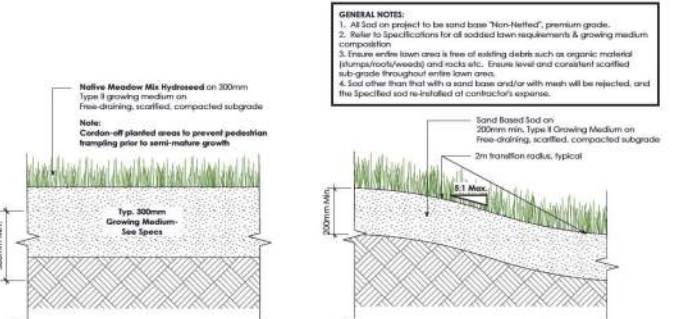
Project No.:
17104
 Sheet No.:



Ld-01 Tree Planting on Grade Typical Scale: 1:10

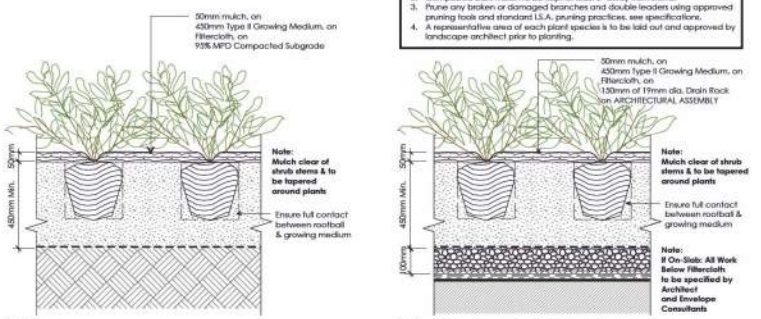


Ld-02 Typical Planting On-Slab Scale: 1:10



Ld-03 Hydroseded Meadow On-Grade Scale: 1:10

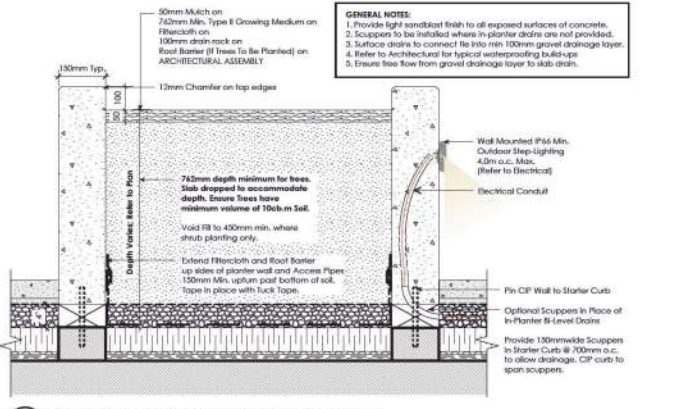
Ld-04 Typical Sodded Lawn On-Grade Scale: 1:10



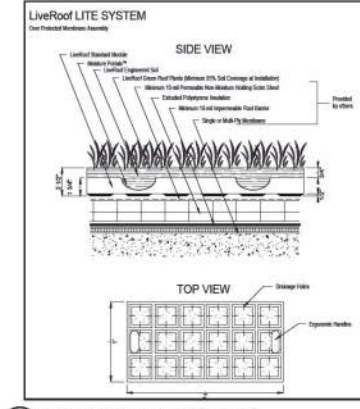
Ld-05 Typical Shrub Planting On-Grade Scale: 1:10

Ld-06 Typical Shrub Planting On-Slab / In-Planter Scale: 1:10

Ld-07 Typical Drip Strip at Building Faces Scale: 1:10



Ld-08 Typical CIP Concrete Planter on Starter Curb (Optional Scuppers) Scale: 1:10



Ld-09 Pre-Grown Sedum Tile Extensive Live Roof Scale: 1:10

13 Jul 18, 2022 DP Renewal
12 Apr 26, 2022 Planning Review
11 Feb 25, 2022 Issued for BP
10 Dec 18, 2019 Plan Review Responses
09 Oct 23, 2019 Plan Review Responses
08 Sep 07, 2019 Re-issued for DP
07 Jun 24, 2019 Re-issued for DP
06 Apr 24, 2019 Issued for 99% Tender
05 Mar 08, 2019 Re-issued for DP
04 Jun 14, 2018 Issued for ADP
03 Jun 08, 2018 Issued for DRG Review
02 May 25, 2018 Re-issued for DP
01 Mar 04, 2018 Issued for Reopening/DP

no. | date | item

Revisions:

Duranki Kreuk Ltd.
102 - 1937 West 5th Avenue
Vancouver BC V6J 1N6
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1-855-684-4611
1-604-684-0577

REGISTERED PROFESSIONAL ARCHITECT
102
PEPPER KREUK
PREPARE ARCHITECTURE

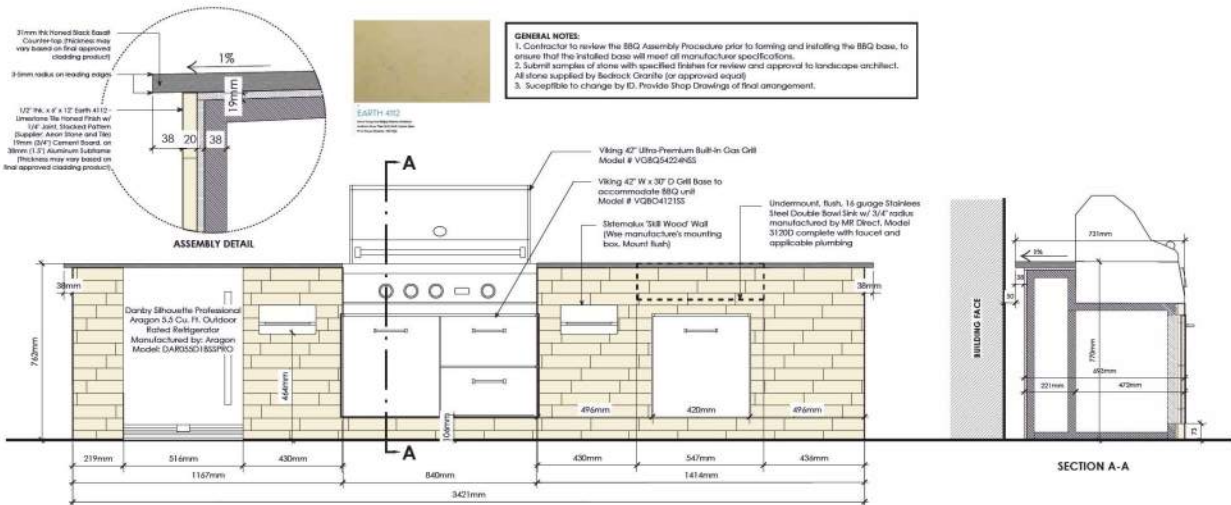
Project:
INSIGNIA EAST + WEST
19545 & 19575 65th Avenue
Surrey, BC

Drawn by: JBT
Checked by: PK
Date: Jul 18, 2022
Scale: 1:10 (Or As Noted)

Drawing Title:
Landscape Softscape Details

Project No.: 17104
Sheet No.:

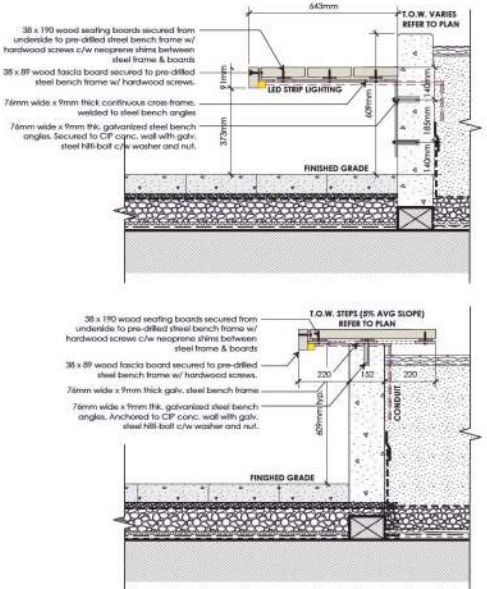
L-3.3



14-01
11.1 Outdoor BBQ + Sink Typical Assembly (Products May Vary)
Scale: NTS

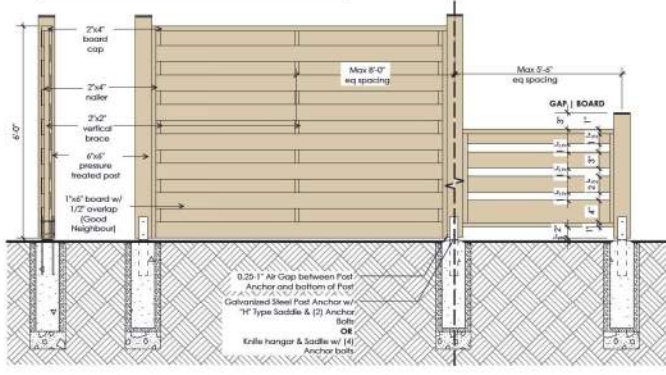
GENERAL NOTES:
1. Contractor to review the BBQ Assembly Procedure prior to forming and installing the BBQ base, to ensure that the installed base will meet all manufacturer specifications.
2. Submit samples of stone with specified finishes for review and approval to landscape architect.
3. All stone supplied by Bedrock Granite (or approved equal).
4. Susceptible to change by IR. Provide Shop Drawings of final arrangement.

GENERAL NOTES:
1. Measure on-site to determine exact dimensions of benchtop prior to fabrication.
2. Submit shop drawings for Landscape Architect review and approval prior to fabrication.
3. Wood can be either pine or Jarrah hardwood.
4. All metal components to be galvanized. All metal parts to be drilled prior to galvanizing.
5. Bench frames are to be welded and mechanical connections. All weld faces to be ground smooth.
6. All hardware to be galvanized unless otherwise noted.
7. Provide shop drawing for all metal work and layout in plan of each segment.
8. Reinforcement drawings to be provided by Structural Engineer.

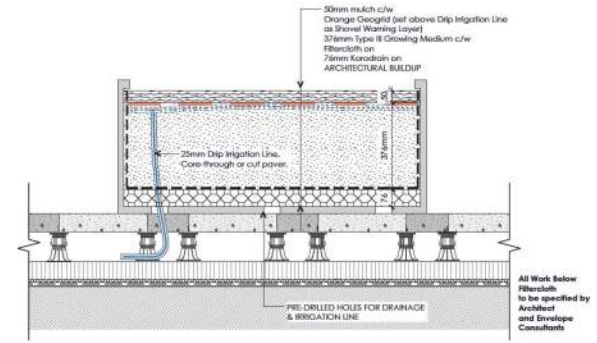


14-02
11.1 Custom Cantilevered & Wall Top Benches
Scale: 1:10

GENERAL NOTES:
1. Modify height of fence as noted on the landscape plans.
2. Confirm all dimensions on site.
3. All fence material to be pressure treated pine.
4. All spikes and fasteners to be hot-dipped galvanized.
5. All Wood Boards to be painted to complement architecture.
6. Apply 2 coats of Benjamin Moore wood paint (Carmel colour w/ AMA)
7. Boards to be painted prior to assembly
8. Fence posts should be placed no further than 8'-0" apart in distance.
9. Evenly space horizontal boards with 1/2" overlap either side



14-05
11.1 6'-0" Ht. Wood Fence (If Required at North P.L.) | 3'-4" Height Wood Ficket (If Required at Park Dedication)
Scale: 1:10



14-03
11.1 Urban Agriculture Planter Buildup (at Roof Deck)
Scale: 1:10

Date	Description	By
13 Jul 18, 2022	DP Renewal	
12 Apr 26, 2022	Planning Review	
11 Feb 25, 2022	Issued for BP	
10 Dec 18, 2019	Plan Review Response	
09 Oct 23, 2019	Plan Review Response	
08 Sep 09, 2019	Re-issued for DP	
07 Jun 24, 2019	Re-issued for DP	
06 Apr 26, 2019	Issued for 19% Tender	
05 Mar 08, 2019	Re-issued for ADP	
04 Jun 14, 2018	Issued for DP	
03 Jun 08, 2018	Issued for DRQ Review	
02 May 05, 2018	Re-issued for DP	
01 Mar 06, 2018	Issued for Reasoning/DP	

no. | date | item:

Revisions:

DK Duranki Kreuk Ltd.
105 - 1837 West 5th Avenue
Vancouver BC V6J 1K5
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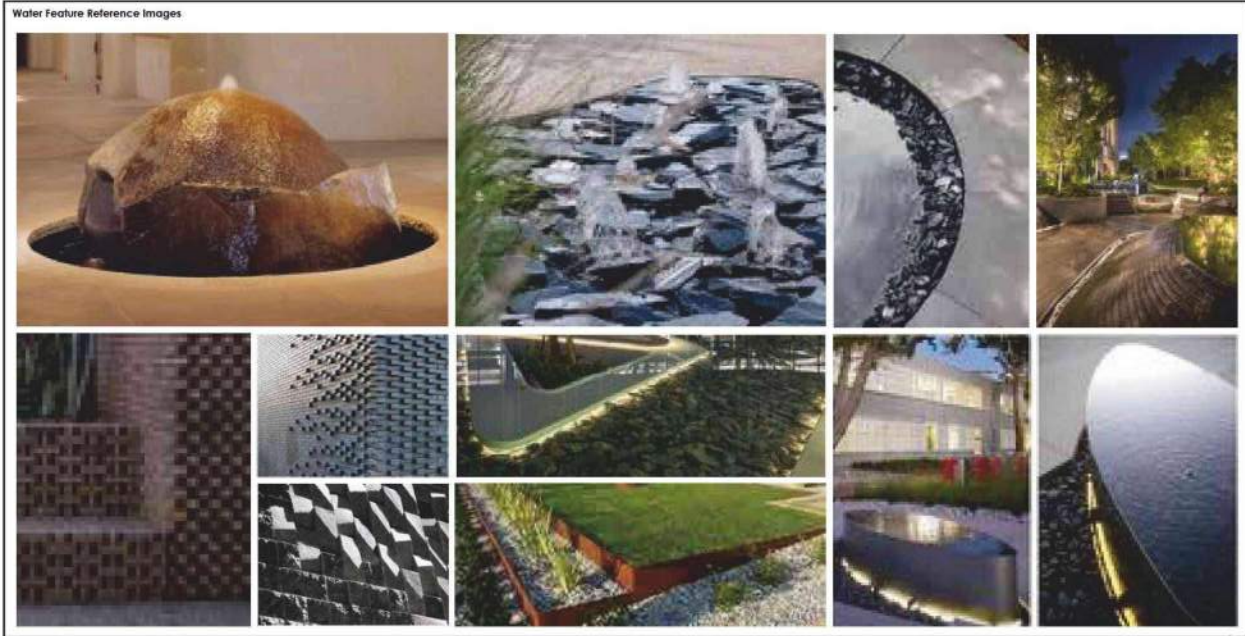


Project:
INSIGNIA EAST + WEST
19545 & 19575 65th Avenue
Surrey, BC

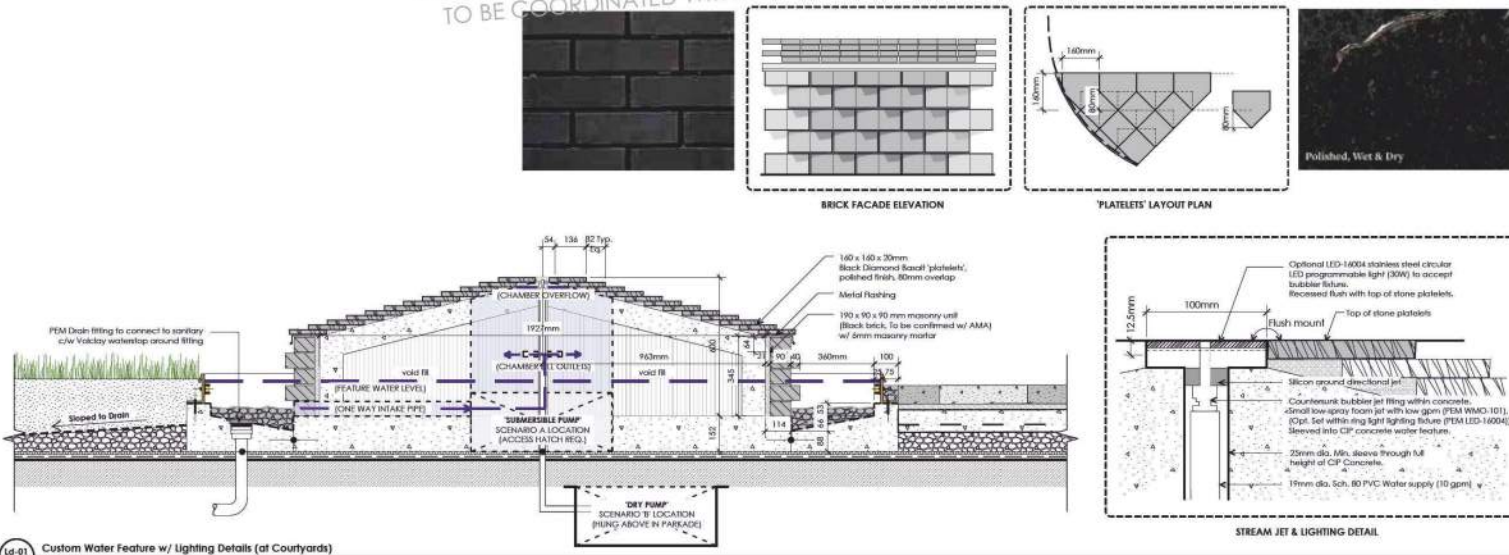
Drawn by: JBT
Checked by: PK
Date: Jul 16, 2022
Scale: As Noted

Drawing Title:
Landscape Fence Details

Project No.:
17104
Sheet No.:



WATER FEATURE IS SCHEMATIC ONLY. TO BE DESIGN-BUILD BY CONTRACTOR. SUGGESTIVE MECHANICAL SYSTEMS TO BE COORDINATED WITH ARCH/MECH CONSULTANTS AT IFT/IFC PROVIDING CLARITY FOR CONTRACTOR



- 13 Jul 18, 2022 DP Renewal
- 12 Apr 26, 2022 Planning Review
- 11 Feb 25, 2022 Issued for IP
- 10 Dec 18, 2019 Plan Review Response
- 09 Oct 23, 2019 Plan Review Response
- 08 Sep 09, 2019 Re-issued for DP
- 07 Jun 24, 2019 Re-issued for DP
- 06 Apr 24, 2019 Issued for IP&K tender
- 05 Mar 08, 2019 Re-issued for DP
- 04 Jun 14, 2018 Issued for ADP
- 03 Jun 08, 2018 Issued for CPO Review
- 02 May 25, 2018 Re-issued for DP
- 01 Mar 06, 2018 Issued for Reasoning/DP

no. | date | item

Revisions:

Shrike Kiosk Ltd.
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www.shrike.ca



Project:
INSIGNIA EAST + WEST
19545 & 19575 65th Avenue
Surrey, BC

Drawn by: JBT
Checked by: PK
Date: Jul 18, 2022
Scale: As Noted

Drawing Title:
Landscape
Custom Water Feature
Details

Project No.:
17104
Sheet No.:

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 18-0072-00 & 22-0026 -00

Address: 19545 & 19575 65 Avenue, Surrey, BC

Registered Arborist: Rhythm Batra, ISA Certified Arborist PN-8932A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	2
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	60
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	1

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

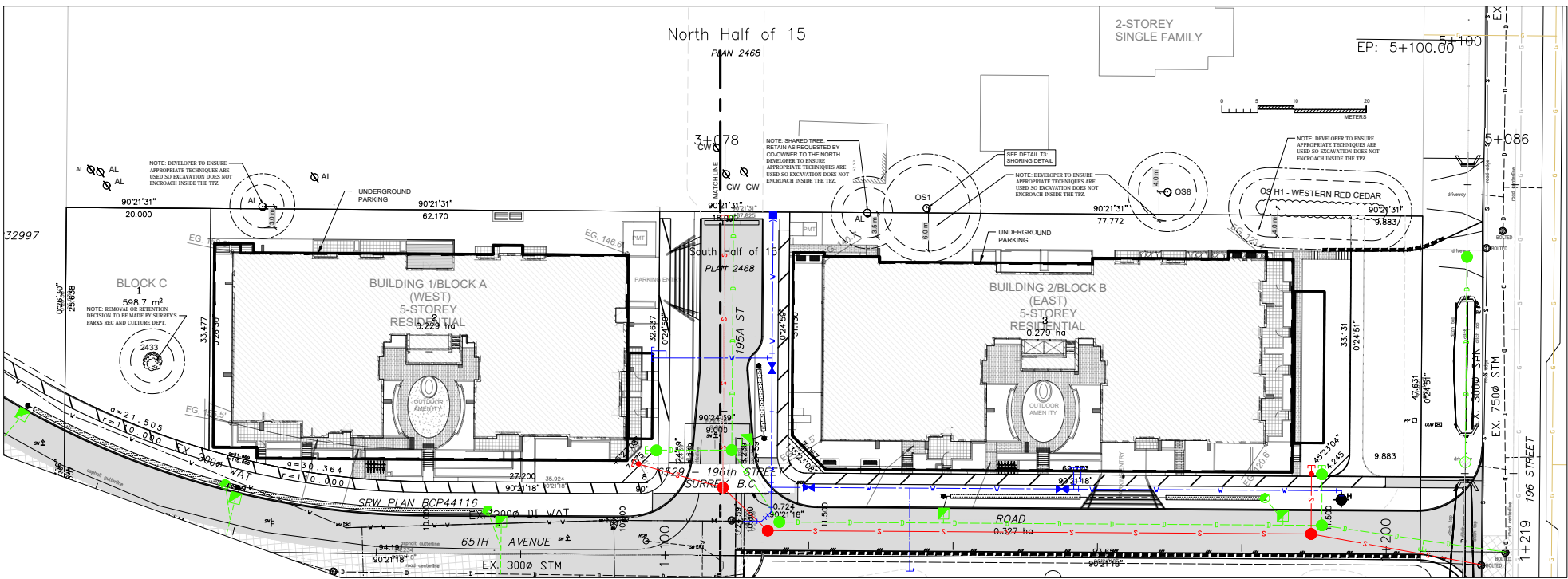
Signature of Arborist:

Date: May 5, 2022



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





North Half of 15
PLAN 2468

2-STORY SINGLE FAMILY

EP: 5+100.00

NOTE: DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

NOTE: SHARED TREE. RETAIN AS REQUESTED BY CC OWNER TO THE NORTH. DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

NOTE: DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

NOTE: DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

AL

AL

3+078

CW CW

SEE DETAIL T3 SHORING DETAIL

NOTE: DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

NOTE: DEVELOPER TO ENSURE APPROPRIATE TECHNIQUES ARE USED SO EXCAVATION DOES NOT ENCRoACH INSIDE THE TPZ.

OS H1 - WESTERN RED CEDAR

32997

BLOCK C

508 7 m²
NOTE: REMOVAL OR RESTORATION DECISION TO BE MADE BY SURREY'S PARKS REC AND CULTURE DEPT.

BUILDING 1/BLOCK A (WEST)
5-STORY RESIDENTIAL
0.279 ha

BUILDING 2/BLOCK B (EAST)
5-STORY RESIDENTIAL
0.279 ha

0°26'30"

25.638

33.477

0°26'30"

25.638

33.477

0°26'30"

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0°26'30"

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33.477

0°26'30"

25.638

33.477

LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  ALDER/COTTONWOOD NOT ASSESSED
-  MINIMUM NO DISTURBANCE ZONE FROM THE EDGE OF THE TREE
-  1.5m EXCAVATION ZONE
-  TO BE ASSESSED BY SURREY PARKS, REC & CUL. DEPT

GENERAL NOTES:

- ALL ONSITE AND OFFSITE TREES TO THE SOUTH ARE TO BE REASSESSED WITH FINAL ROAD CONSTRUCTION DETAILS.
- CONDUCT TREE RISK ASSESSMENT ON ALL EDGE TREES.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JAN17/18	MK	SITE PLAN REVISED	6	JUN07/18	MK	SITE PLAN REVISED	11	JUN07/19	MK	UPDATED SURVEY
2	FEB15/18	MK	SITE PLAN REVISED	7	JUN25/18	MK	SITE PLAN REVISED	12	JUN12/19	MK	CIVIL PLAN
3	APR04/18	MK	SITE PLAN REVISED	8	OCT12/18	MK	UPDATED SURVEY & SITE PLAN REVISED	13	OCT28/19	MK	CIVIL PLAN
4	MAY11/18	MK	SITE PLAN REVISED	9	OCT23/18	MK	SITE PLAN REVISED	14	APR08/22	MK	SITE PLAN
5	MAY16/18	MK	SITE PLAN REVISED	10	MAY23/19	MK	SITE PLAN REVISED	15	MAY03/22	MK	SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

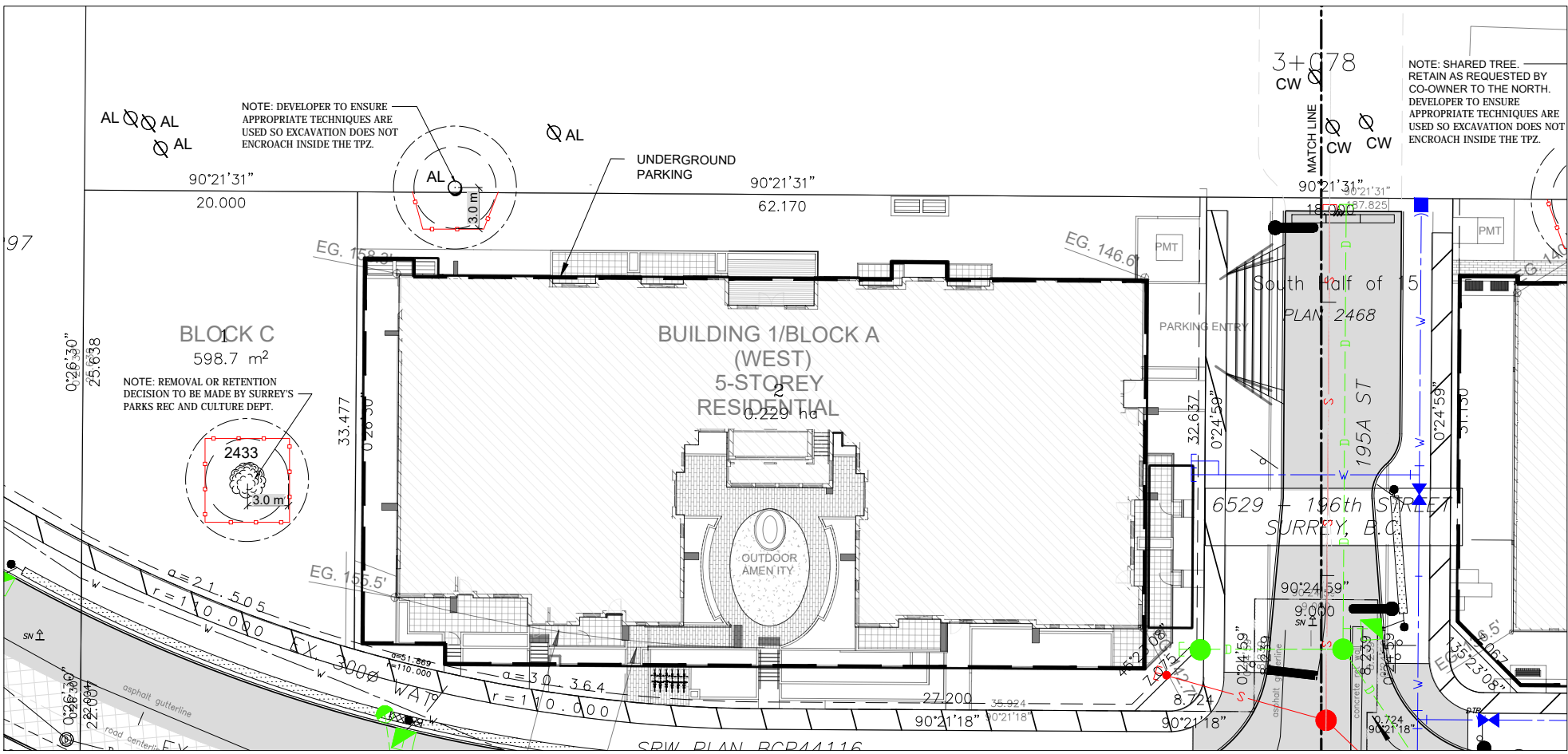
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V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

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PROJECT TITLE
19545 19575 65 AVE
SURREY, B.C.

SHEET TITLE
KEY PLAN - TREE REMOVAL AND PRESERVATION PLAN
DRAWN SGL
SCALE AS SHOWN
DATE MAY 05, 2016

KEY
SHEET 2 OF 8

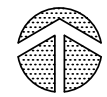
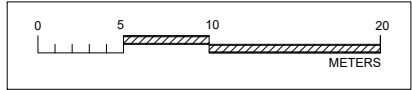


LEGEND

- TREE TO BE RETAINED
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE FROM THE EDGE OF THE TREE
- 1.5m EXCAVATION ZONE
- ALDER/COTTONWOOD NOT ASSESSED
- TO BE ASSESSED BY SURREY PARKS, REC & CUL. DEPT

GENERAL NOTES:

- ALL ONSITE AND OFFSITE TREES TO THE SOUTH ARE TO BE REASSESSED WITH FINAL ROAD CONSTRUCTION DETAILS.
- CONDUCT TREE RISK ASSESSMENT ON ALL EDGE TREES.
- NON BY-LAW TREES HAVE BEEN REMOVED FROM PLANS.
- TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- REASSESS TREES WITH LOT GRADING PLANS.



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JAN17/18	MK	SITE PLAN REVISED	6	JUN07/18	MK	SITE PLAN REVISED	11	JUN07/19	MK	UPDATED SURVEY
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3	APR04/18	MK	SITE PLAN REVISED	8	OCT12/18	MK	UPDATED SURVEY & SITE PLAN REVISED	13	OCT28/19	MK	CIVIL PLAN
4	MAY11/18	MK	SITE PLAN REVISED	9	OCT23/18	MK	SITE PLAN REVISED	14	APR08/22	MK	SITE PLAN
5	MAY16/18	MK	SITE PLAN REVISED	10	MAY23/19	MK	SITE PLAN REVISED	15	MAY03/22	MK	SITE PLAN

MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS

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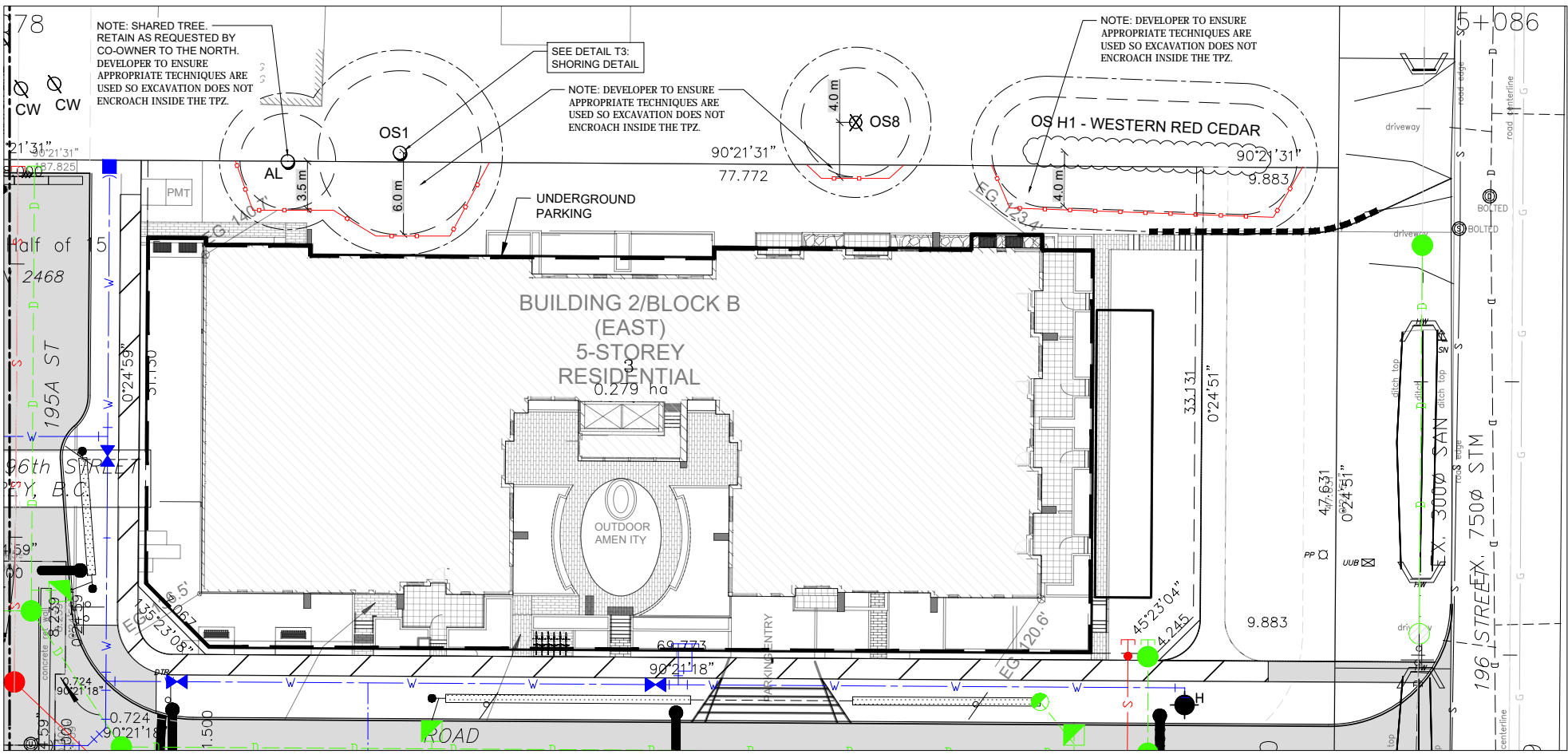
PROJECT TITLE
19545 19575 65 AVE SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN - WEST

CLIENT

DRAWN SGL
SCALE AS SHOWN
DATE MAY 05, 2016

T-2A
SHEET 5 OF 8



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JAN17/18	MK	SITE PLAN REVISED	6	JUN07/18	MK	SITE PLAN REVISED	11	JUN07/19	MK	UPDATED SURVEY
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3	APR04/18	MK	SITE PLAN REVISED	8	OCT12/18	MK	UPDATED SURVEY & SITE PLAN REVISED	13	OCT28/19	MK	CIVIL PLAN
4	MAY11/18	MK	SITE PLAN REVISED	9	OCT23/18	MK	SITE PLAN REVISED	14	APR08/22	MK	SITE PLAN
5	MAY16/18	MK	SITE PLAN REVISED	10	MAY23/19	MK	SITE PLAN REVISED	15	MAY03/22	MK	SITE PLAN

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PROJECT TITLE
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SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN - EAST

CLIENT

DRAWN SGL
SCALE AS SHOWN
DATE MAY 05, 2016

T-2B
SHEET 6 OF 8