

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0358-00

Planning Report Date: June 27, 2022

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

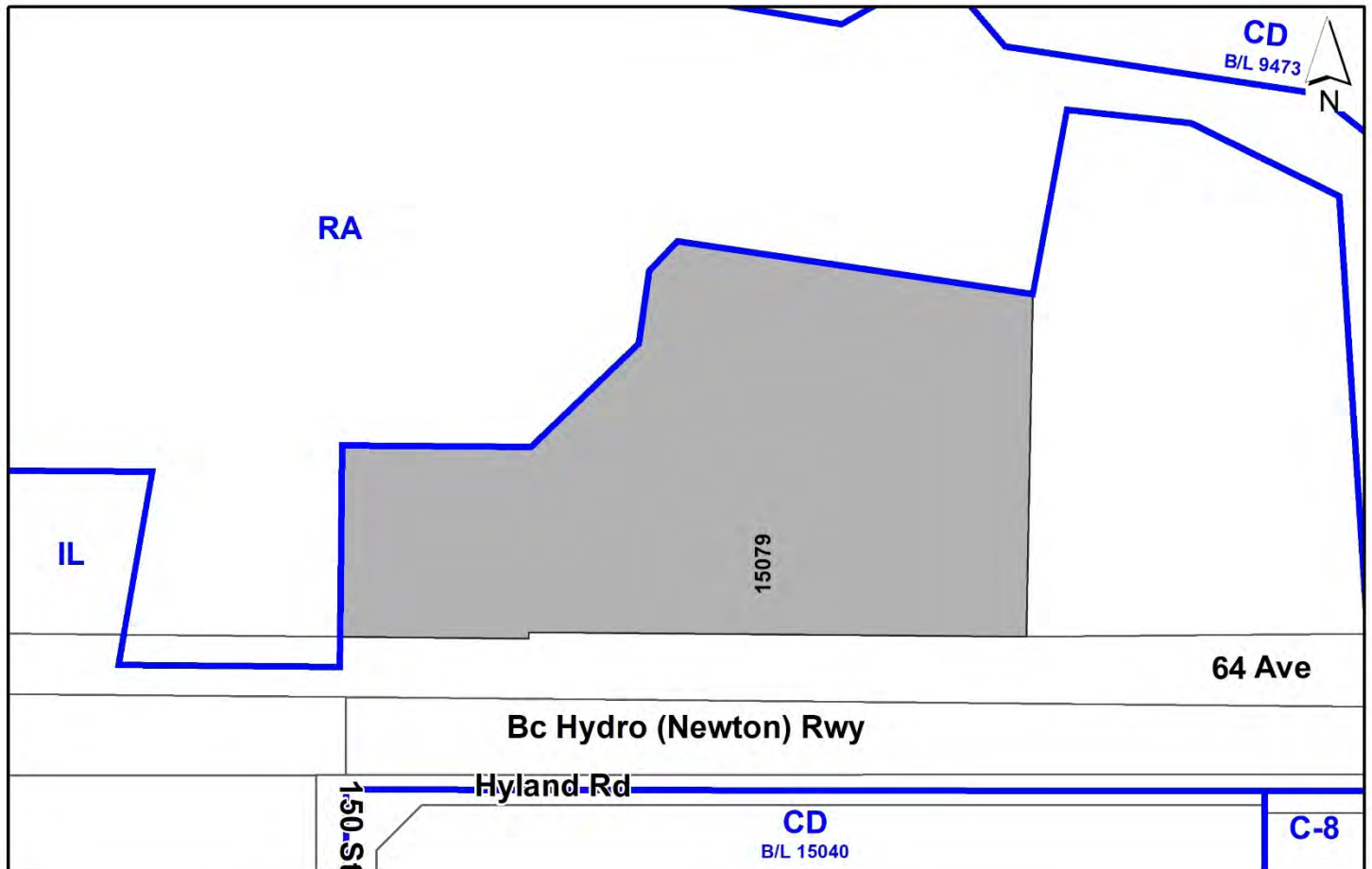
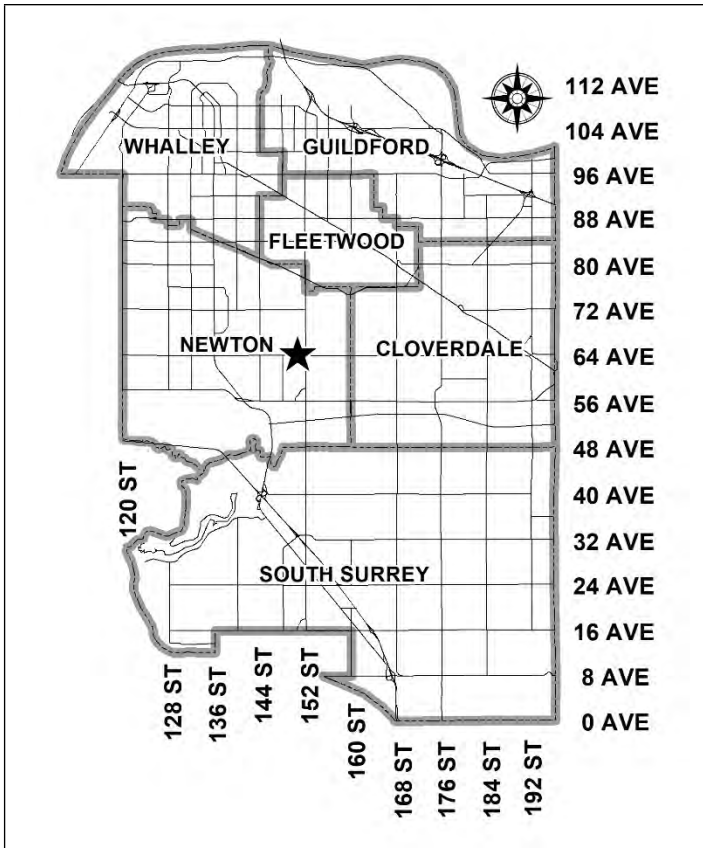
to permit the development of a Telus office and warehouse building of 6,952 square metres

LOCATION: 15079 - 64 Avenue

ZONING: IL

OCP DESIGNATION: Industrial

NCP DESIGNATION: n/a



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character, Hazard Lands and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the front yard setback requirements of the IL Zone from 7.5 metres to 6.7 metres for the parkade structure.
- Proposing to reduce the minimum streamside setback requirements of Part 7A of the Zoning By-law, for a Class A (red-coded) watercourse (Hyland Creek), from 30 metres from top of bank to a varying distance of 2.1 metres to 21.9 metres from top of bank.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Industrial designation in the Official Community Plan (OCP).
- The proposed density and building form are appropriate for this part of Newton. The proposed front yard setback variance is necessary due to the Special Building Setback requirements for lots fronting or flanking an arterial or collector road. In accordance with Part 7 Special Building Setbacks of Zoning By-law No. 12000, building setbacks are to be measured from the ultimate road right of way.
- The proposal partially complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas and Green Infrastructure Area). The subject property is located within the streamside protection area of a Class A watercourse (Hyland Creek) and within Corridor No. 76 of the Biodiversity Conservation Strategy (BCS), and part of the Green Infrastructure Area.
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The applicant's Qualified Environmental Professional (QEP) has submitted an Ecosystem Development Plan and Impact Mitigation Plan, which have been peer-reviewed by an independent, third-party QEP. The reports indicate that the proposed development, even with a reduced setback on the northern portion of the site, will not negatively impact the watercourse or riparian area. There is also a critical infrastructure public utility building already built on the northeast portion of the site, that needs to be retained, and is within Riparian Areas Protection Regulation (RAPR). The RAPR branch at the Province has approved retention of the building.

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- The proposed streamside setback variance will help facilitate the construction of a new 3,755 square-metre office and a 3,197 square-metre warehouse facility. The proposal also includes restoration of 2,371 square metres of riparian area currently encroached upon by storage and parking on the site, and a voluntary contribution of \$170,000 to facilitate watercourse enhancements to the Hyland Creek system.
 - The proposed street setbacks achieve a more urban, pedestrian streetscape in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
 - The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
 - The proposed sign has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development.
 - The proposed sign is high quality and is of an appropriate size and scale for the development.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7921-0358-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan and geotechnical report.
2. Council approve Development Variance Permit No. 7921-0358-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback of the Light Impact Industrial (IL) Zone from 7.5 metres to 6.7 metres to the principal building face of the eastern building; and
 - (b) to reduce the minimum setback distance for a Class A (red-coded) natural stream from 30 metres to 2.1 metres at the narrowest point and 21.9 metres at the widest point.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff, as well as payment of voluntary contribution to the City to facilitate watercourse enhancements in the Hyland Creek system as discussed in this report;
 - (f) submission of a finalized Geotechnical Report and peer review to the satisfaction of the General Manager, Planning and Development Department;
 - (g) submission of a planting plan and cost estimate for replanting within the riparian area that remains on private property to the specifications and satisfaction of the Planning and Development Department;
 - (h) Submission of securities in lieu of demolition to accommodate the applicant's proposed building phasing plan;

- (i) registration of combined Restrictive Covenant/Right-of-way against the portion of the riparian area that remains on private property to ensure safeguarding and maintenance of the riparian area in perpetuity; and
- (j) registration of a right-of-way for public rights-of-passage for drainage access.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Telus warehouse and storage	Industrial	IL
North:	Regent Christian Academy and Hyland Creek riparian area	Urban / Institutional	RA
East:	Superior City Services and one single family dwelling	Industrial	IL
South (Across 64 Avenue):	Townhouses	Urban / Townhouses (15 upa max)	CD By-law No. 15040
West:	Vacant / riparian area (owned by Regent Christian Academy)	Industrial	RA

Context & Background

- The subject 2.2 hectares (5.6 acres) site is located on the north site of 64 Avenue, west of 152 Street. the property is not within a Secondary Land Use Plan and is between the South Newton NCP to the south and the East Newton South NCP to the north. The site is designated Industrial in the Official Community Plan (OCP) and is currently zoned "Light Industrial Zone (IL)". The Telus owned site contains a warehouse and outdoor storage area.
- The current warehouse is proposed to be demolished once construction of the proposed office and a portion of the warehouse building is complete. Subsequently, Phase 2 (warehouse and fleet parkade) will be constructed on the eastern portion of the site. The phasing influenced the design and location of the proposed buildings. Typically, demolition is a requirement before Final Approval, but as retaining the existing building is crucial to the operations until the new building is constructed, securities for the demolition will be collected in lieu.
- The site is subject to a Development Permit for Hazard Lands (Steep Slopes), as well as a Development Permit for Sensitive Ecosystems (Streamside Area & Green Infrastructure Network).
- Hyland Creek, a Class A (red-coded) watercourse, is located along the north property line of the subject site. This area also includes a Green Infrastructure Network corridor.
- The property has a significant grade change (steep slope) extending from south to north located along the northern portion of the site, along the Hyland Creek ravine.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to develop the site under the existing "Light Industrial Zone (IL)", for office, warehouse and parkade (fleet/employee). No plan amendments or rezoning are required. The site is subject to a Development Permit for Form & Character, Hazard Lands (Steep Slope) and Sensitive Ecosystems (Streamside Area & Green Infrastructure Network).
- The proposal complies with requirements for building height and density of the IL Zone, and requests a variance to the south setback, and to the Streamside Setback identified under Part 7A of the Zoning By-law.
- As no subdivision or rezoning is being proposed, no road dedication is required. However, all setbacks are calculated from the ultimate property line, as per Part 7 Special Building Setbacks of Zoning By-law No. 12000, building setbacks are to be measured from the ultimate road right of way. More information on the variance is presented under the Zoning By-law section of this report.
- The gross site area is 22,974 square metres, and total proposed floor area is 15,853 square metres. This includes 3,755 square metres of office space, 3,197 square metres of warehouse area, 8,900 square metres of parkade and the retention of an existing 57-square-metre public utility building. There are 4,738.8 square metres of land considered undevelopable, within 5 metres of the top of bank.

	Proposed
Lot Area	
Gross Site Area:	22,974 square metres
Undevelopable Area:	4,738.8 square metres
Net Site Area:	18,235.2 square metres
Number of Lots:	1
Building Height:	16 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.38
Floor Area	
Office:	3,755 square metres
Warehouse:	3,197 square metres
Parkade:	8,900 square metres
Existing Public Utility Building	57 square metres
TOTAL:	15,853 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	<p>Parks supports the proposed variance to the streamside setbacks and will accept the applicant's voluntary contribution of \$170,000 to facilitate enhancements in the Hyland Creek Corridor.</p> <p>Parks accepts the proposed minimum safeguarding of GIN corridor 76 and would like further discussion about the proposed removal of one additional tree.</p>
Ministry of Forests, Lands, Natural Resource Operations and Rural Development:	Approval to retain a critical infrastructure building that is currently encroaching on the riparian areas protected under Stream Protection and Enhancement Area (SPEA) has been issued by the Ministry of Forests, Lands, Natural Resource Operations and Rural Development.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not reviewed by the ADP, as proposals in Industrial zones are not typically referred unless Planning requires input based on location, visual impact or size. This development is compatible with the expectations of the existing zone and OCP industrial designation. It was reviewed by staff and found satisfactory.

Transportation Considerations

- The site will be accessed via three driveways on 64 Avenue. The two on the eastern portion of the site are proposed mainly for large vehicles and fleet vehicles, with the western one primarily for passenger vehicle access. As the site is proposed to be subdivided, the western driveway will have an access easement to allow for access to the new lot as well.
- There is a one-way drive aisle proposed fronting the building and connecting the main visitor parking lot on the west, to the parkade on the east, to avoid left turns on 64 Avenue while maintaining circulation within the site.
- The site is approximately 130 metres from the bus stop on 64 Avenue for the 364 bus route and 200 metres from the bus stop on 152 Street for the 345 and 375 bus routes. Bike routes are present both on 152 Street and on 64 Avenue.

Natural Area Considerations

- The riparian area at the north portion of the site along Hyland Creek, is not proposed to be conveyed to the City but is proposed to be enhanced and protected through a SROW/Easement combo. More information is provided under the Development Permit section of this report.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following sustainable features:
 - The design of the project incorporates several areas of high albedo roof surfaces which help to mitigate heat island effect, including approximately 460 square metres of solar panel array which shades the roof below, approximately 100 square metres of extensive green roof system on the rooftop, and approximately 160 square metres of landscaped amenity space on the rooftops of the second and third floors.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- Proposal complies with Industrial designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- Proposal complies with Industrial designation in the Official Community Plan (OCP).

Themes/Policies

- C1.10 Protect natural watercourses from encroaching development and enhance and improve where necessary.

(The proposal will enhance and restore a 2,371 square metres of riparian area currently encroaching on the Stream Protection and Enhancement Area (SPEA). The applicant is also proposing a voluntary contribution of \$170,000 for further enhancements along the Hyland Creek system).

- C1.34 Encourage upgrading of existing buildings during alterations, additions, or redevelopment to accommodate infrastructure for solar hot water and/or electric vehicle charging stations.

(The proposal includes several solar panels to be located on the rooftop of the parkade).

- D1.1 Utilize the Ecosystem Management Strategy and the Biodiversity Conservation Strategy (as amended) to guide the management and protection of Surrey's diverse ecosystems.

(The GIN corridor along Hyland Creek is proposed to be protected through this proposal. The GIN corridor is smaller than the Stream Protection and Enhancement Area (SPEA) and will not be affected by the requested variance to Part 7A of the Zoning By-law).

- D1.9 Encourage ecological restoration of riparian and/or significant natural areas to improve stream health, to support biodiversity and to improve ecological health of the Green Infrastructure Network.

(The proposal will enhance and restore 2,371 square metres of riparian area currently encroaching on the Stream Protection and Enhancement Area (SPEA). The applicant is also proposing a voluntary contribution of \$170,000 for further enhancements along the Hyland Creek system).

- D.22 Incorporate bird-friendly designs and material specifications into Development Permit Guidelines to help reduce window collisions and bird deaths in urban areas.

(The glass will be bird safe to minimize the potential for bird collisions).

- D2.4 Require geotechnical assessments for development and capital projects on slopes steeper than 20 percent (20%). The location and boundaries of known Steep Slope Hazard Lands are shown conceptually (see Figure 38). These approximate locations may be revised with additional study or as development proceeds.

(The applicant has submitted a geotechnical assessment which demonstrates the proposed development does not encroach on the slope stability area).

- E1.5 Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare.

(The proposal is a more intense utilization of the lands than the existing condition, increasing the number of jobs on the site, as well as providing riparian rehabilitation).

- E2.2 Promote economic development to achieve and maintain a balanced ratio of one job for every member of Surrey's labour force.

(The proposal includes 3,755 square metres of office space and 3,197 square metres of warehouse space, which will provide significantly more jobs than the existing warehouse).

Zoning By-law

- The applicant proposes to develop under the existing Light Impact Industrial Zone (IL).
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Light Impact Industrial Zone (IL)", streamside setbacks and parking requirements.

IL Zone (Part 48)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.00	0.38
Lot Coverage:	60%	31%
Yards and Setbacks		
North:	7.5 metres	37 metres
East:	7.5 metres	10 metres
South:	7.5 metres	6.7 metres (DVP)
West:	7.5 metres	75 metres
Height of Buildings		
Principal buildings:	18 metres	16 metres
Accessory buildings:	6 metres	n/a
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class A (red-coded) Stream:	30 metres	2.1 metres to 21.9 metres (DVP)
Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial:	94 spaces	94 spaces
Industrial:	32 spaces	214 spaces
Total:	126 spaces	308 spaces

Setback Variance

- The applicant is requesting the following variances:
 - to reduce the minimum front yard setback of the IL Zone from 7.5 metres to 6.7 metres to the principal building face; and
- The proposed setback will assist in creating an adequate space for riparian protection along the north portion of the site by moving the parkade building closer to the street. This is a small variance of 0.8 metres, and does not impact the public realm, as there is adequate landscape along the south portion of the site.
- The proposed front yard setback variance is necessary due to the Special Building Setback requirements for lots fronting or flanking an arterial or collector road. In accordance with Part 7 Special Building Setbacks of Zoning By-law No. 12000, building setbacks are to be measured from the ultimate road right of way.
- Staff support the requested variance to proceed for consideration.

Streamside Variance

- The applicant is requesting the following streamside variance:
 - to reduce the minimum setback distance for a Class A (red-coded) stream from 30 metres to 2.1 metres at the narrowest point, and 21.9 metres at the widest point.

- The site proposes to protect the GIN corridor and provide Stream Protection and Enhancement Area (SPEA) protection but requests a streamside setback variance to the Zoning Bylaw. This is proposed to maximize the use of industrial land. The site has some restrictions regarding phasing and where the buildings could be placed, and the proposal does include significant onsite riparian restoration, as well as a voluntary cash contribution for enhancements along the Hyland Creek corridor. This proposal will greatly improve on existing conditions by restoring 2,371 square metres of riparian area which is currently used for storage and parking.
- Staff support the requested variance to proceed for consideration.

Public Art Policy

- The Public Art contribution will not be required as no rezoning is being proposed.

PUBLIC ENGAGEMENT

- Pre-notification letters were not sent as the proposal does not include a rezoning application. A Development Proposal Sign was installed on May 17, 2022. Staff received no responses.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse which flows along the northern portion of the site. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 30 metres, as measured from the top of bank. The proposed setbacks do not comply with the requirements outlined in the Zoning By-law, and a variance is being requested.
- The riparian area will remain privately owned and be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- The applicant has submitted a request to the Ministry of Forests, Lands, Natural Resource Operations and Rural Development to retain the critical infrastructure building at the northeast portion of the site that encroaches on the Stream Protection and Enhancement Area (SPEA). The building is 57 square metres and is proposed to be retained in its current location. The Ministry has approved the request, and the remainder of the proposal complies with the Stream Protection and Enhancement Area (SPEA).

- An Ecosystem Development Plan, prepared by Ryan Preston, *R.P. Bio.*, of BlueLines Environmental Ltd and dated May 26, 2022, was reviewed by staff and peer reviewed by Daniel McAllister, M.Sc., P.Ag. of Ecologic Consultants, and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the northern portion of the site, along Hyland Creek. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Green Timbers BCS management area, with a Medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60 meters. The BCS recommends a target Hub Area of approximately 4,922 square meters or 21 % of the subject property.
- The development proposal conserves/enhances 7,001 square meters of the subject site through protection of approximately 4,700 square metres of the site, and Habitat Enhancement with Ecological Reclamation works on 2,371 square metres of the site in addition to providing Providing Cash in Lieu for off site BCS enhancements in the amount of \$170,000 as a voluntary Parks contribution. The funds are to be used for other enhancements along the Hyland Creek system. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- As the RAPR and Stream Protection and Enhancement Area (SPEA) setbacks are larger than the GIN corridor for most of the site, the BCS objectives are being met through this proposal.
- An Ecosystem Development Plan, prepared by Ryan Preston, *R.P. Bio.*, of BlueLines Environmental Ltd and dated May 26, 2022, was reviewed by staff and peer reviewed by Daniel McAllister, M.Sc., P.Ag. of Ecologic Consultants, and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.

- The site is mostly flat, except for the area directly adjacent to Hyland Creek. The geotechnical line is within the RAPR boundary, so no additional setback is required for slope stability.
- A geotechnical report, prepared by Kevin Bodnar, *P. Eng.*, of Geopacific Consultants and dated June 18, 2021, was found to be generally acceptable. The report was reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands. A peer review will be submitted before Final Approval. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development and proposes recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including no development within the boundary set on the report, which is within the RAPR setback and not proposed to be developed.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The proposal is comprised of two buildings connected to each other via a rooftop vehicular bridge for parking. The westerly building is made up of two programs: an office portion on the west, and a warehouse portion on the east. The easterly building is an above-grade parkade structure.
- The applicant has worked with staff to improve the public interface, particularly along 64 Avenue to enhance the front drive aisle with specialty paving and landscape buffering to minimize its visual impact . Riparian enhancement areas, as well as the existing building location and the phasing of the construction were large constraints on the site leading to the facilitation of the drive aisle location

- The driveway parallel to 64 Avenue proposed along the front of the main building was not the preferred location for a driveway by staff. After discussing all the options and site constraints—mainly the riparian area at the north portion, as well as the location of the existing building and phasing plans, which restricted the location of the proposed buildings, staff worked with the applicant to enhance as much as possible the interface, with landscaping and specialty paving.
- The new building provides human scale to the streetscape with its variation of wall planes, building height and façade treatment from one end to other delineating active office spaces and work areas using a combination of transparent window glazing and solid concrete and metal paneling. The interconnected above-grade parkade structure complements the streetscape with its combination of perforated metal screening and vertically mounted photovoltaic panels to conceal vehicles. Further visual interest stems from the architectural detailing that both aesthetically enhances the building and offers building performance in the forms of solar shading louver and the photovoltaic panels used as a façade.
- The roof has a combination of parking, solar panel array, high albedo roofing material and 314 square metres of area for a green roof.
- The proposed design incorporates several architectural design gestures to avoid excessive heat gain in addition to the solar panels, high albedo roofing material and green roof. These include passive strategies such as overhangs and shading devices at the south façade, as well as a reduction in the overall window to wall ratio to achieve the project's energy performance goals.
- There is one fascia sign and one free-standing sign proposed, both of high quality and well-integrated with the architecture of the building. Both signs comply with the Sign By-law.

Landscaping

- Landscaping is comprised of a landscape buffer along the east, west and south property lines. East and west buffers are 1.5 metre wide, and the one along 64 Avenue varies from 2.8 metres on the west, to 6.4 metres on the east. The northern portion of the site is mostly riparian area.
- Tree islands are positioned in the surface parking area to reduce the urban heat island effect and allow visual relief of the area.
- The proposal includes an outdoor amenity space adjacent the riparian area on the northwest portion of the site, behind the office building.
- The new trees on the site will consist of a variety of trees including Columnar Armstrong Maple, October Glory Maple, Autumn Brilliance Serviceberry, Forest Pansy Redbud, Fastigiata or Dawyck Beech, London plane Tree, Douglas Fir, Ornamental Pear, Western Red Cedar, and a variety of shrubs.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include treatment of the north wall of the office building and enhancements along 64 Avenue where the drive aisle is.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Calvin Wagner, ISA Certified Arborist of Diamond Head prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
American Ash	7	1	6
London Plane	6	4	2
Coniferous Trees			
Pine spp.	19	13	6
Eastern White Cedar	1	1	0
Total (excluding Alder and Cottonwood Trees)	33	19	14
Additional Trees in the Riparian Area	32	1	31
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		60	
Total Retained and Replacement Trees		74	
Contribution to the Green City Program		n/a	

- The Arborist Assessment states that there are a total of 33 mature trees on the site, with no Alder and Cottonwood trees. It was determined that 14 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- Table 1 includes an additional 32 protected trees that are located within the riparian area. The trees within the riparian area will be retained, except where removal is required due to hazardous conditions. Currently one tree is proposed for removal within the riparian area. Further consultation with Parks staff will determine if removal is necessary.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) is required for the monitoring and maintenance of the proposed trees to be planted in the riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 38 replacement trees on the site. The applicant is proposing 60 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Columnar Armstrong Maple, October Glory Maple, Autumn Brilliance Serviceberry, Forest Pansy Redbud, Fastigate or Dawyck Beech, London plane Tree, Douglas Fir, Ornamental Pear, Western Red Cedar, and a variety of shrubs.
- In summary, a total of 74 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey and Tree Preservation
Appendix IV.	Development Variance Permit No. 7921-0358-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

LFM/cm

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

TELUS PARK SURREY
 15079 64 AVENUE, SURREY, BC
 RE-ISSUED FOR DEVELOPMENT PERMIT
 JUNE 15TH, 2022
 JOB NUMBER: 2728

ARCHITECTURAL:

- DP001 COVER
- DP002 SHADOW STUDIES
- DP101 SITE CONTEXT PLAN
- DP102 SITE BASE PLAN
- DP103 SITE DEMO PLAN
- DP104 OVERALL SITE PLAN
- DP105 ENLARGED SITE PLAN
- DP106 ENLARGED SITE PLAN
- DP107 FENCE PLAN
- DP108 FIRE TRUCK ACCESS PLAN
- DP109 SITE DETAILS
- DP110 SITE DETAILS
- DP201 OFFICE/WAREHOUSE MAIN FLOOR
- DP202 OFFICE/WAREHOUSE SECOND FLOOR
- DP203 OFFICE/WAREHOUSE THIRD FLOOR
- DP204 PARKADE LEVEL 1
- DP205 PARKADE LEVEL 2
- DP206 PARKADE LEVEL 3
- DP207 PARKADE LEVEL 4
- DP208 ROOF PLAN
- DP301 OVERALL BUILDING ELEVATIONS
- DP302 OFFICE/ WAREHOUSE ELEVATIONS
- DP303 OFFICE/ WAREHOUSE ELEVATION
- DP304 PARKADE ELEVATIONS
- DP305 ELEVATIONS (COLOURED)
- DP306 ELEVATIONS (COLOURED)
- DP307 RENDERINGS
- DP401 BUILDING SECTIONS
- DP402 PARKADE SECTIONS

ELECTRICAL:

- E-2030 SITE EXTERIOR LIGHTING PLAN

CIVIL:

- 1 PRELIMINARY GRADING PLAN
- 2 PRELIMINARY SERVICING PLAN

LANDSCAPE:

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE SHRUB PLAN
- L3 LANDSCAPE SHRUB PLAN
- L4 LANDSCAPE DETAILS

SIGNAGE:

- 1 ELEVATIONS
- 2 SG-1
- 3 SG 3
- 4 SITE PLAN



PRIME CONSULTANT:

DESIGN CONSULTANT:

**MECHANICAL
ELECTRICAL
SUSTAINABILITY:**

CIVIL:

LANDSCAPE:

SIGNAGE:



201, 10217 - 106 Street NW
Edmonton, AB T5J 1H5
WEAREPLANWORKS.CA
780.643.3233



340 12 Ave. SW., Suite 1180,
Calgary, AB, Canada T2R 1L5
lemay.com
403.245.3089



Suite 101 - 1019 Wharf St
Victoria, BC Canada V8W 2Y9
www.integralgroup.com
250.418.1288



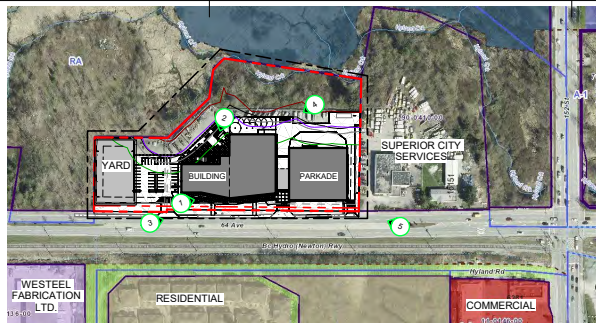
201-12448 82nd Avenue,
Surrey, BC, V3W 3E9
WWW.APLINMARTIN.COM
604.597.9058



C100 4185 Still Creek Drive
Burnaby BC V5C 6G9
www.pmglandscape.com
604.294.0011



14928 56th Ave, Suite 309, Surrey
BC, Canada V3S 2N5
www.pattisonsign.com
604.787.7321



1 RENDERING KEYPLAN
 DP307 SCALE: 1:2000



VIEW 1: BUILDING ENTRANCE



VIEW 2: NORTH LANDSCAPING



VIEW 3: 64 AVENUE VIEW



VIEW 4: NORTH VIEW



VIEW 5: PARKADE EAST VIEW

DESIGN CONSULTANT

lemay

PRIME CONSULTANT, ARCHITECT



CLIENT



CONTRACTOR



PLANNING CONSULTANT



LANDSCAPE ARCHITECT



SEALS



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PROJECT TITLE

TELUS PARK
 SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 0

#	DATE	DESCRIPTION
0	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
1	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
2	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
3	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
4	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
5	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
6	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
7	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
8	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
9	22/06/25	ISSUED FOR DEVELOPMENT PERMIT
10	22/06/25	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1:2000

DRAWN BY: DK

CHECKED BY/QA: MP

PROJECT NO: 2728

DRAWING CONTENTS

RENDERINGS

SHEET NUMBER

DP307



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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/06/25	RESUBMITTED FOR DEVELOPMENT PERMIT
5	22/06/25	RESUBMITTED FOR DEVELOPMENT PERMIT
4	22/06/21	RESUBMITTED FOR DEVELOPMENT PERMIT
3	22/06/15	RESUBMITTED FOR DEVELOPMENT PERMIT
2	22/06/15	RESUBMITTED FOR DEVELOPMENT PERMIT
1	22/06/15	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1 : 750

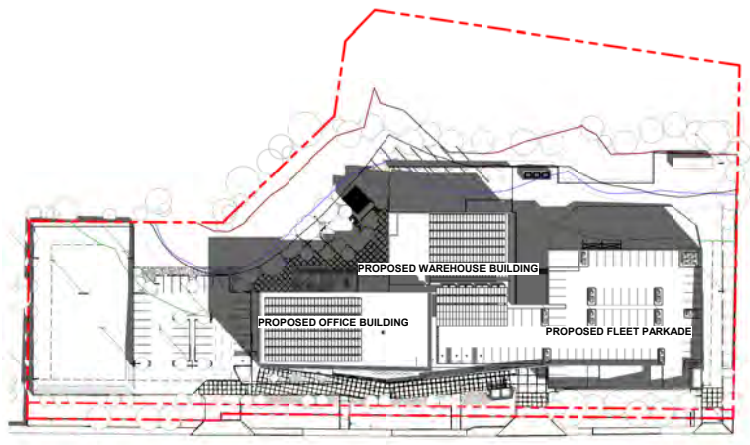
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CHECKED BY/QA: Checker

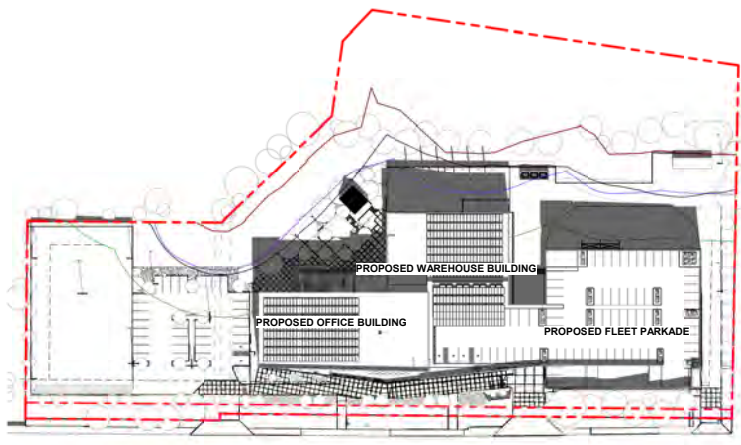
PROJECT NO: 2728

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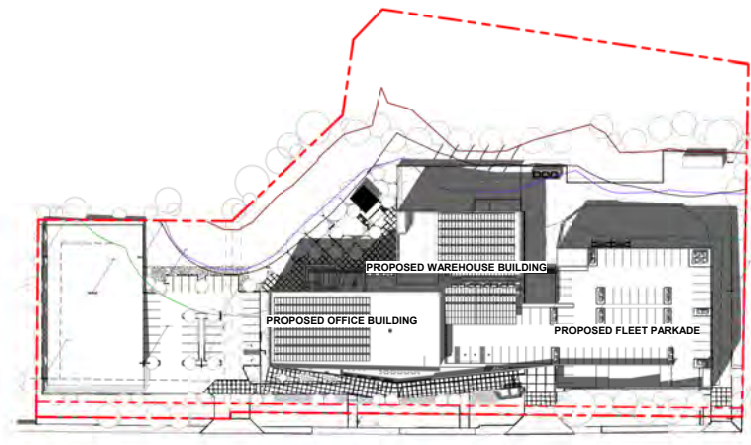
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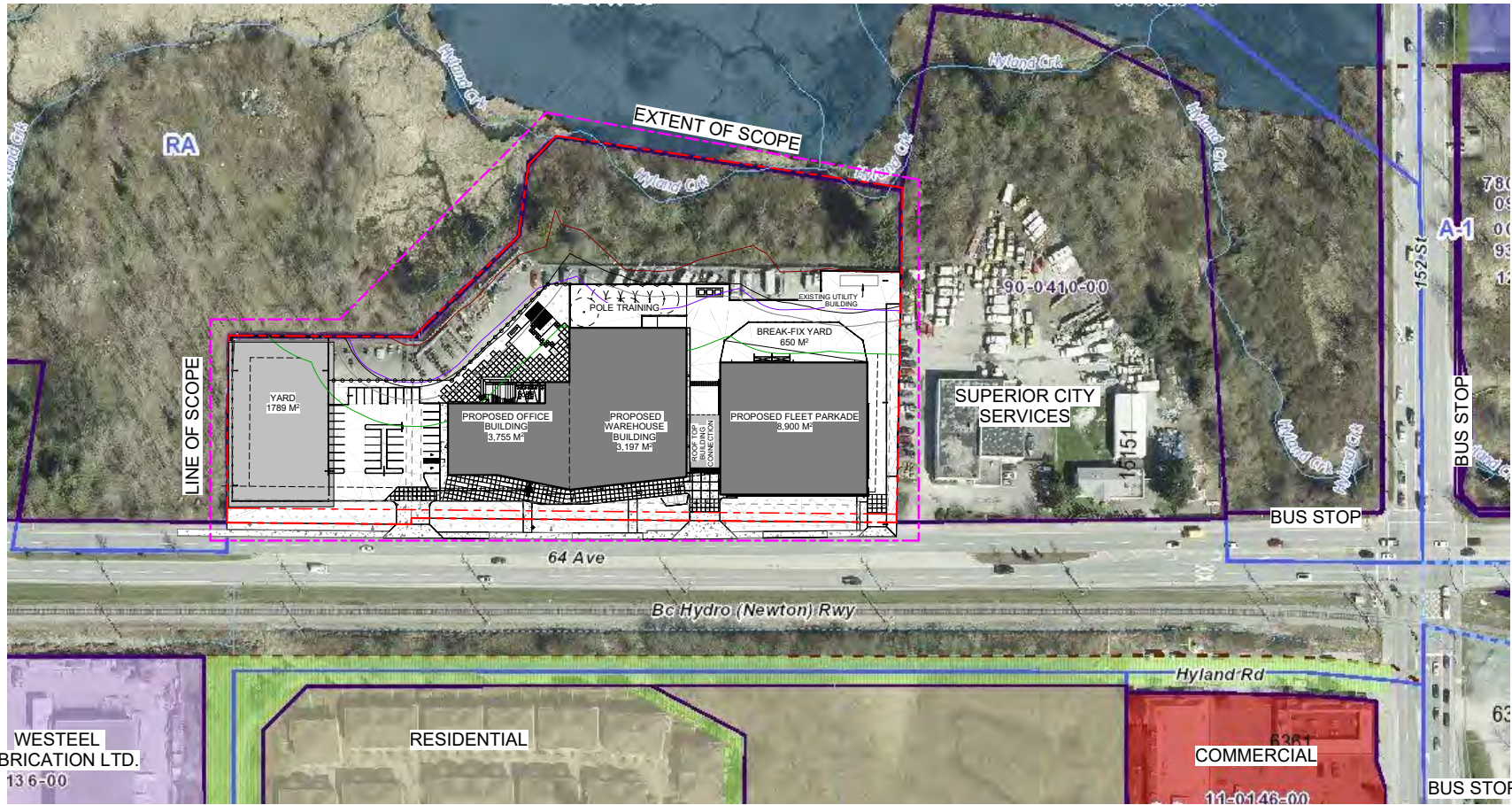
EQUINOX 10:00AM



EQUINOX 12:00PM



EQUINOX 2:00PM



WESTEEL
FABRICATION LTD.
13 6-00

RESIDENTIAL

COMMERCIAL

1 SITE CONTEXT PLAN
DP107 SCALE: 1 : 700

NORTH

DESIGN CONSULTANT
lemay
PRIME CONSULTANT, ARCHITECT
FLORIAN

CLIENT
TELUS

CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT
b&a

LANDSCAPE ARCHITECT
pmg



- NOTES
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PROJECT TITLE
TELUS PARK SURREY
15079 64 AVENUE, SURREY, BC

ISSUE: 6

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3	22/09/25	RE-ASSES FOR DEVELOPMENT PERMIT
2	22/09/25	RE-ASSES FOR DEVELOPMENT PERMIT
1	22/09/25	RE-ASSES FOR DEVELOPMENT PERMIT

SCALE: 1 : 700
DRAWN BY: DK
CHECKED BY/QA: MP
PROJECT NO: 2728

DRAWING CONTENTS
SITE CONTEXT PLAN

SHEET NUMBER
DP107

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15079 64 AVENUE, SURREY, BC

ISSUE: 6

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4	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
3	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
2	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
1	21/11/24	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1 : 400

DRAWN BY: DK

CHECKED BY/QA: MP

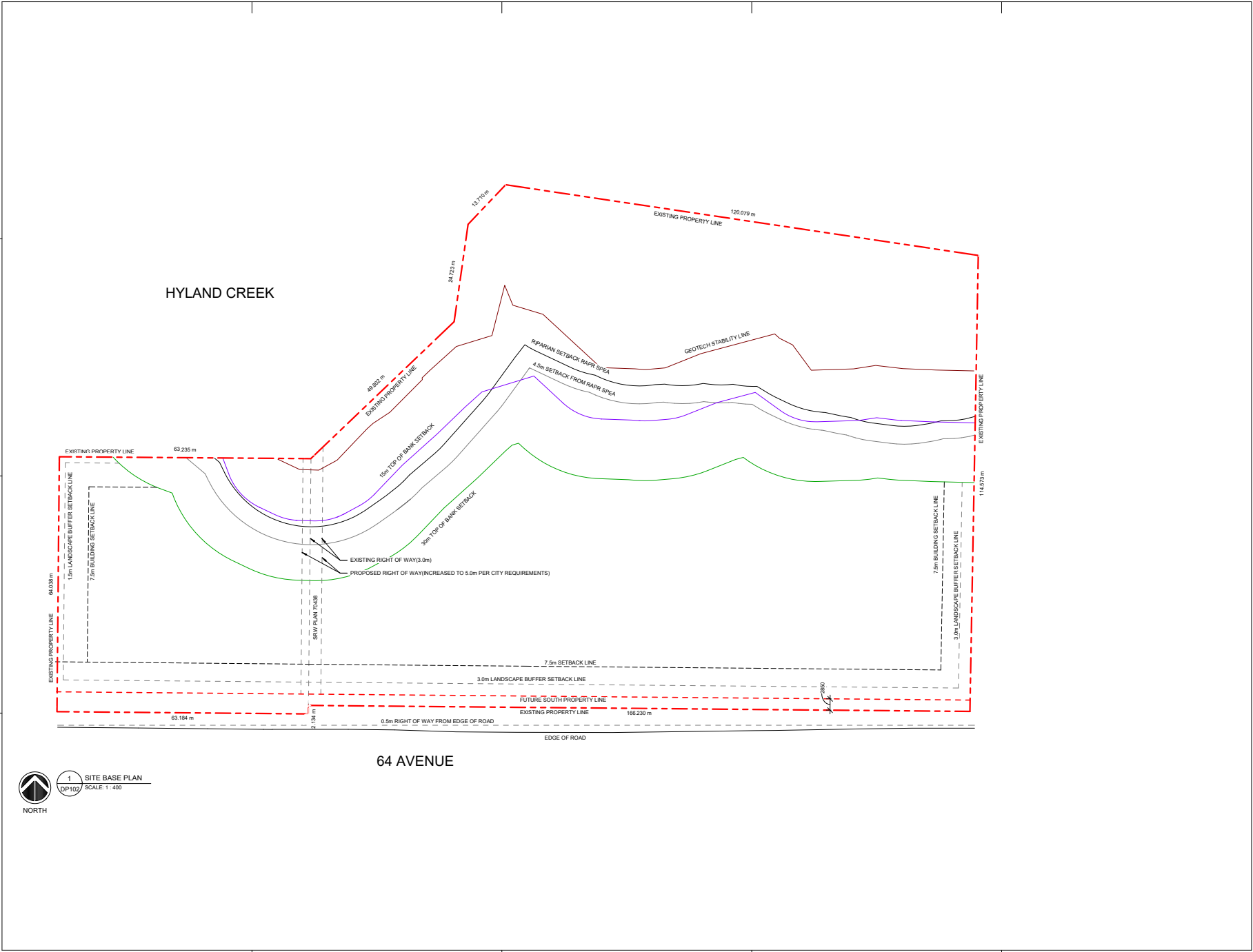
PROJECT NO: 2728

DRAWING CONTENTS

SITE BASE PLAN

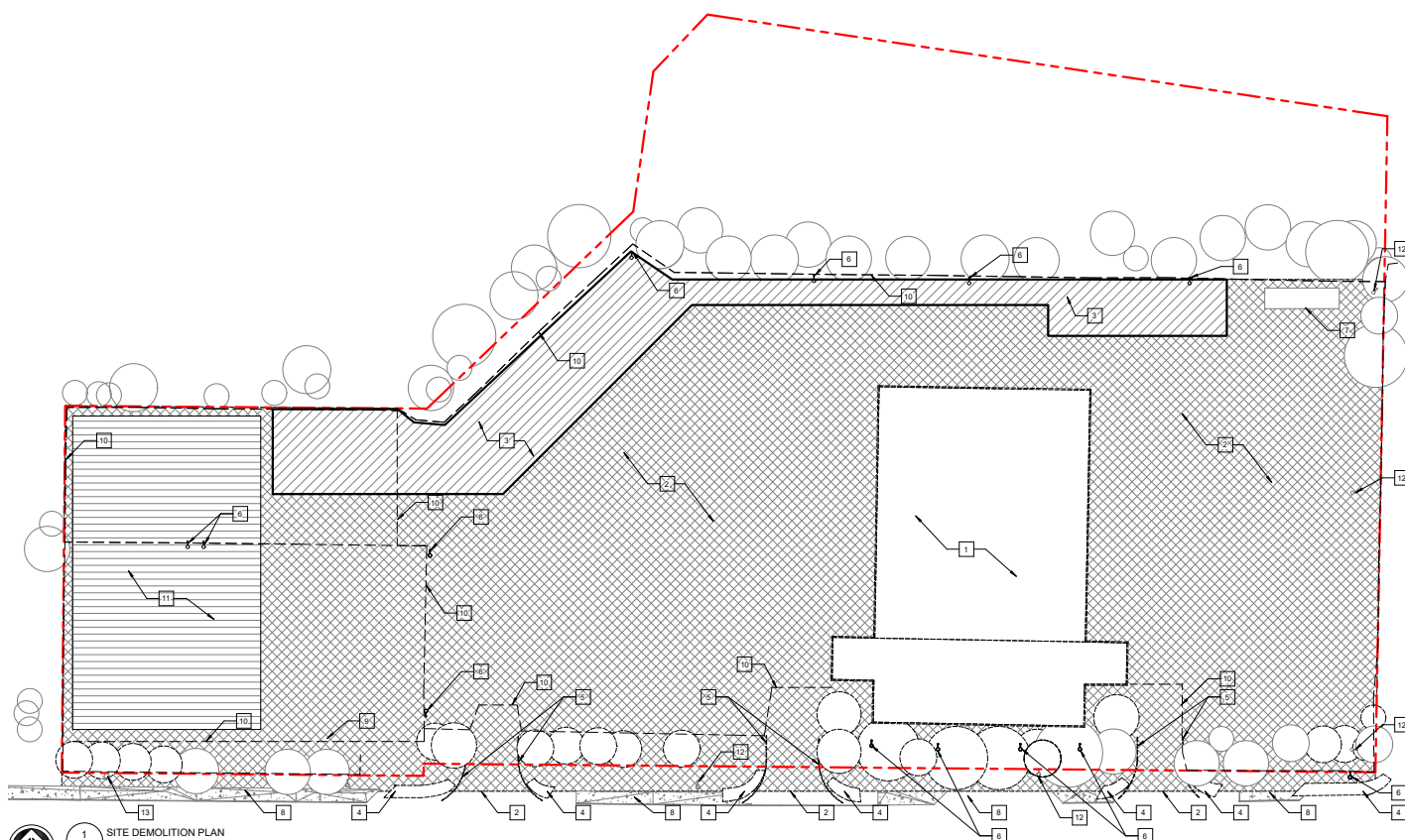
SHEET NUMBER

DP102



1 SITE BASE PLAN
 DP102 SCALE: 1 : 400

64 AVENUE



1 SITE DEMOLITION PLAN
 DP103 SCALE: 1 : 400
 NORTH

SITE PLAN LEGEND

	EXISTING ASPHALT/SITE WORK TO BE DEMOLISHED
	EXISTING ASPHALT/SITE WORK TO REMAIN
	EXISTING ASPHALT TO BE RETURNED TO NATURAL AREA
	EXISTING CONCRETE
	EXISTING TREE
	TREE TO BE REMOVED

DEMOLITION KEYNOTES

1	EXISTING BUILDING TO BE DEMOLISHED
2	EXISTING ASPHALT TO BE DEMOLISHED INCLUDING ASSOCIATED WHEEL STOPS, CURBS AND BOLLARDS. MAKE SITE READY FOR REGRADING, ASPHALT, AND NEW BUILDING CONSTRUCTION.
3	EXISTING ASPHALT TO BE DEMOLISHED AND RESTORED BACK TO NATURAL NATURAL RIPARIAN AREA (1770m ²)
4	EXISTING SIDEWALK TO BE DEMOLISHED
5	EXISTING CURBS TO BE DEMOLISHED
6	EXISTING STREET LIGHT TO BE DEMOLISHED
7	EXISTING PUBLIC UTILITY BUILDING TO REMAIN
8	EXISTING SIDEWALK TO REMAIN
9	EXISTING CURBS TO REMAIN
10	EXISTING FENCE TO BE DEMOLISHED C/W ALL ASSOCIATED GATES, RECEPTACLES, AND CARD READERS
11	EXISTING ASPHALT AREA IN THE EXISTING YARD TO REMAIN
12	EXISTING LIGHT STANDARD TO REMAIN
13	EXISTING FIRE HYDRANT

SEALS

	LANDSCAPE ARCHITECT
	PLANNING CONSULTANT

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/08/15	RE-ASSSES FOR DEVELOPMENT PERMIT
5	22/08/15	RE-ASSSES FOR DEVELOPMENT PERMIT
4	22/08/15	RE-ASSSES FOR DEVELOPMENT PERMIT
3	22/08/15	RE-ASSSES FOR DEVELOPMENT PERMIT
2	22/08/15	RE-ASSSES FOR DEVELOPMENT PERMIT
1	22/08/15	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1 : 400
DRAWN BY: DK
CHECKED BY/QA: MP
PROJECT NO: 2728

DRAWING CONTENTS

SITE DEMO PLAN

SHEET NUMBER

DP103

DESIGN CONSULTANT
lemay
 PRIME CONSULTANT, ARCHITECT

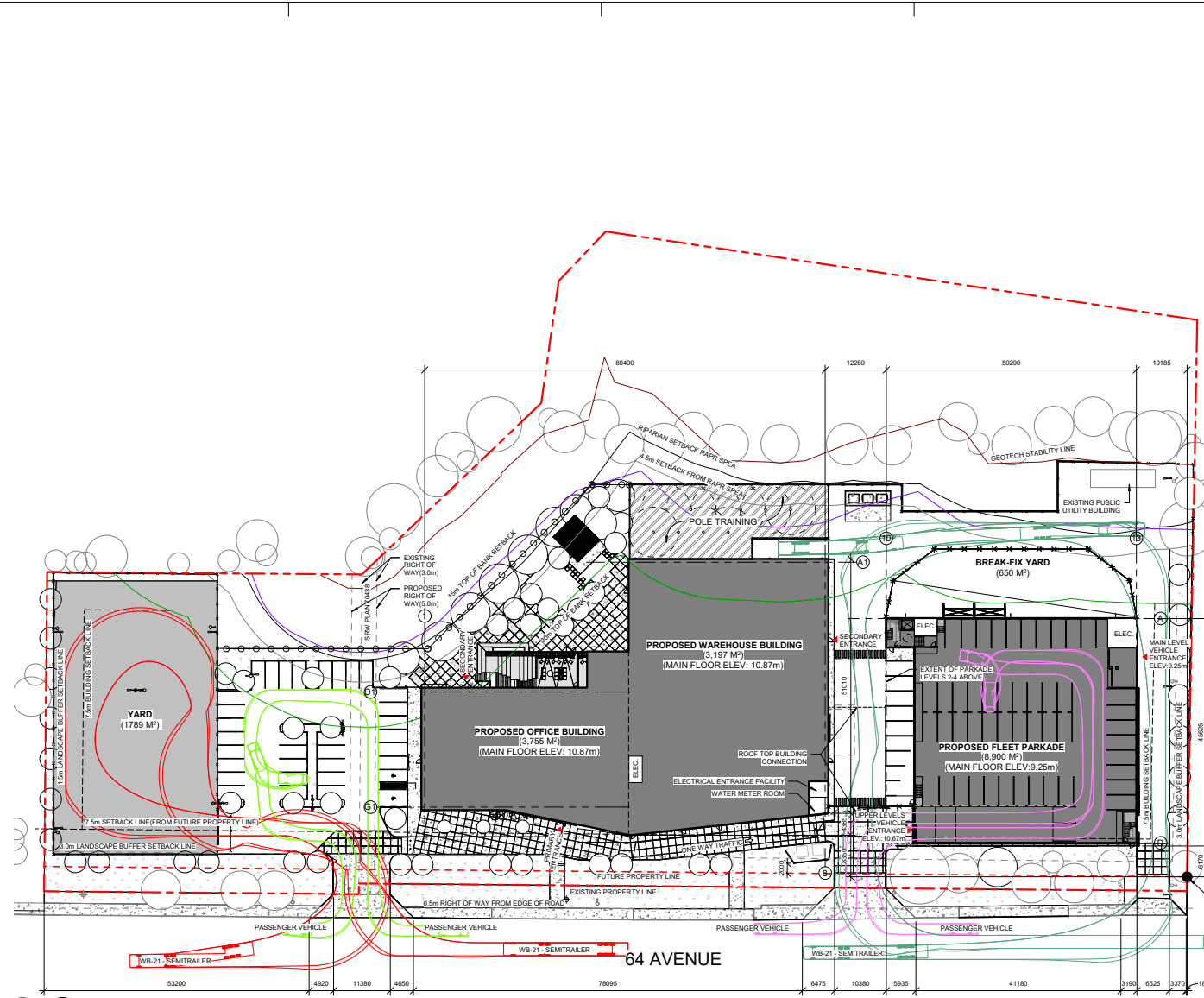
 CLIENT

 CONTRACTOR

 PLANNING CONSULTANT

 LANDSCAPE ARCHITECT

 SEALS



SITE PLAN LEGEND

	PROPOSED CONCRETE SIDEWALK		WOOD MULCH
	PROPOSED PAVED ASPHALT		PROPOSED LANDSCAPED AREA WITH LIGHT IMPACT INDUSTRIAL
	EXISTING ASPHALT		BUILDING FOOTPRINT
	EXISTING PROPERTY LINE		SAW-CUT CONCRETE
	NEW PROPERTY LINE		EXISTING TREE
	PROVINCIAL RPRR SETBACK		PROPOSED TREE
	4.5M SETBACK FROM PROVINCIAL RPRR SETBACK		PROPOSED WASTE BINS
	15m ZB SETBACK		
	30m ZB SETBACK		
	GEOTECHNICAL STABILITY LINE		
	7.5m SETBACK LINE		
	1.5m LANDSCAPE BUFFER		
	PROPOSED WOOD FENCE		
	PROPOSED CHAINLINK/PICKET FENCE - REFER TO SHEET DP107		

SITE STATISTICS

MUNICIPAL ADDRESS: 15079, 64 AVENUE, SURREY BC
LAND USE CLASSIFICATION: I-1 (LIGHT IMPACT INDUSTRIAL)

TOTAL SITE AREA: 22 170 SM / 8.8 ACRES / 344 500 SF
TOTAL USABLE SITE AREA: 17 453 SM / 4.3 ACRES / 187 863 SF (TOTAL SITE AREA LESS SM TOP OF BANK SETBACK AND UTILITY RIGHT OF WAY)

PROPOSED TOTAL GROSS FLOOR AREA: 15 853 SM / 170 645 SF

OFFICE AREA: 3 755 SM / 40 425 SF
WAREHOUSE AREA: 3 197 SM / 34 420 SF
PARKADE: 8 900 SM / 96 800 SF

EXISTING PUBLIC UTILITY BUILDING: 57 SM / 614 SF

MAX. BUILDING HEIGHT: 18M (60FT)
PROPOSED BUILDING HEIGHT: 10.8M

MAX. ALLOWABLE FAR PER ZONING BYLAW: 1.0

PROPOSED FAR (NOT INCLUDING UNDEVELOPABLE AREA/PARKADE): 0.40

MAX. ALLOWABLE SITE COVERAGE PER ZONING BYLAW: 60%

PROPOSED SITE COVERAGE (NOT INCLUDING UNDEVELOPABLE AREA): 37%
(WAREHOUSE + OFFICE FOOTPRINT (3335 SM) + PARKADE FOOTPRINT (2059 SM) + NETWORK HUB (75 SM) = 5471 SM)

REQUIRED PARKING STALLS:
WAREHOUSE: 3197M²/10M² = 32 STALLS
OFFICE: (3755M²/10M²) / 2.5-94 STALLS
TOTAL REQUIRED: 128 STALLS
REQUIRED BARRIER FREE: 2% OF REQUIRED (26) = 3 STALLS
TOTAL PROVIDED VEHICLE PARKING STALLS: 308
TOTAL PROVIDED BARRIER FREE: 6
TOTAL PARKADE PARKING STALLS: 254
VISITOR PARKING: 9
ADDITIONAL SURFACE PARKING: 9
LOADING STALLS: 3
LEVEL P1: 49
LEVEL P2: 64
LEVEL P3: 64
LEVEL P4: 77
ELECTRIC VEHICLE (EV) STALLS: 75
BICYCLE STALLS (EXTERIOR): 4
BICYCLE STALLS (INTERIOR): 18

SITE SETBACKS:

WEST:
- 1.5M LANDSCAPE BUFFER
- 7.5M BUILDING SETBACK

SOUTH:
- 3M LANDSCAPE BUFFER
- 7.5M BUILDING SETBACK
*VARIANCE REQUESTED FOR SETBACK OF PARKADE STRUCTURE.

EAST:
- 3M LANDSCAPE BUFFER
- 7.5M BUILDING SETBACK

NORTH:
- TOP OF BANK / RIPARIAN AREA SETBACKS AS NOTED ON SHEET DP102

DESIGN CONSULTANT
lemay
PRIME CONSULTANT, ARCHITECT
FLORIAN
CLIENT
TELUS
CONTRACTOR
EAGLE BUILDERS
PLANNING CONSULTANT
b&a
LANDSCAPE ARCHITECT
p m g
LANDSCAPE ARCHITECTURE INC.
SEALS
LANDSCAPE ARCHITECT
Landscape
NOTARY PUBLIC
(10-05-18, 2022)

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PROJECT TITLE
TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/09/25	RESUBMITTED FOR DEVELOPMENT PERMIT
5	22/09/25	RESUBMITTED FOR DEVELOPMENT PERMIT
4	22/09/25	RESUBMITTED FOR DEVELOPMENT PERMIT
3	22/09/25	RESUBMITTED FOR DEVELOPMENT PERMIT
2	20/09/25	RESUBMITTED FOR DEVELOPMENT PERMIT
1	11/11/24	RESUBMITTED FOR DEVELOPMENT PERMIT

SCALE: 1 : 400

DRAWN BY: DK

CHECKED BY/QIA: MP

PROJECT NO: 2728

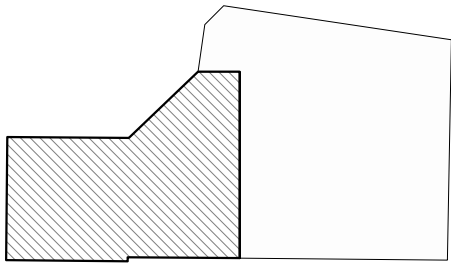
DRAWING CONTENTS

OVERALL SITE PLAN

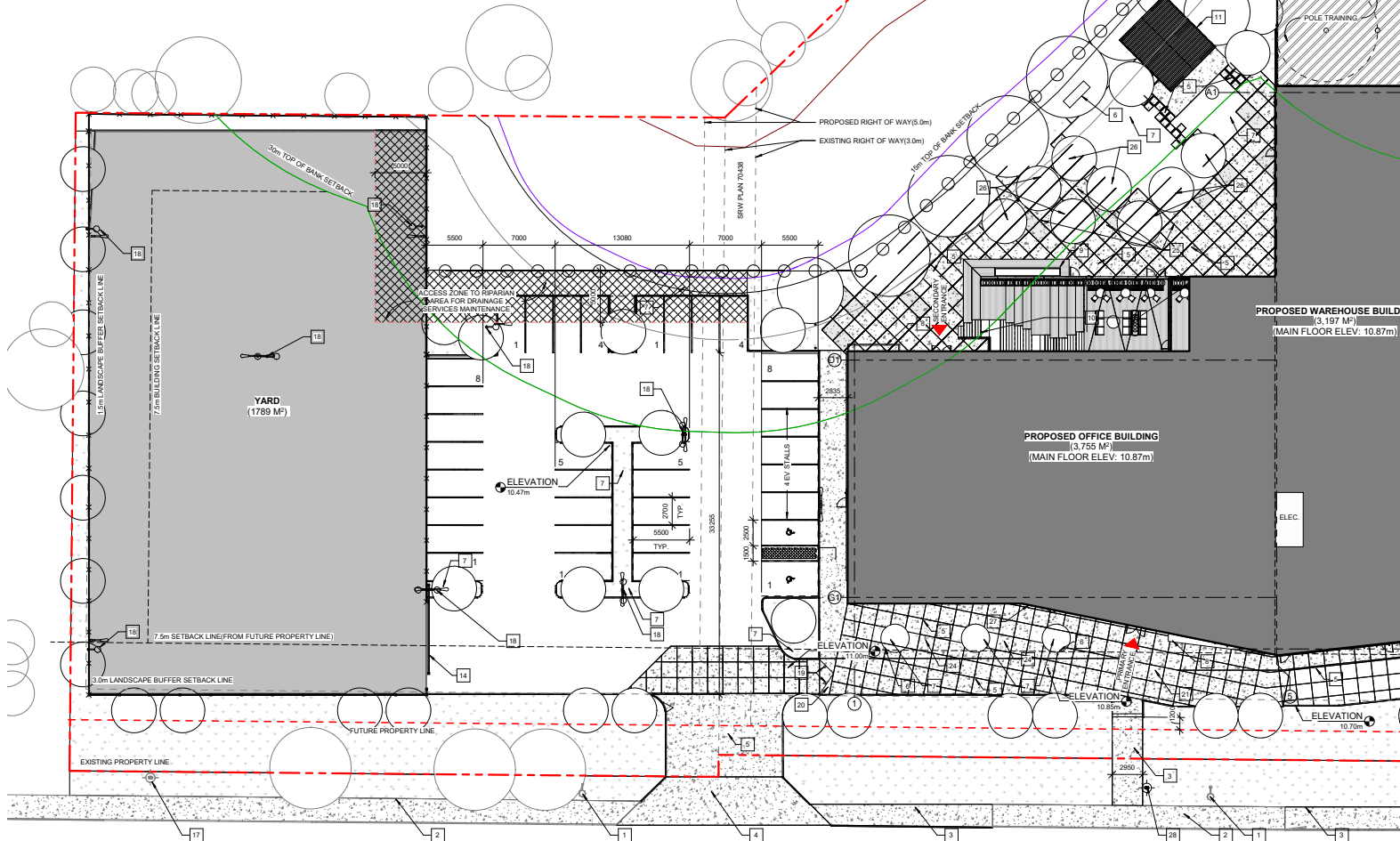
SHEET NUMBER

1 SITE PLAN
DP104 SCALE: 1 : 400

REFER TO ENLARGED SITE PLANS ON DP105 AND DP106



OVERALL CONTEXT KEYPLAN



SITE PLAN LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVED ASPHALT
- EXISTING ASPHALT
- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- PROVINCIAL RAPP SETBACK
- 4.5M SETBACK FROM PROVINCIAL RAPP SETBACK
- 15m ZB SETBACK
- 35m ZB SETBACK
- GEOTECHNICAL STABILITY LINE
- 7.5m SETBACK LINE
- 1.5m LANDSCAPE BUFFER
- PROPOSED WOOD FENCE
- PROPOSED CHAINLINK FENCE
- WOOD MULCH
- PROPOSED LANDSCAPED AREA
- SAW-CUT CONCRETE
- BUILDING FOOTPRINT
- EXISTING TREE TO REMAIN
- PROPOSED TREE REFER TO LANDSCAPE DRAWINGS
- PROPOSED WASTE BINS

SITE KEYNOTES

- 1 EXISTING STREET LIGHT TO REMAIN
- 2 EXISTING SECTION OF SIDEWALK TO REMAIN
- 3 NEW SECTION OF SIDEWALK TO THE INTO EXISTING WIDTH TO MATCH ADJACENT EXISTING SIDEWALK UNLESS OTHERWISE NOTED
- 4 NEW CONCRETE VEHICLE ACCESS
- 5 SAW-CUT CONCRETE SURFACE
- 6 SITE BENCH
- 7 LANDSCAPE BED; REFER TO LANDSCAPE
- 8 LANDSCAPE PLANTER
- 9 BLEACHER/LANDSCAPE PLANTER
- 10 BLEACHER/STAIR FEATURE
- 11 GAZEBO WITH SEATING
- 12 GARAGE ENCLOSURE; REFER TO DETAIL 3 ON SHEET DP108
- 13 PAINTED LINE CROSSWALK; COLOUR: WHITE
- 14 PICKET CANTILEVER SLIDING SECURITY GATE; REFER TO IMAGE 1 ON SHEET DP108
- 15 ARCHITECTURAL SIGNAGE SCREENING AROUND ELECTRICAL TRANSFORMERS; REFER TO SIGNAGE DRAWINGS
- 16 ELECTRICAL TRANSFORMERS; REFER TO ELECTRICAL
- 17 EXISTING FIRE HYDRANT
- 18 NEW STREET LIGHT
- 19 REMOVABLE BOLLARD
- 20 RAMP UP TO SIDEWALK
- 21 FLUSH CURB
- 22 POLE STORAGE
- 23 CHAINLINK SWING GATES
- 24 BICYCLE PARKING
- 25 PATIO TABLE
- 26 TREE AND TREE GRATE; REFER TO LANDSCAPE
- 27 FIRE DEPARTMENT CONNECTION IN SPANDREL GLAZED PANEL
- 28 NEW FIRE HYDRANT

DESIGN INTENT



PRIME CONSULTANT, ARCHITECT



CLIENT



CONTRACTOR



PLANNING CONSULTANT



LANDSCAPE ARCHITECT



SEALS



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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/08/16	ISSUED FOR DEVELOPMENT PERMIT
7	22/08/16	ISSUED FOR DEVELOPMENT PERMIT
8	22/08/16	ISSUED FOR DEVELOPMENT PERMIT
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27	22/08/16	ISSUED FOR DEVELOPMENT PERMIT
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SCALE: As Indicated

DRAWN BY: DK

CHECKED BY/QA: MP

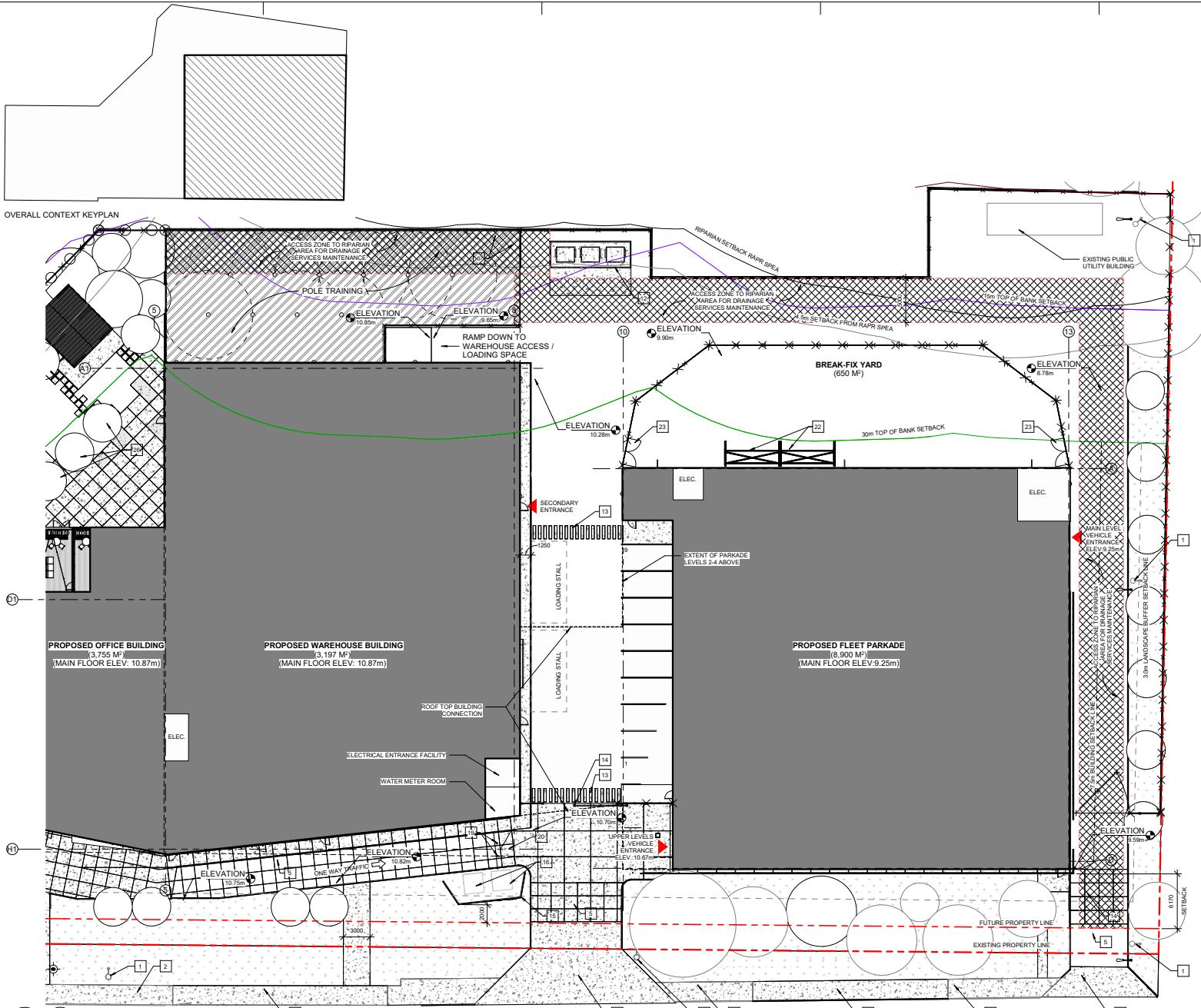
PROJECT NO: 2728

DRAWING CONTENTS

ENLARGED SITE PLAN

SHEET NUMBER

DP105



SITE PLAN LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVED ASPHALT
- EXISTING ASPHALT
- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- PROVINCIAL RAPP SETBACK
- 4.5M SETBACK FROM PROVINCIAL RAPP SETBACK
- 15m 2B SETBACK
- 50m 2B SETBACK
- GEOTECHNICAL STABILITY LINE
- 7.5m SETBACK LINE
- 1.5m LANDSCAPE BUFFER
- PROPOSED WOOD FENCE
- PROPOSED CHAINLINK FENCE
- WOOD MULCH
- PROPOSED LANDSCAPED AREA
- SAW-CUT CONCRETE
- BUILDING FOOTPRINT
- EXISTING TREE TO REMAIN
- PROPOSED TREE REFER TO LANDSCAPE DRAWINGS
- PROPOSED WASTE BINS

SITE KEYNOTES

- EXISTING STREET LIGHT TO REMAIN
- EXISTING SECTION OF SIDEWALK TO REMAIN
- NEW SECTION OF SIDEWALK TO THE INTO EXISTING SIDEWALK UNLESS OTHERWISE NOTED
- NEW CONCRETE VEHICLE ACCESS
- SAW-CUT CONCRETE SURFACE
- SITE BENCH
- LANDSCAPE BED REFER TO LANDSCAPE
- LANDSCAPE PLANTER
- BLEACHER/LANDSCAPE PLANTER
- BLEACHER/STAIR FEATURE
- GAZEBO WITH SEATING
- GARAGE ENCLOSURE; REFER TO DETAIL 3.0N SHEET DP108
- PAINTED LINE CROSSWALK; COLOUR: WHITE
- PICKET CANTILEVER SLIDING SECURITY GATE; REFER TO IMAGE 1 ON SHEET DP108
- ARCHITECTURAL SIGNAGE SCREENING AROUND ELECTRICAL TRANSFORMERS; REFER TO SIGNAGE DRAWINGS
- ELECTRICAL TRANSFORMERS; REFER TO ELECTRICAL
- EXISTING FIRE HYDRANT
- NEW STREET LIGHT
- REMOVABLE BOLLARD
- RAMP UP TO SIDEWALK
- FLUSH CURB
- POLE STORAGE
- CHAINLINK SWING GATES
- BICYCLE PARKING
- RATIO TABLE
- TREE AND TREE GRATE; REFER TO LANDSCAPE
- FIRE DEPARTMENT CONNECTION IN SPANDREL GLAZED PANEL
- NEW FIRE HYDRANT

NOTES

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE

6

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1	22/08/25	RE-ASSESSED FOR DEVELOPMENT PERMIT

SCALE: As Indicated

DRAWN BY: DK

CHECKED BY/QA: MP

PROJECT NO: 2728

DRAWING CONTENTS

ENLARGED SITE PLAN

SHEET NUMBER

DP106

DESIGN CONSULTANT

lemay

PRIME CONSULTANT, ARCHITECT

FLANAGAN

CLIENT

TELUS

CONTRACTOR

EAGLE BUILDERS

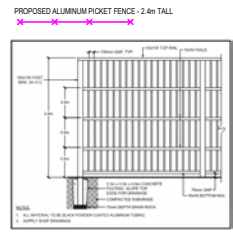
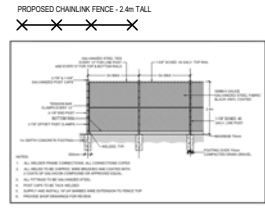
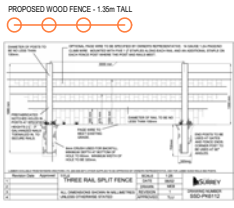
PLANNING CONSULTANT

b&a

LANDSCAPE ARCHITECT

pmg

SEALS



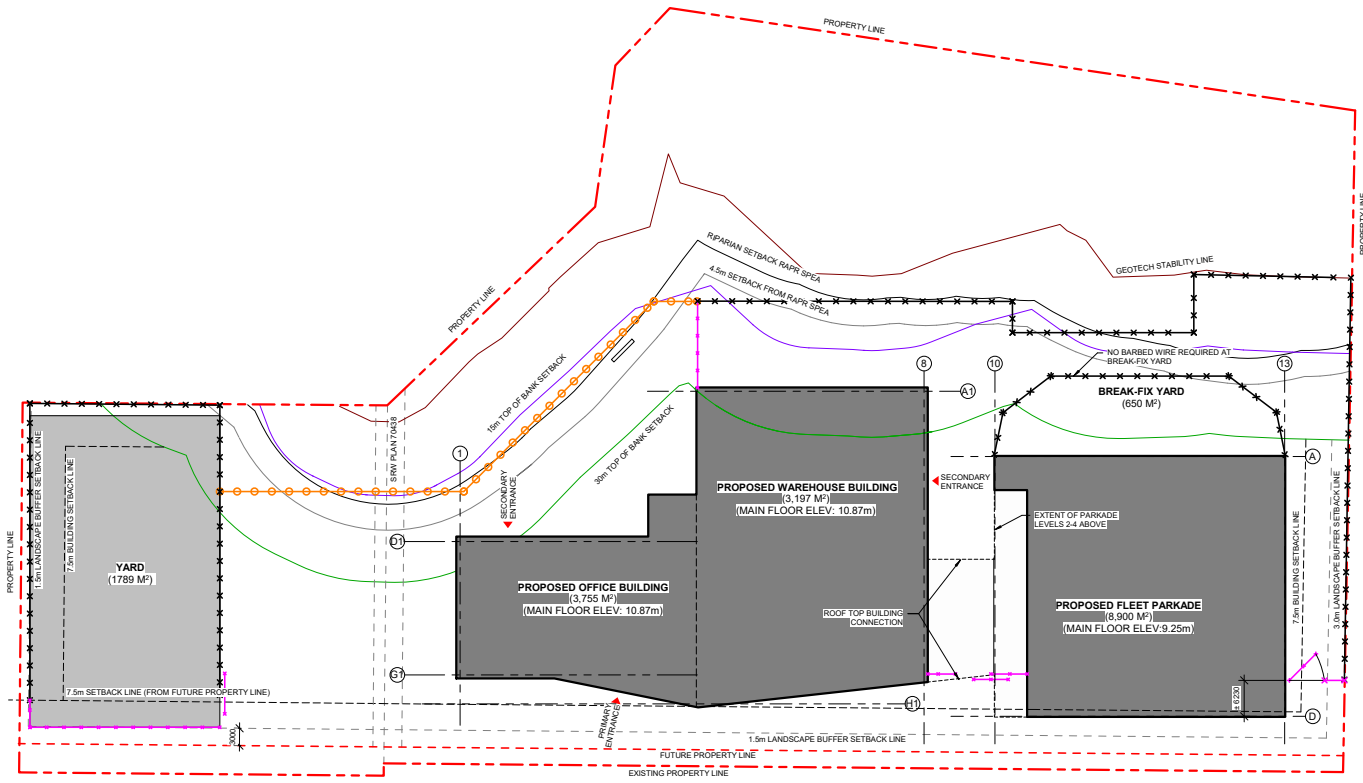
NOTE: FRONT YARD FENCING IS VISUALLY TRANSPARENT



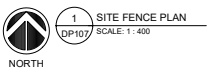
NOTE: FENCE TYPES ADJACENT TO GATE DO NOT REPRESENT THE FENCE TYPES USED ON THIS PROJECT



NOTE: FENCE TYPES ADJACENT TO GATE DO NOT REPRESENT THE FENCE TYPES USED ON THIS PROJECT



64 AVENUE



DESIGN CONSULTANT
lemay
PRIME CONSULTANT, ARCHITECT
FLORIAN
CLIENT
TELUS

CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT
b&a

LANDSCAPE ARCHITECT
pmg



NOTES

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PROJECT TITLE
TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT
5	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT
4	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT
3	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT
2	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT
1	22/06/23	RE-ISSUED FOR DEVELOPMENT PERMIT

SCALE: As Indicated

DRAWN BY: Author

CHECKED BY/QA:

PROJECT NO: 2728

DRAWING CONTENTS
FENCE PLAN

SHEET NUMBER
DP107



NOTES

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 6

#	DATE	DESCRIPTION
6	22/08/25	RE-ASSIGNED FOR DEVELOPMENT PERMIT
5	22/08/25	RE-ASSIGNED FOR DEVELOPMENT PERMIT
4	22/08/25	RE-ASSIGNED FOR DEVELOPMENT PERMIT
3	22/08/25	RE-ASSIGNED FOR DEVELOPMENT PERMIT
2	22/08/25	RE-ASSIGNED FOR DEVELOPMENT PERMIT
1	21/11/24	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1 : 400

DRAWN BY: Author

CHECKED BY/QA: Checker

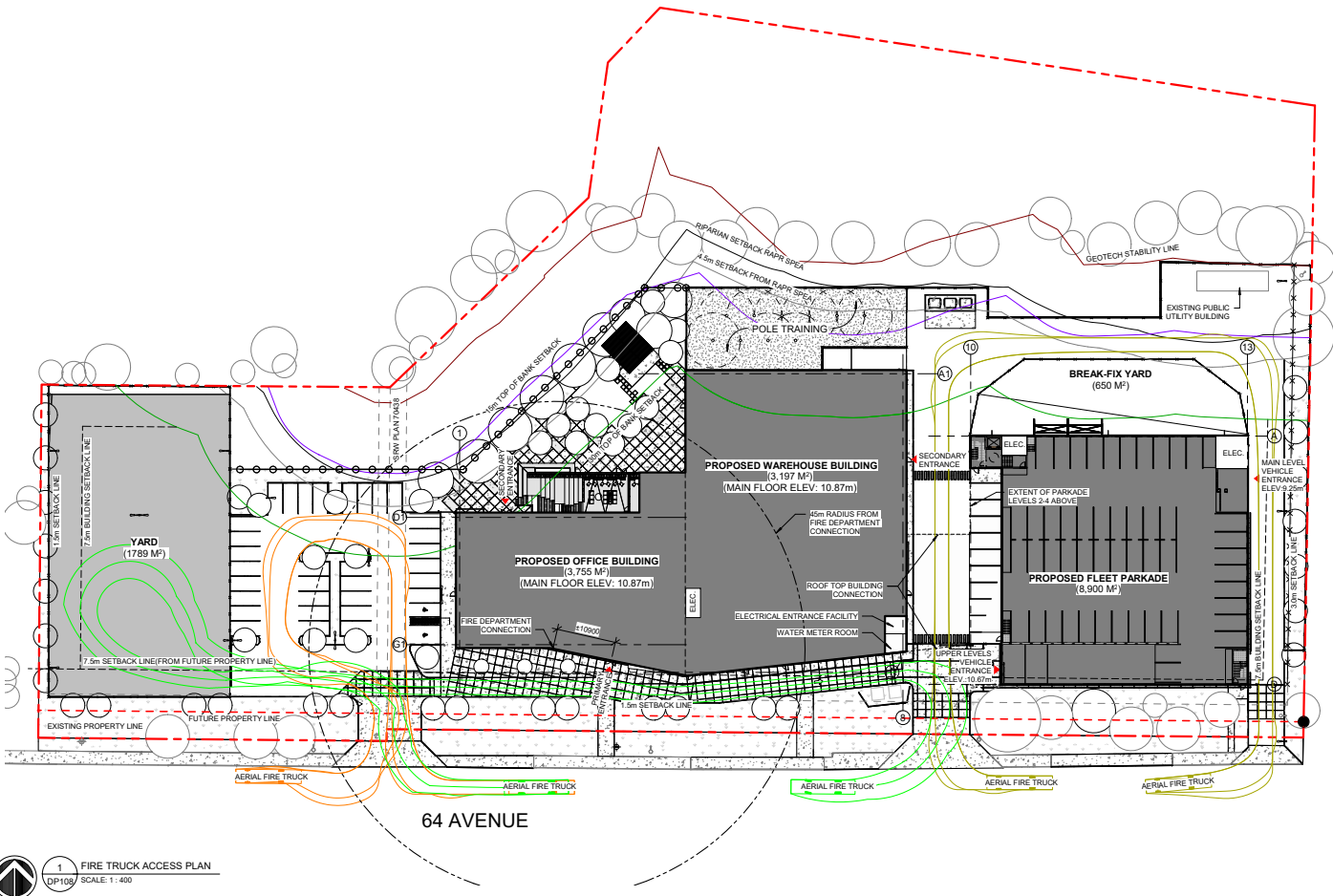
PROJECT NO: 2728

DRAWING CONTENTS

FIRE TRUCK ACCESS PLAN

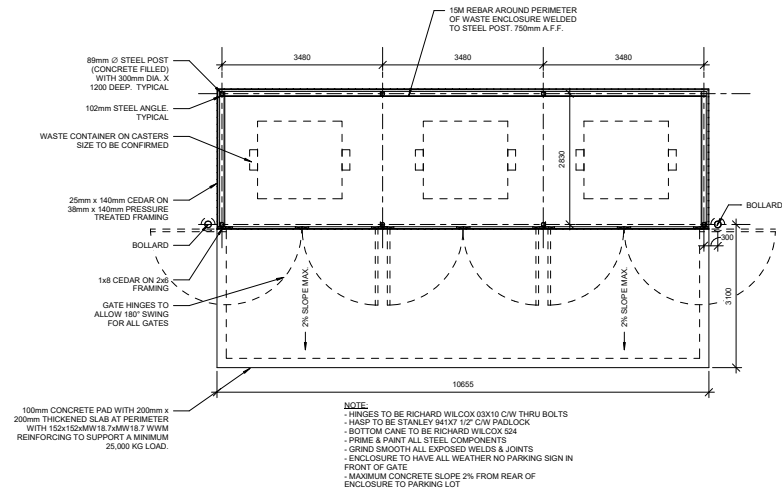
SHEET NUMBER

DP108

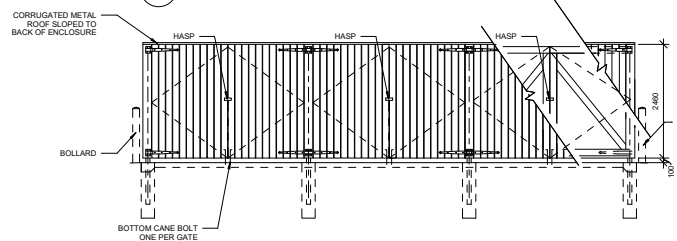


1 FIRE TRUCK ACCESS PLAN
 DP108 SCALE: 1 : 400

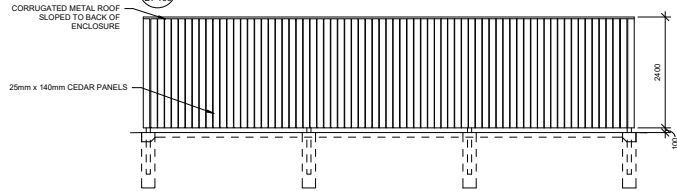




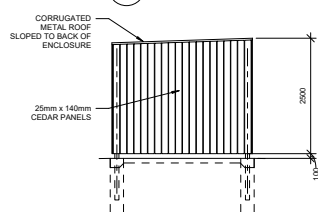
1 WASTE ENCLOSURE PLAN
DP109 SCALE: 1:50



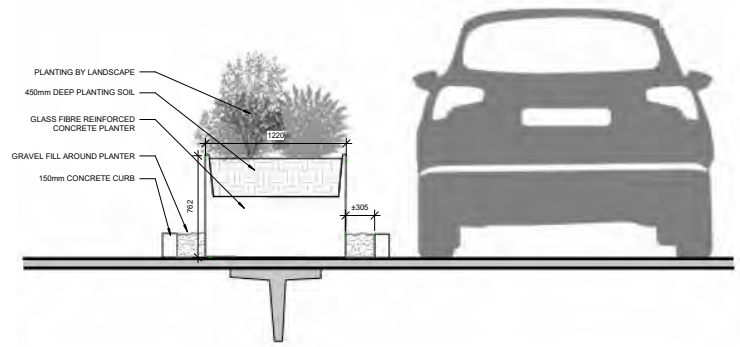
2 WASTE ENCLOSURE FRONT ELEVATION
DP109 SCALE: 1:50



3 WASTE ENCLOSURE REAR ELEVATION
DP109 SCALE: 1:50



4 WASTE ENCLOSURE SIDE ELEVATION
DP109 SCALE: 1:50



5 ROOF TOP PLANTER DETAIL
DP109 SCALE: 1:20

DESIGN CONSULTANT
lemay
PRIME CONSULTANT, ARCHITECT
PLANWORKS
CLIENT
TELUS
CONTRACTOR
EAGLE BUILDERS
PLANNING CONSULTANT
b&a
LANDSCAPE ARCHITECT
pmg
SEALS

- NOTES**
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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

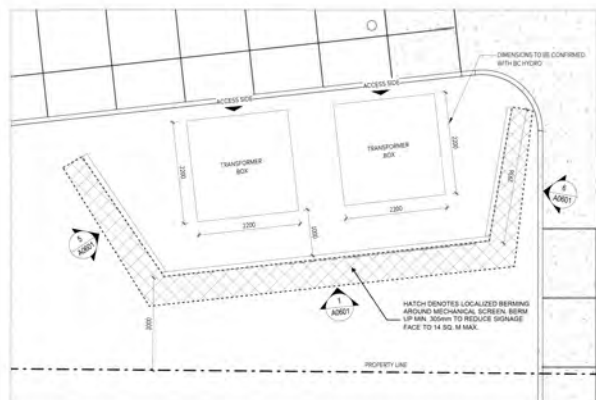
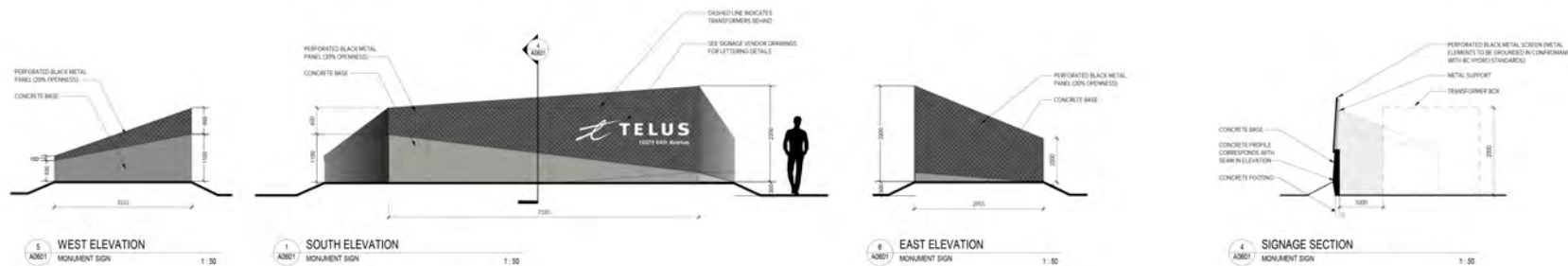
ISSUE: 5

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SCALE: As indicated
DRAWN BY: DK
CHECKED BY/QA: MP
PROJECT NO: 2728

DRAWING CONTENTS
SITE DETAILS

SHEET NUMBER
DP109



SEE LANDSCAPE DRAWING FOR PLANTING DETAILS



- NOTES**
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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
5	2024-10	ISSUED FOR DEVELOPMENT PERMIT
4	2024-08	ISSUED FOR DEVELOPMENT PERMIT
3	2024-08	ISSUED FOR DEVELOPMENT PERMIT
2	2024-07	ISSUED FOR DEVELOPMENT PERMIT
1	2024-07	ISSUED FOR DEVELOPMENT PERMIT

SCALE:

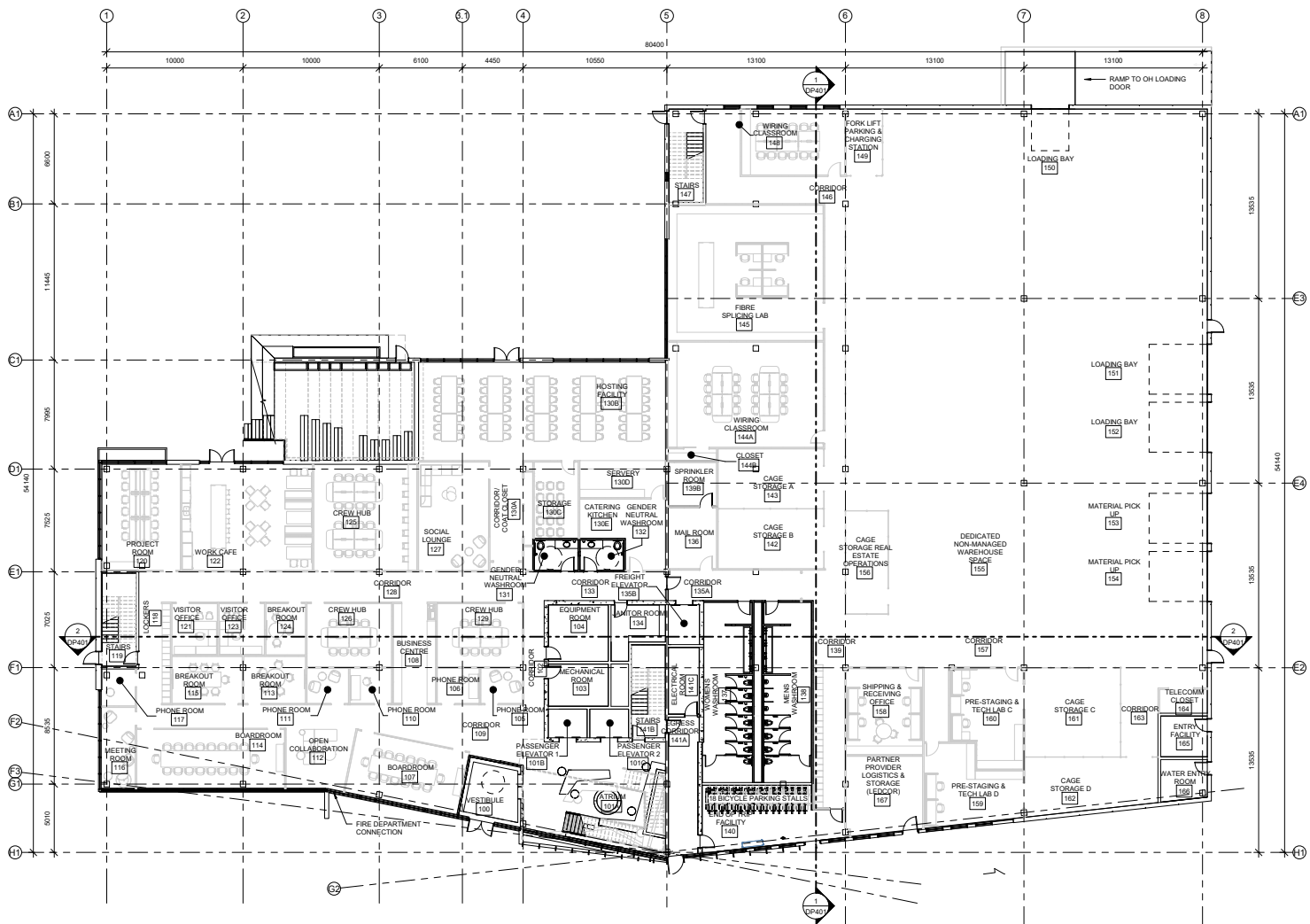
DRAWN BY: Author

CHECKED BY: QA:

PROJECT NO: 2728

DRAWING CONTENTS

SITE DETAILS



1 OFFICE WAREHOUSE MAIN FLOOR PLAN
 DP201 SCALE: 1:150
 NORTH



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PROJECT TITLE
TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
1	2024/05/06	ISSUED FOR DEVELOPMENT PERMIT
2	2024/05/06	ISSUED FOR DEVELOPMENT PERMIT
3	2024/05/06	ISSUED FOR DEVELOPMENT PERMIT
4	2024/05/06	ISSUED FOR DEVELOPMENT PERMIT
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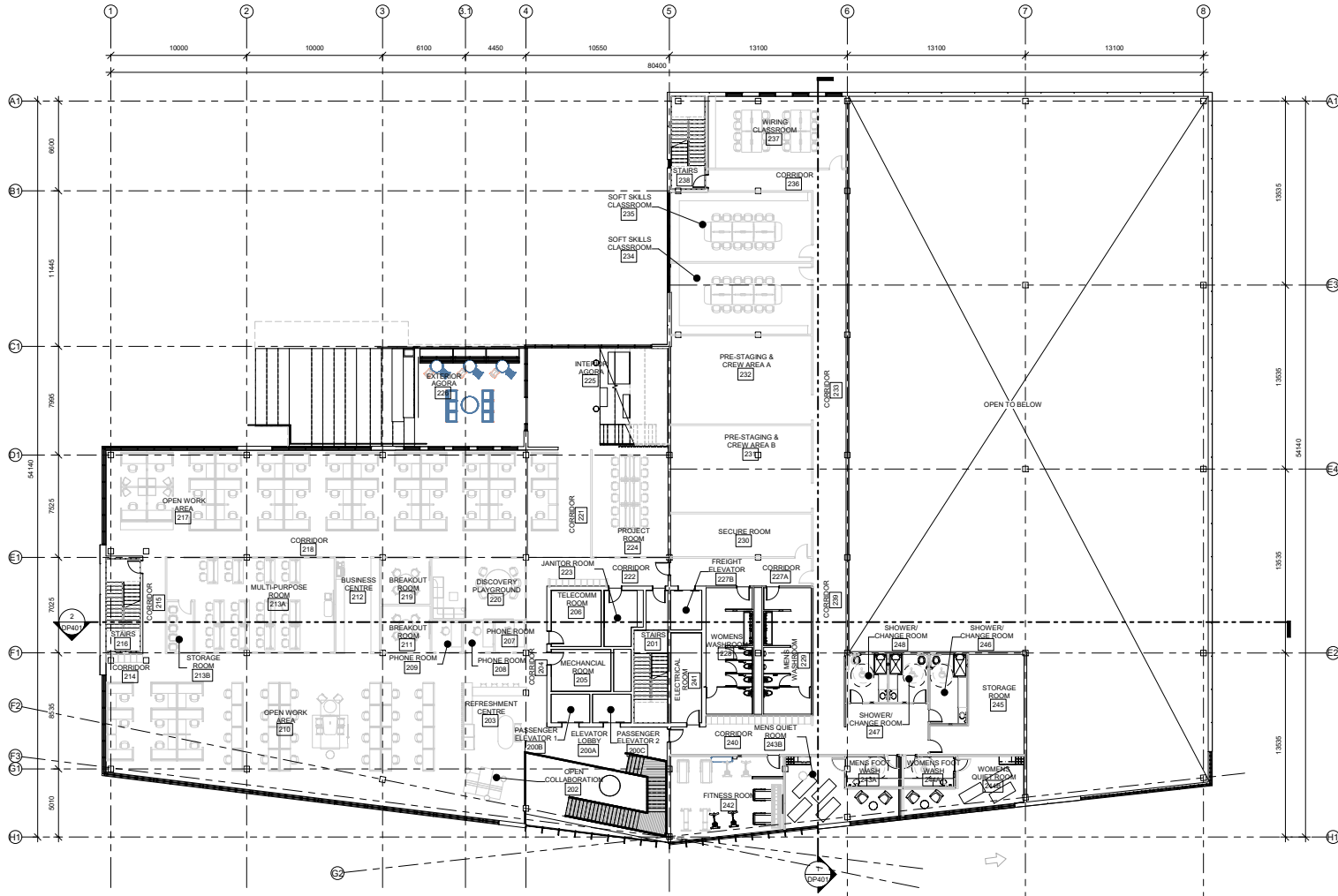
SCALE: 1:150

DRAWN BY: DK

CHECKED BY/QA: MP

PROJECT NO: 2728

DRAWING CONTENTS
OFFICE WAREHOUSE MAIN FLOOR




1 OFFICE/WAREHOUSE SECOND FLOOR PLAN
 DP2022 SCALE: 1:150

DESIGN CONSULTANT
lemay
 PRIME CONSULTANT, ARCHITECT

 CLIENT
TELUS
 CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT
b&a

LANDSCAPE ARCHITECT




- NOTES
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PROJECT TITLE
TELUS PARK SURREY
 15079 64 AVENUE, SURREY, BC

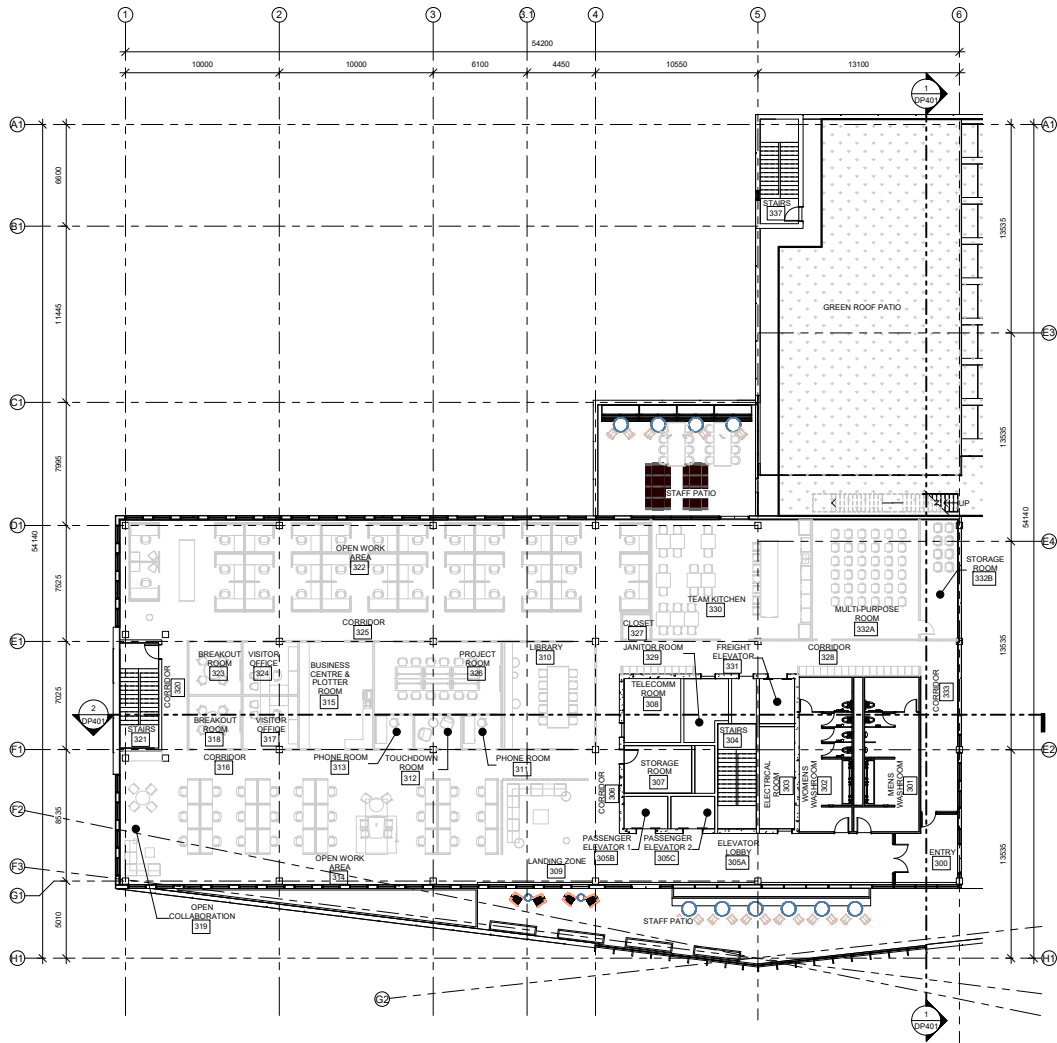
ISSUE: 5

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49	2022/07/21	ISSUED FOR DEVELOPMENT PERMIT
50	2022/07/21	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1:150
 DRAWN BY: DK
 CHECKED BY: MIP
 PROJECT NO: 2728

DRAWING CONTENTS
OFFICE/WAREHOUSE SECOND FLOOR

SHEET NUMBER
DP202




1 OFFICE/WAREHOUSE THIRD FLOOR PLAN
 DP203 SCALE: 1:150

DESIGN CONSULTANT
lemay
 PRIME CONSULTANT, ARCHITECT

 CLIENT

CONTRACTOR
TELUS

CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT
b&a

LANDSCAPE ARCHITECT




- NOTES
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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
1	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
2	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
3	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
4	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
5	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
6	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT

SCALE: 1:150

DRAWN BY: DK

CHECKED BY/QA: MP

PROJECT NO: 2728

DRAWING CONTENTS

OFFICE/WAREHOUSE THIRD FLOOR

SHEET NUMBER

DP203



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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
5	22/06/25	RE-ASSES FOR DEVELOPMENT PERMIT
4	22/06/25	RE-ASSES FOR DEVELOPMENT PERMIT
3	22/06/25	RE-ASSES FOR DEVELOPMENT PERMIT
2	22/06/25	RE-ASSES FOR DEVELOPMENT PERMIT
1	22/06/25	RE-ASSES FOR DEVELOPMENT PERMIT

SCALE: 1 : 150

DRAWN BY: DK

CHECKED BY/QA: MP

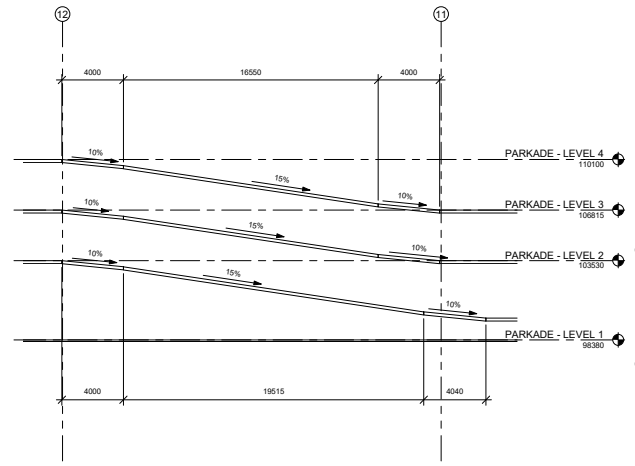
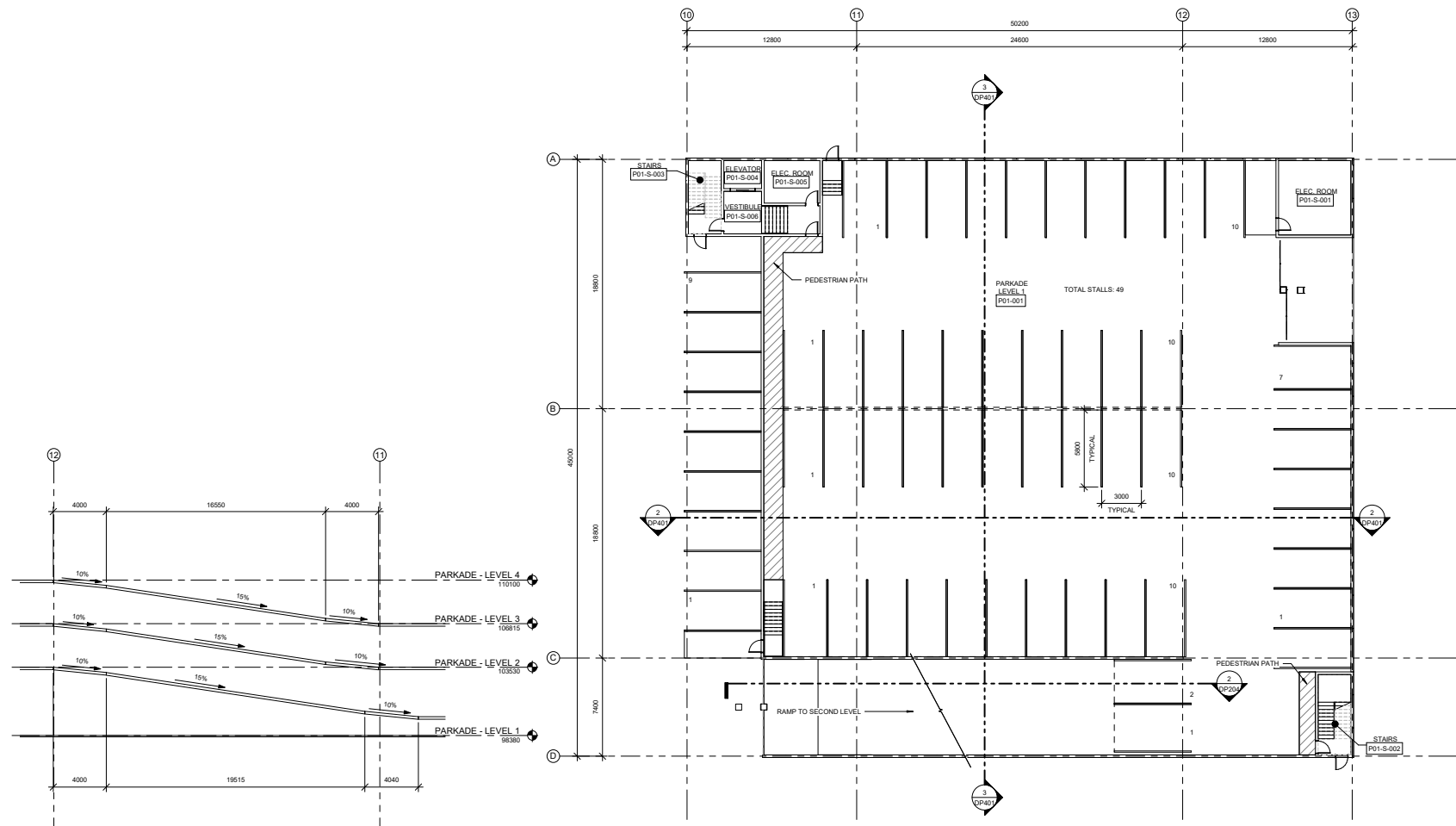
PROJECT NO: 2728

DRAWING CONTENTS

PARKADE LEVEL 1

SHEET NUMBER

DP204



2 RAMP SLOPE SECTION
DP204 SCALE: 1 : 150

1 PARKADE - LEVEL 1
DP204 SCALE: 1 : 150





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PROJECT TITLE
TELUS PARK SURREY

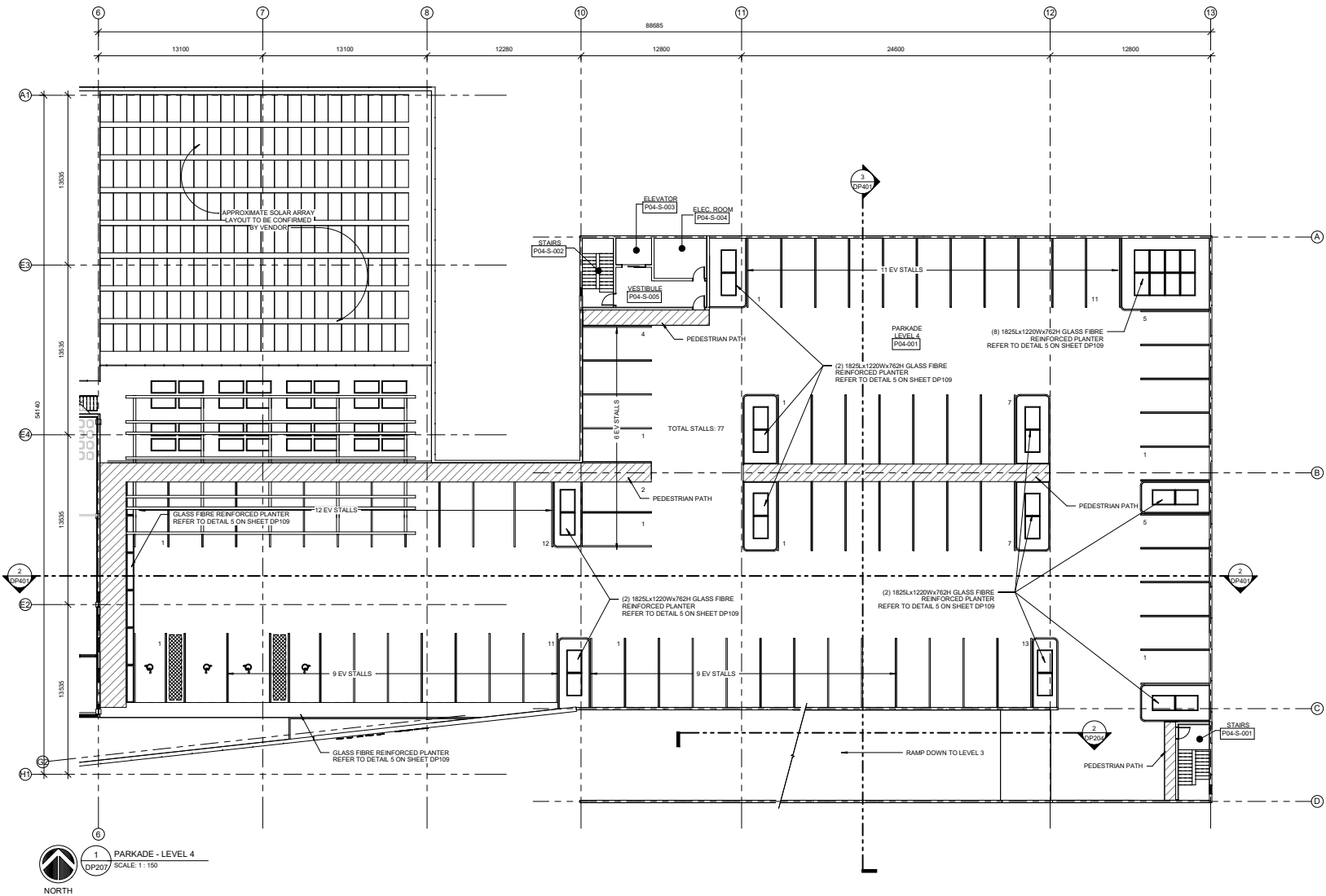
15079 64 AVENUE, SURREY, BC

ISSUE: 5

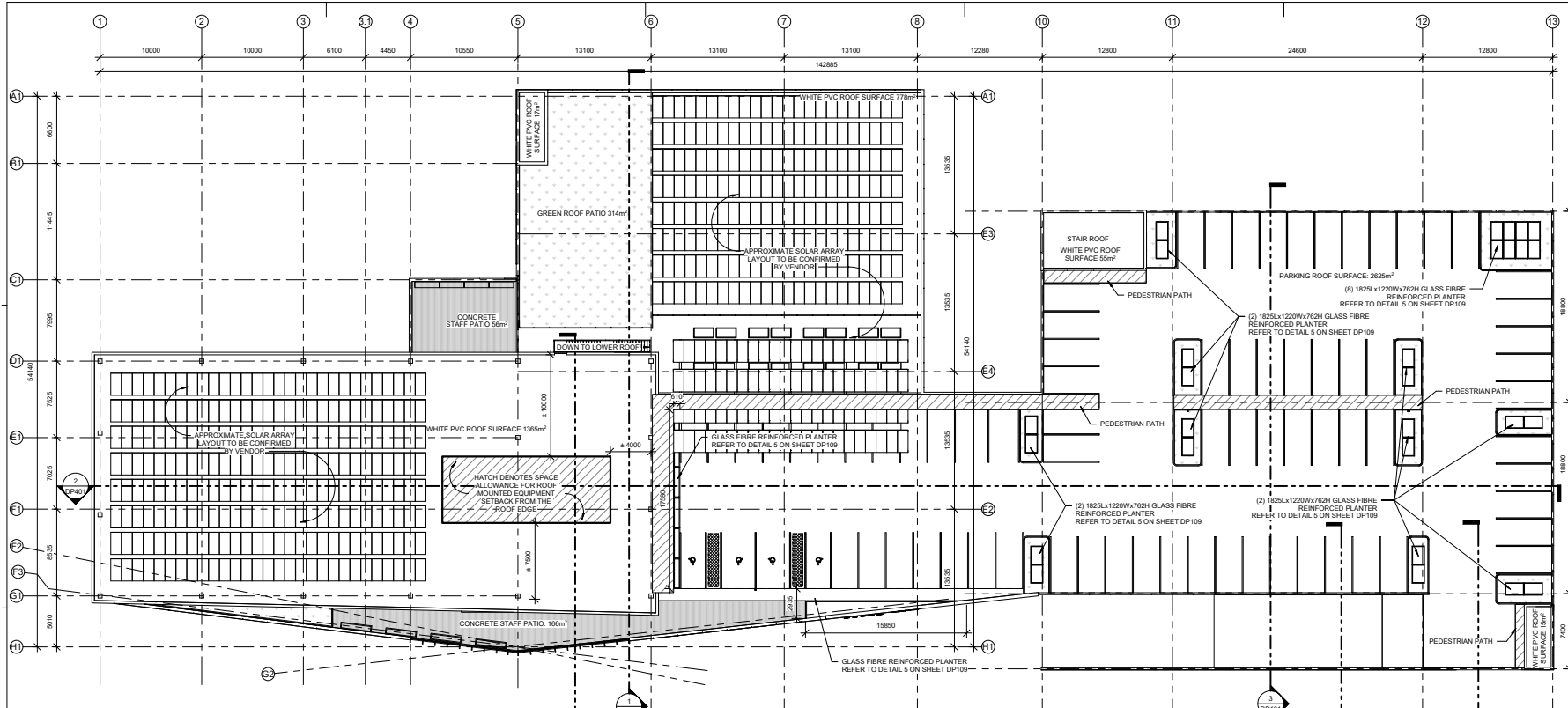
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SCALE: 1 : 150
 DRAWN BY: DK
 CHECKED BY/QA: MP
 PROJECT NO: 2728

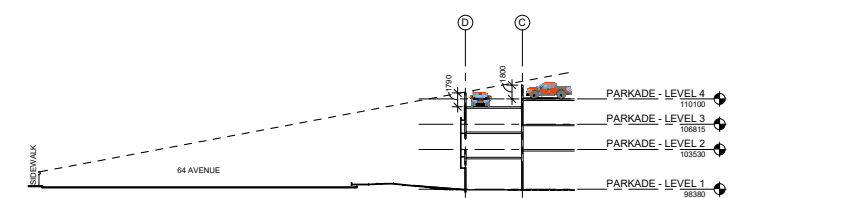
DRAWING CONTENTS
PARKADE LEVEL 4



1 PARKADE - LEVEL 4
 DP207 SCALE: 1 : 150
 NORTH

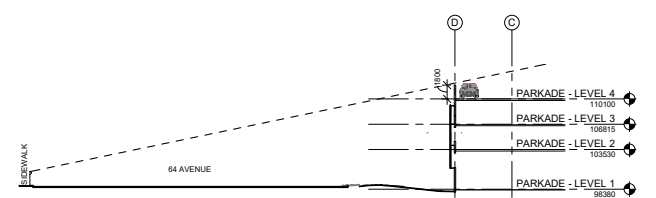


1 OVERALL ROOF PLAN
DP208 SCALE: 1:200

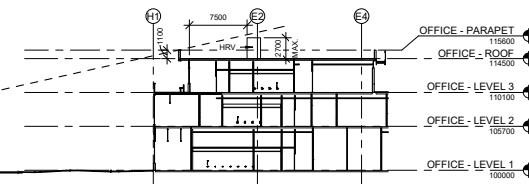


2 ROOF SITE LINES 01
DP208 SCALE: 1:300

3 ROOF SITE LINES 02
DP208 SCALE: 1:300



4 ROOF SITE LINES 03
DP208 SCALE: 1:300



ROOF AREA LEGEND

WHITE PVC ROOF AREA:	2230m ²	41%
GREEN ROOF PATIO AREA:	314m ²	6%
PARKING SURFACE AREA:	2441m ²	45%
CONCRETE PATIO AREA:	222m ²	5%
LANDSCAPE AREA:	213m ²	3%
TOTAL AREA:	5420m ²	100%



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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
1	2024/05	ISSUED FOR DEVELOPMENT PERMIT
2	2024/05	ISSUED FOR DEVELOPMENT PERMIT
3	2024/05	ISSUED FOR DEVELOPMENT PERMIT
4	2024/05	ISSUED FOR DEVELOPMENT PERMIT
5	2024/05	ISSUED FOR DEVELOPMENT PERMIT
6	2024/05	ISSUED FOR DEVELOPMENT PERMIT
7	2024/05	ISSUED FOR DEVELOPMENT PERMIT
8	2024/05	ISSUED FOR DEVELOPMENT PERMIT
9	2024/05	ISSUED FOR DEVELOPMENT PERMIT
10	2024/05	ISSUED FOR DEVELOPMENT PERMIT

SCALE: As Indicated

DRAWN BY: DK

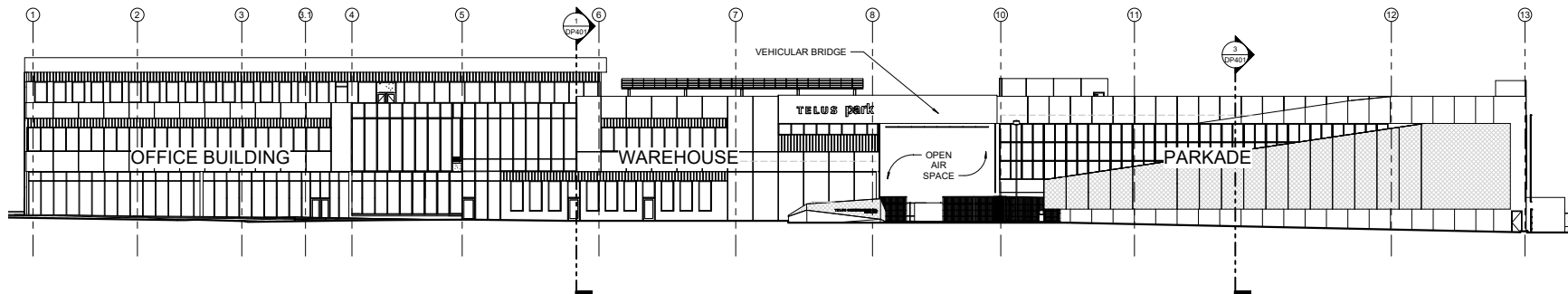
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PROJECT NO: 2728

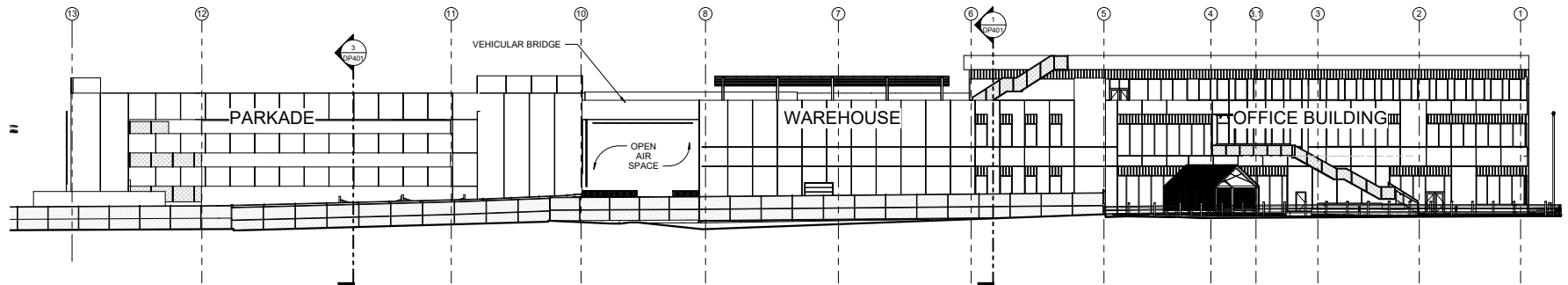
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ROOF PLAN

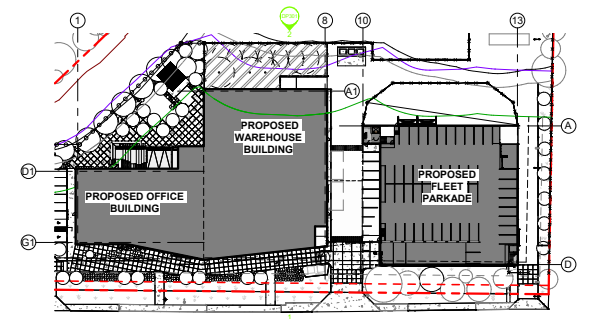
SHEET NUMBER
DP208



1 OVERALL SOUTH ELEVATION (64TH AVENUE)
 DP301 SCALE: 1:200



2 OVERALL NORTH ELEVATION
 DP301 SCALE: 1:200



64 AVENUE

3 ELEVATION KEYPLAN
 DP301 SCALE: 1:750

DESIGN CONSULTANT
lemay

PRIME CONSULTANT, ARCHITECT

CLIENT
TELUS

CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT

LANDSCAPE ARCHITECT



- SEALS
- NOTES**
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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
6	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
5	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
4	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
3	22/06/25	RE-ASSESSED FOR DEVELOPMENT PERMIT
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SCALE: As Indicated

DRAWN BY: DK

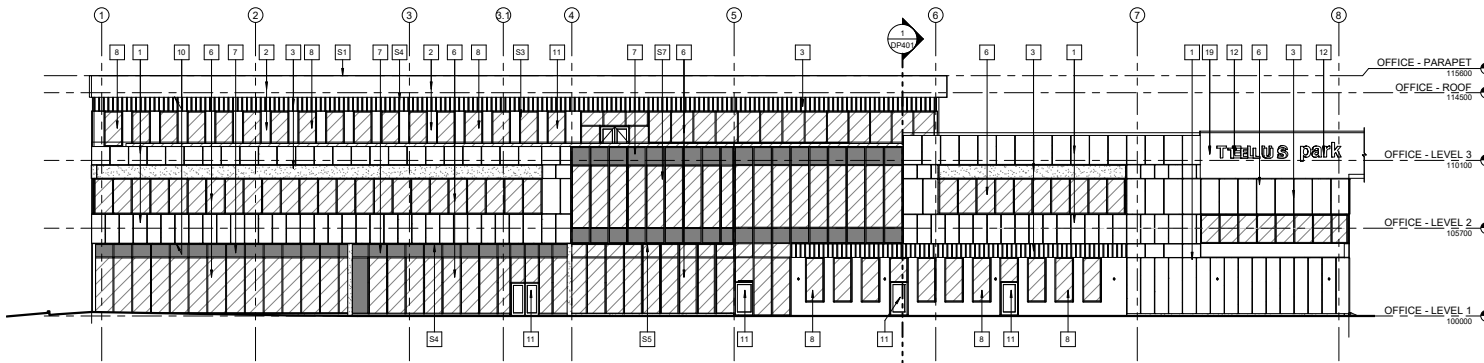
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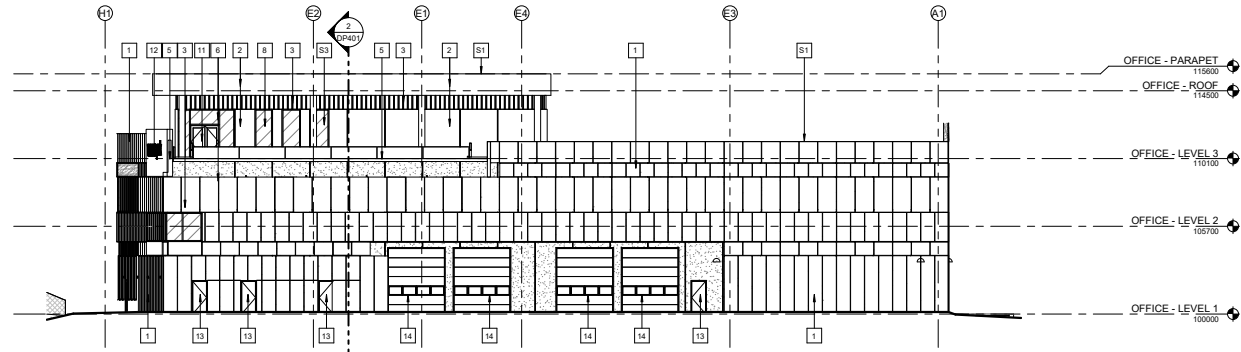
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OVERALL BUILDING ELEVATIONS

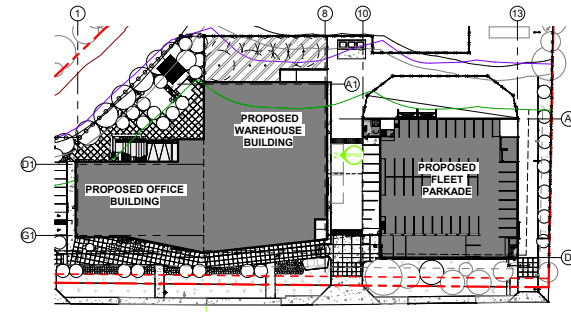
SHEET NUMBER
 DP301



1 OFFICE/WAREHOUSE SOUTH ELEVATION(64TH AVENUE)
DP302 SCALE: 1:150



2 OFFICE/WAREHOUSE EAST ELEVATION
DP302 SCALE: 1:150



64 AVENUE

3 ELEVATION KEYPLAN
DP302 SCALE: 1:750
NORTH

ELEVATION KEYNOTES

1	CONCRETE PANEL PAINTED LIGHT GREY
2	METAL PANEL, PROFILE, FLAT; COLOUR: BLACK
3	METAL PANEL, PROFILE; PROFILED; COLOUR: BLACK
4	METAL SCREEN, PROFILE; PERFORATED; COLOUR: BLACK
5	ROOF CONNECTING BUILDING AND PARKADE; (SHOWN IN SECTION)
6	CURTAIN WALL, COLOUR/GLASS: CLEAR; COLOUR(FRAME): BLACK
7	CURTAIN WALL, COLOUR/GLASS: SPANDREL; COLOUR(FRAME): BLACK
8	ALUMINIUM WINDOW; COLOUR/GLASS: CLEAR; COLOUR(FRAME): BLACK
9	METAL GUARDRAIL, PROFILE; PERFORATED; COLOUR: BLACK
10	CLEAR SOFFIT
11	ALUMINIUM MAN DOOR; COLOUR/GLASS: CLEAR; COLOUR(FRAME): BLACK
12	BUILDING SIGNAGE; REFER TO SIGNAGE PACKAGE
13	INSULATED METAL MAN DOOR; COLOUR: TO MATCH ADJACENT FINISH
14	INSULATED OVERHEAD DOOR; COLOUR/PANEL: TO MATCH CONCRETE PANEL; COLOUR(FRAME): BLACK
15	PRECAST BLEACHER SEATING/STAR
17	OPERABLE ACCESS ARM INTO PARKADE
18	RAMP TO LOADING DOOR
19	METAL PANEL; WOOD GRAIN; COLOUR: TBD

SUSTAINABILITY FEATURES

S1	ROOF MOUNTED PHOTOVOLTAIC PANELS
S2	PHOTOVOLTAIC PANEL WINDOW TO WALL RATIO OPTIMIZED FOR ENERGY PERFORMANCE, ACCESS TO DAYLIGHT, AND OCCUPANT COMFORT
S3	BUILDING OVERHANG PROVIDES PASSIVE SOLAR SHADING
S5	EXTRUDED ALUMINIUM SOLAR SHADING DEVICE, DEPTH VARIES (150mm - 350mm); FINISH: BLACK
S6	INTEGRATED PLANTERS FOR BIOPHILIC CONNECTION TO NATURAL MATERIALS
S7	BIRD COLLISION DETERRENCE TREATMENT TO BE APPLIED TO GLAZING PER LEED v4 GUIDELINES

DESIGN INTENT

lemay

PRIME CONSULTANT, ARCHITECT

FLORIAN

CLIENT

TELUS

CONTRACTOR

EAGLE BUILDERS

PLANNING CONSULTANT

b&a

LANDSCAPE ARCHITECT

pmg

SEALS

PLANWORKS ARCHITECTURE INC.

REGISTERED ARCHITECT
REGISTERED ARCHITECT
REGISTERED ARCHITECT
(JULY 2016, 2022)

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

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SCALE: As Indicated

DRAWN BY: DK

CHECKED BY/QA: MP

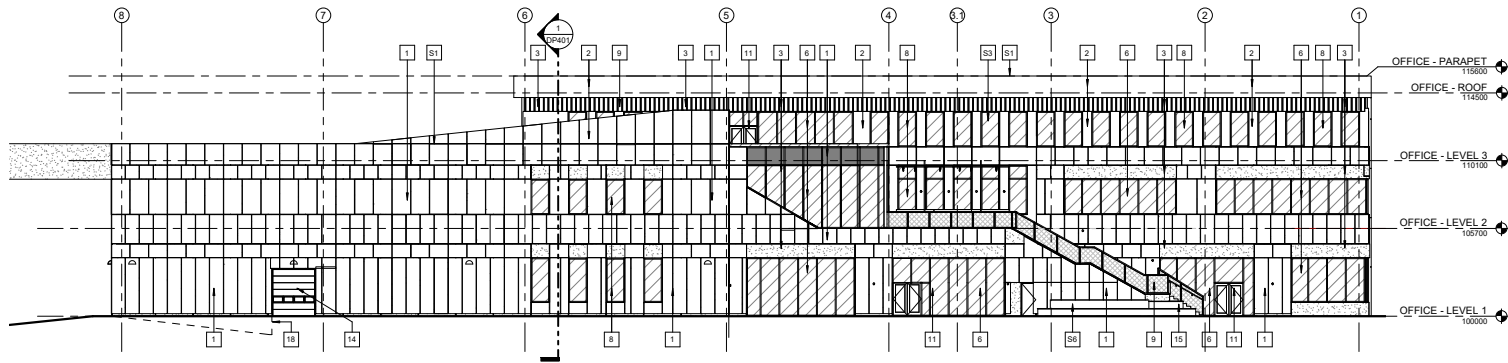
PROJECT NO: 2728

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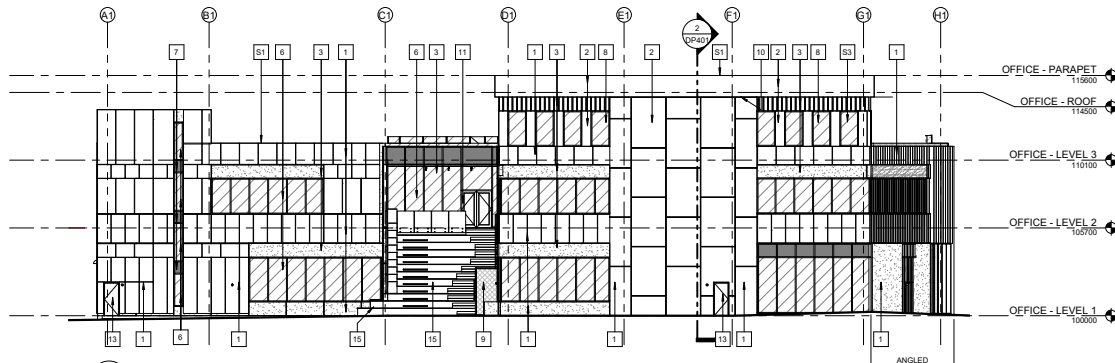
OFFICE/ WAREHOUSE ELEVATIONS

SHEET NUMBER

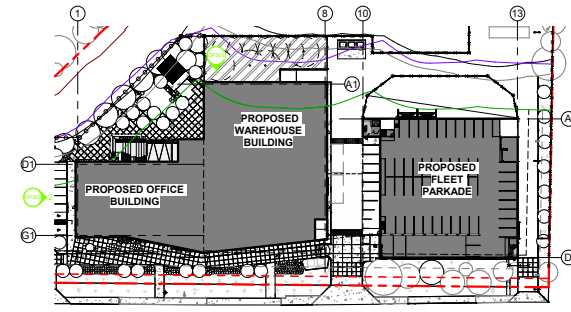
DP302



1 OFFICE WAREHOUSE NORTH ELEVATION
DP303 SCALE: 1:150



2 OFFICE WAREHOUSE WEST ELEVATION
DP303 SCALE: 1:150



64 AVENUE

3 ELEVATION KEY PLAN
DP303 SCALE: 1:750

ELEVATION KEYNOTES

1	CONCRETE PANEL, PAINTED LIGHT GREY
2	METAL PANEL, PROFILE: FLAT, COLOUR: BLACK
3	METAL PANEL, PROFILE: PROFILED, COLOUR: BLACK
4	METAL SCREEN, PROFILE: PERFORATED, COLOUR: BLACK
5	ROOF CONNECTING BUILDING AND PARKADE (SHOWN IN SECTION)
6	CURTAIN WALL, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
7	CURTAIN WALL, COLOUR/GLASS: SPANDREL, COLOUR/FRAME: BLACK
8	ALUMINIUM WINDOW, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
9	METAL GUARDRAIL, PROFILE: PROFILED, COLOUR: BLACK
10	CLEAR SCOFFIT
11	ALUMINIUM MAN DOOR, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
12	BUILDING SIGNAGE - REFER TO SIGNAGE PACKAGE
13	INSULATED METAL MAN DOOR, COLOUR: TO MATCH ADJACENT FINISH
14	INSULATED OVERHEAD DOOR, COLOUR/PANEL: TO MATCH CONCRETE PANEL, COLOUR/FRAME: BLACK
15	PRECAST BLEACHER SEATING STAR
17	OPERABLE ACCESS ARM INTO PARKADE
18	DOOR TO LOADING DOOR
19	METAL PANEL WOOD GRAIN COLOUR Y8D

SUSTAINABILITY FEATURES

S1	ROOF MOUNTED PHOTOVOLTAIC PANELS
S2	PHOTOVOLTAIC PANEL WINDOW TO WALL RATIO OPTIMIZED FOR ENERGY PERFORMANCE, ACCESS TO DAYLIGHT, AND OCCUPANT COMFORT
S3	BUILDING OVERHANG PROVIDES PASSIVE SOLAR SHADING
S4	EXTRUDED ALUMINIUM SOLAR SHADING DEVICE (DEPTH VARIES 150mm - 300mm), FINISH: BLACK
S5	INTEGRATED PLANTERS FOR BIOPHILIC CONNECTION TO NATURAL MATERIALS
S6	BIRD COLLISION DETERRENCE TREATMENT TO BE APPLIED TO GLAZING PER LEED v4 GUIDELINES
S7	

NOTES

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DESIGN CONSULTANT, ARCHITECT

lemay

PRIME CONSULTANT, ARCHITECT

PLANWERKS

CLIENT

TELUS

CONTRACTOR

EAGLE BUILDERS

PLANNING CONSULTANT

b&a

LANDSCAPE ARCHITECT

pmg

SEALS

PLANWERKS ARCHITECTURE INC.
(INCORPORATED IN BRITISH COLUMBIA)
(JULY 2016, 2022)

PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
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SCALE: As Indicated

DRAWN BY: DK

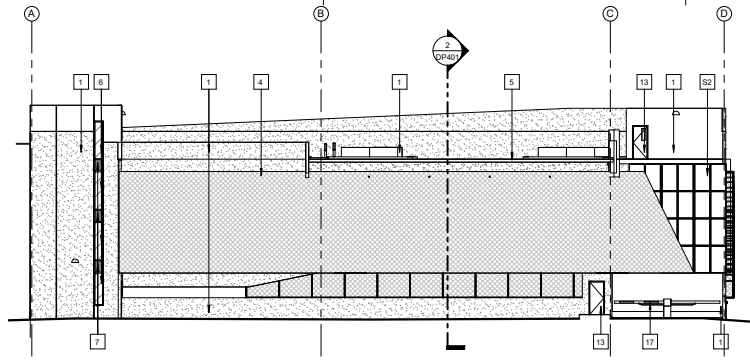
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PROJECT NO: 2728

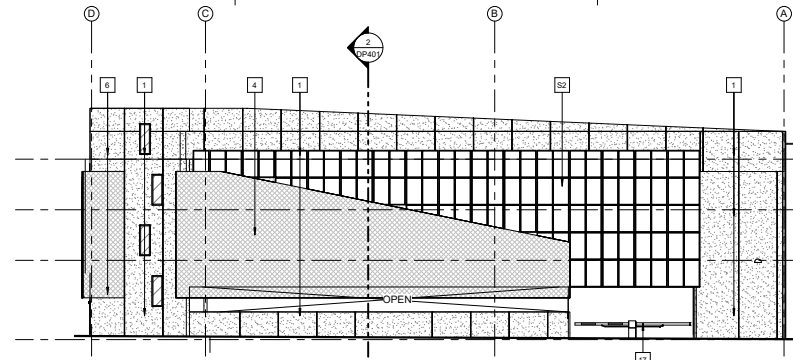
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OFFICE/ WAREHOUSE ELEVATION

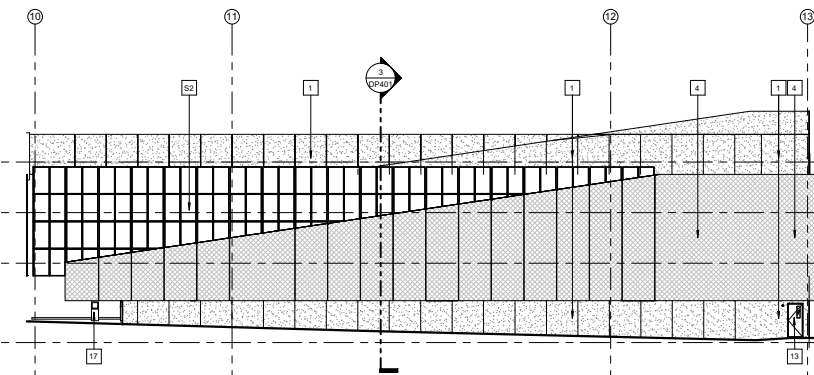
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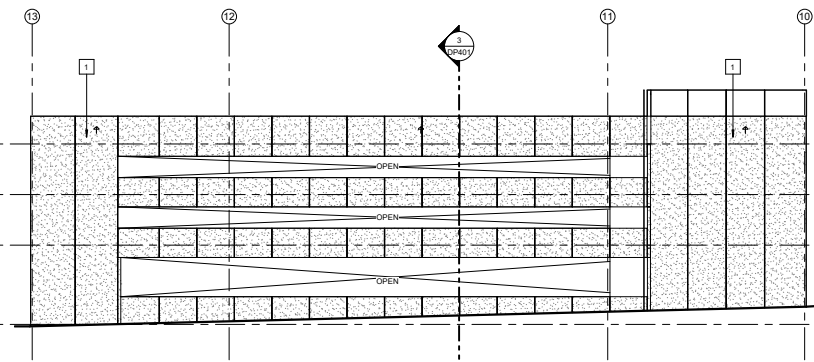
1 PARKADE WEST ELEVATION
 DP304 SCALE: 1:150



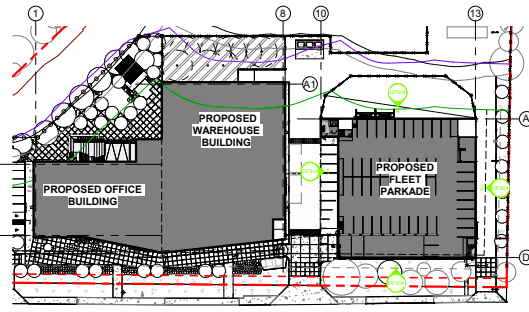
2 PARKADE EAST ELEVATION
 DP304 SCALE: 1:150



3 PARKADE SOUTH ELEVATION (64TH AVENUE)
 DP304 SCALE: 1:150



4 PARKADE NORTH ELEVATION
 DP304 SCALE: 1:150



64 AVENUE



5 ELEVATION KEYPLAN
 DP304 SCALE: 1:750

SUSTAINABILITY FEATURES	
S1	ROOF MOUNTED PHOTOVOLTAIC PANELS
S2	PHOTOVOLTAIC PANEL WINDOW TO WALL RATIO OPTIMIZED FOR ENERGY PERFORMANCE, ACCESS TO DAYLIGHT AND OCCUPANT COMFORT
S3	BUILDING OVERHANG PROVIDES PASSIVE SOLAR SHADING
S4	EXTRUDED ALUMINIUM SOLAR SHADING DEVICE. DEPTH VARIES (150mm - 200mm). FINISH: BLACK
S5	INTEGRATED PLANTERS FOR BIOPHILIC CONNECTION TO NATURAL MATERIALS
S6	BIRD COLLISION DETERRENCE TREATMENT TO BE APPLIED TO GLAZING PER LEED v4 GUIDELINES
S7	

ELEVATION KEYNOTES	
1	CONCRETE PANEL, PAINTED LIGHT GREY
2	METAL PANEL, PROFILE: FLAT, COLOUR: BLACK
3	METAL PANEL, PROFILE: PROFILED, COLOUR: BLACK
4	METAL SCREEN, PROFILE: PERFORATED, COLOUR: BLACK
5	ROOF CONNECTION BUILDING AND PARKADE (SHOWN IN SECTION)
6	CURTAIN WALL, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
7	CURTAIN WALL, COLOUR/GLASS: SPANDREL, COLOUR/FRAME: BLACK
8	ALUMINIUM WINDOW, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
9	METAL GUARDRAIL, PROFILE: PERFORATED, COLOUR: BLACK
10	CEDAR SOFFIT
11	ALUMINIUM MAN DOOR, COLOUR/GLASS: CLEAR, COLOUR/FRAME: BLACK
12	BUILDING SIGNAGE, REFER TO SIGNAGE PACKAGE
13	INSULATED METAL MAN DOOR, COLOUR: TO MATCH ADJACENT FINISH
14	INSULATED OVERHEAD DOOR, COLOUR/PANEL: TO MATCH CONCRETE PANEL, COLOUR/FRAME: BLACK
15	PRECAST BLEACHER SEATING/STAIR
16	METAL FAN STAIR
17	OPERABLE ACCESS ARM INTO PARKADE
18	RAMP TO LOADING DOOR
19	METAL PANEL, WOOD GRAIN COLOUR TBD

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PROJECT TITLE
TELUS PARK SURREY
 15079 64 AVENUE, SURREY, BC

ISSUE: 5

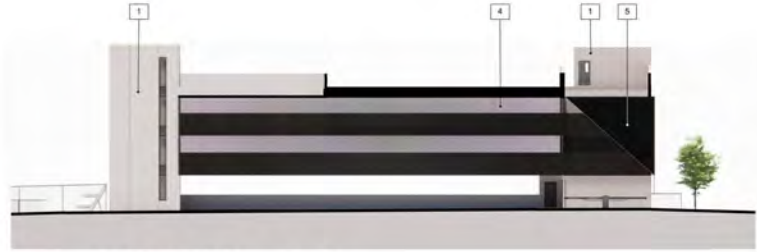
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5	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT

SCALE: As Indicated
DRAWN BY: DK
CHECKED BY/QA: MIP
PROJECT NO.: 2728

DRAWING CONTENTS
PARKADE ELEVATIONS



SOUTH ELEVATION
(VIEW FROM 64 AVENUE)



WEST PARKADE ELEVATION



EAST PARKADE ELEVATION

1. CONCRETE PANEL - PAINTED LIGHT GREY 2. METAL PANEL- FLAT, BLACK



3. BATTEN OR STANDING SEAM METAL PANEL, BLACK



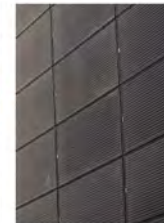
4. METAL SCREEN- PERFORATED, BLACK



5. PHOTOVOLTAIC PANEL



6. CURTAIN WALL - WINDOW



7. CURTAIN WALL - SPANDREL PANEL

8. PUNCHED WINDOW

9. METAL PANEL - WOOD GRAIN COLOUR TBD

DESIGN CONSULTANT

lemay

PRIME CONSULTANT, ARCHITECT



CLIENT



CONTRACTOR



PLANNING CONSULTANT



LANDSCAPE ARCHITECT



SEALS



NOTES

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
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5	202602	RE-ISSUED FOR DEVELOPMENT PERMIT
4	202621	RE-ISSUED FOR DEVELOPMENT PERMIT
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SCALE:

DRAWN BY: Author

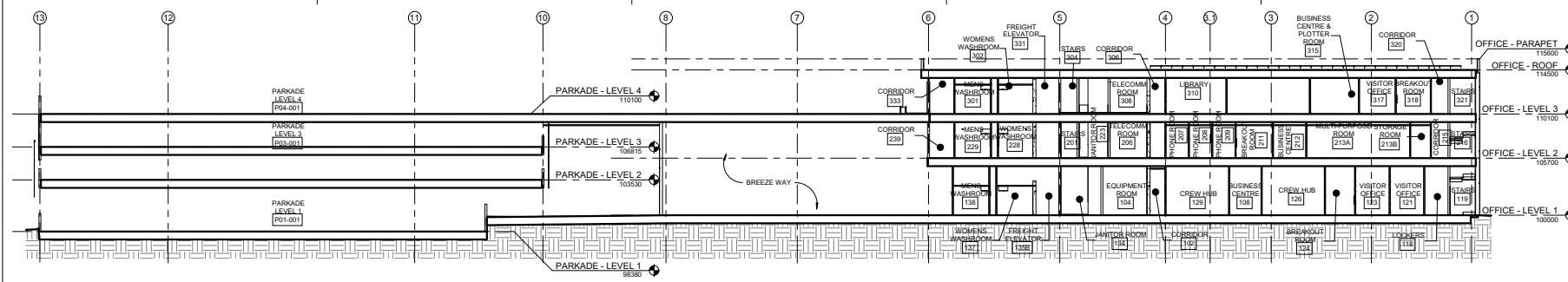
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PROJECT NO: 2728

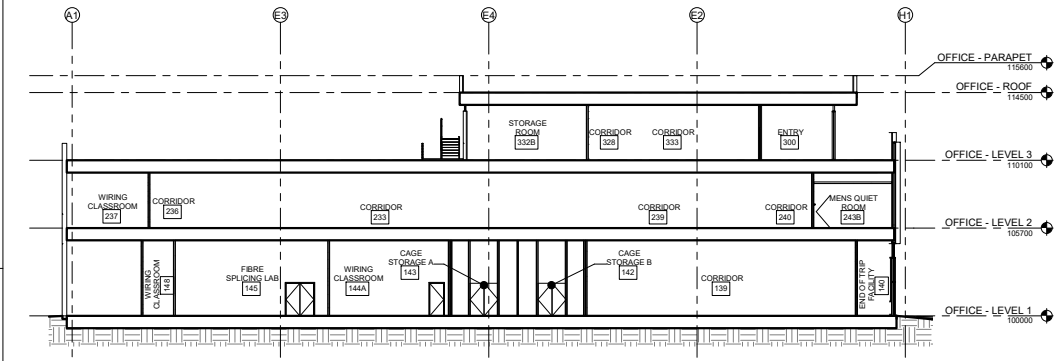
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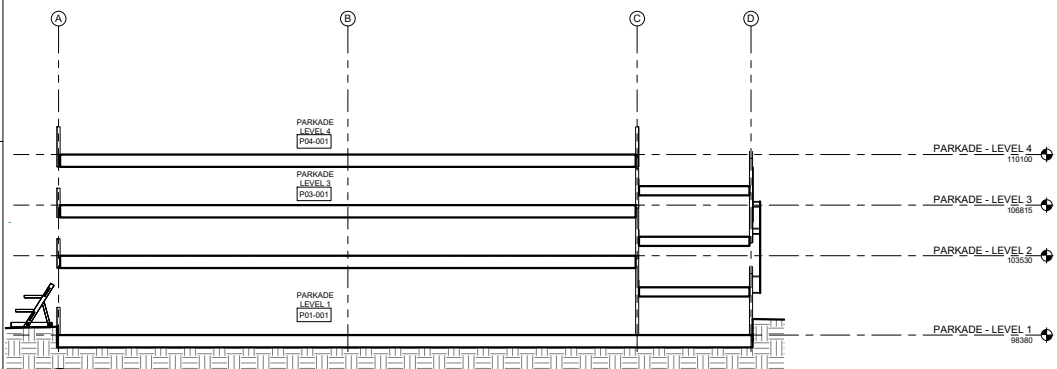
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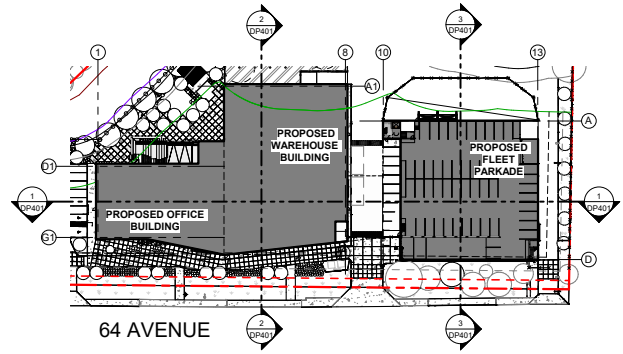
2 BUILDING SECTION 01
DP401/ SCALE: 1: 200



1 BUILDING SECTION 02
DP401/ SCALE: 1: 150



3 BUILDING SECTION 03
DP401/ SCALE: 1: 150



4 BUILDING SECTION KEYPLAN
DP401/ SCALE: 1: 750



DESIGN CONSULTANT
lemay

PRIME CONSULTANT, ARCHITECT
PLANWORKS

CLIENT
TELUS

CONTRACTOR
EAGLE BUILDERS

PLANNING CONSULTANT
b&a

LANDSCAPE ARCHITECT
pmg

SEALS

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18	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
19	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
20	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
21	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
22	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
23	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
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25	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
26	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
27	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
28	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
29	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
30	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
31	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
32	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
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37	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
38	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
39	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
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49	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT
50	2024/05/15	ISSUED FOR DEVELOPMENT PERMIT

SCALE: As Indicated

DRAWN BY: DK

CHECKED BY/QA: MP

PROJECT NO: 2728

DRAWING CONTENTS

BUILDING SECTIONS



NOTES

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PROJECT TITLE

TELUS PARK SURREY

15079 64 AVENUE, SURREY, BC

ISSUE: 5

#	DATE	DESCRIPTION
5	2024/10	ISSUED FOR DEVELOPMENT PERMIT
4	2024/02	ISSUED FOR DEVELOPMENT PERMIT
3	2024/02	ISSUED FOR DEVELOPMENT PERMIT
2	2024/02	ISSUED FOR DEVELOPMENT PERMIT
1	2024/02	ISSUED FOR DEVELOPMENT PERMIT

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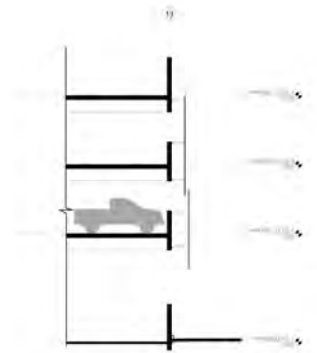
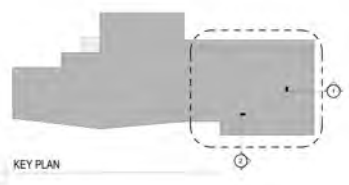
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CHECKED BY/NO:

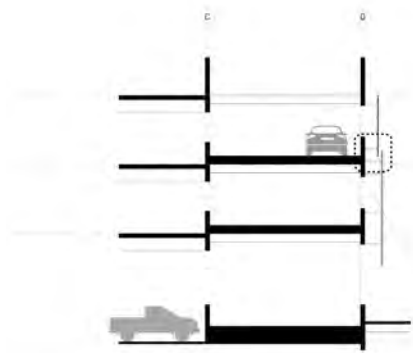
PROJECT NO: 2728

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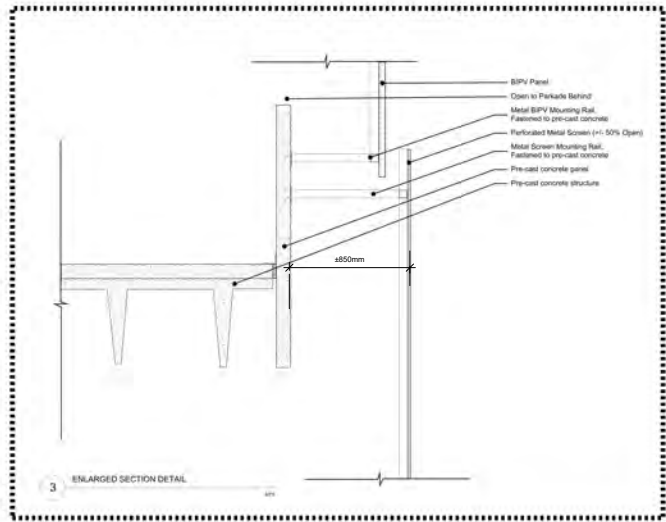
PARKADE SECTIONS



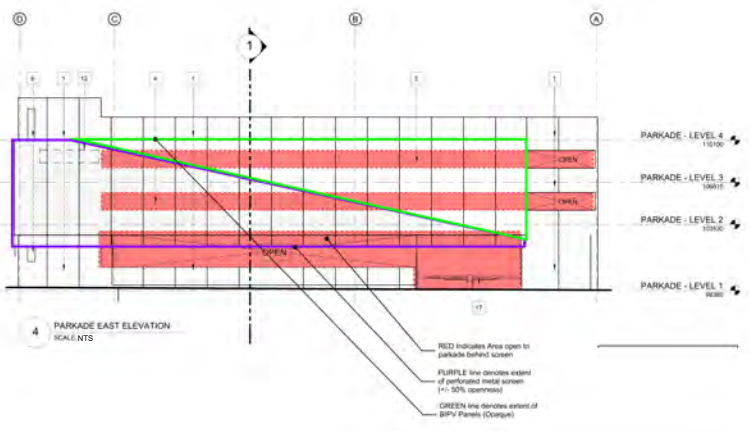
1 PARKADE WALL SECTION 1
NTS



2 PARKADE WALL SECTION 2
NTS

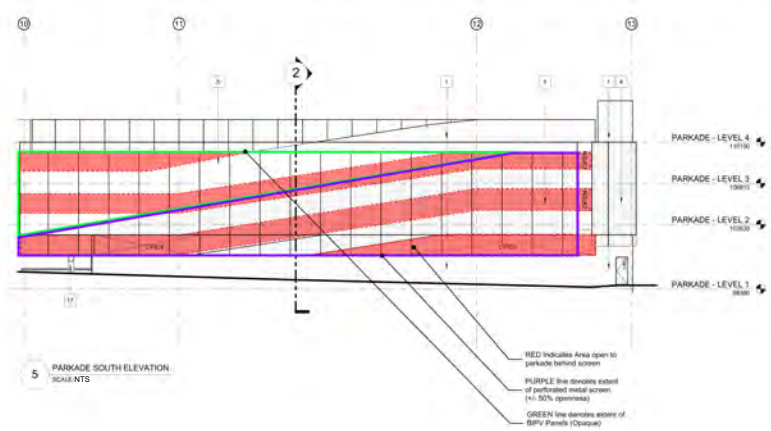


3 ENLARGED SECTION DETAIL
1/4" = 1'-0"



4 PARKADE EAST ELEVATION
SCALE: NTS

- RED indicates Area open to parkade behind screen
- PURPLE line denotes extent of perforated metal screen (1-1/2 50% openings)
- GREEN line denotes extent of BPV Panels (Diagonal)



5 PARKADE SOUTH ELEVATION
SCALE: NTS

- RED indicates Area open to parkade behind screen
- PURPLE line denotes extent of perforated metal screen (1-1/2 50% openings)
- GREEN line denotes extent of BPV Panels (Square)



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PROJECT TITLE

TELUS SURREY

15079 64 AVENUE, SURREY, BC

ISSUE:

#	DATE	DESCRIPTION
1	22 JUN 15	REV. PRIORITY/ISSUE TRACKS NOTES
2	23 MAY 17	CITY COMMENTS
3	22 MAY 15	NEW SITE PLAN CITY COMMENTS
4	22 APR 16	NEW SITE PLAN
5	23 MAR 16	REVISED PER 01
6	22 MAR 16	NEW SITE PLAN CITY COMMENTS
7	21 NOV 15	ISSUED FOR CIV
8	23 NOV 15	NEW SITE PLAN
9	23 JUN 16	REVISE PER ARCHITECT'S COMMENTS

SCALE: 1:400

DRAWN BY: DO

CHECKED BY/QIA: MCY

PMG PROJECT NO: 21-088

DRAWING CONTENTS

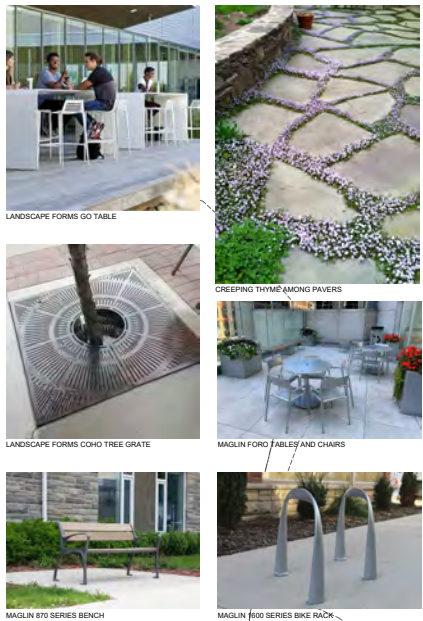
LANDSCAPE PLAN

SHEET NUMBER

L1

PLANT SCHEDULE				PMG PROJECT NUMBER: 21-088
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
14		ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	6CM CAL; 2M STD; B&B
9		ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6CM CAL; 2M STD; B&B
3		AMELANCHIER × GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	5CM CAL; B&B
5		CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	5CM CAL; B&B
14		FAGUS SYLVATICA 'DAWYCK'	FASTIGIATE OR DAWYCK BEECH	6CM CAL; B&B
11		PLATANUS ACERIFOLIA	LONDON PLANE TREE	12CM CAL; 2M STD; B&B
5		PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B
9		PYRUS CALLERYANA 'REDSPIRE'	ORNAMENTAL PEAR	5CM CAL; 1.8M STD; B&B
3		TRIFOLIUM PULCATUM	WESTERN RED CEDAR	2.9M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL LANDSCAPE MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



LANDSCAPE FORMS GO TABLE

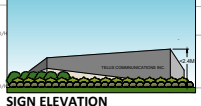
CREEPING THYME AMONG PAVERS

LANDSCAPE FORMS COHO TREE GRATE

MAGLIN FORD TABLES AND CHAIRS

MAGLIN 870 SERIES BENCH

MAGLIN 800 SERIES BIKE RACK



SIGN ELEVATION

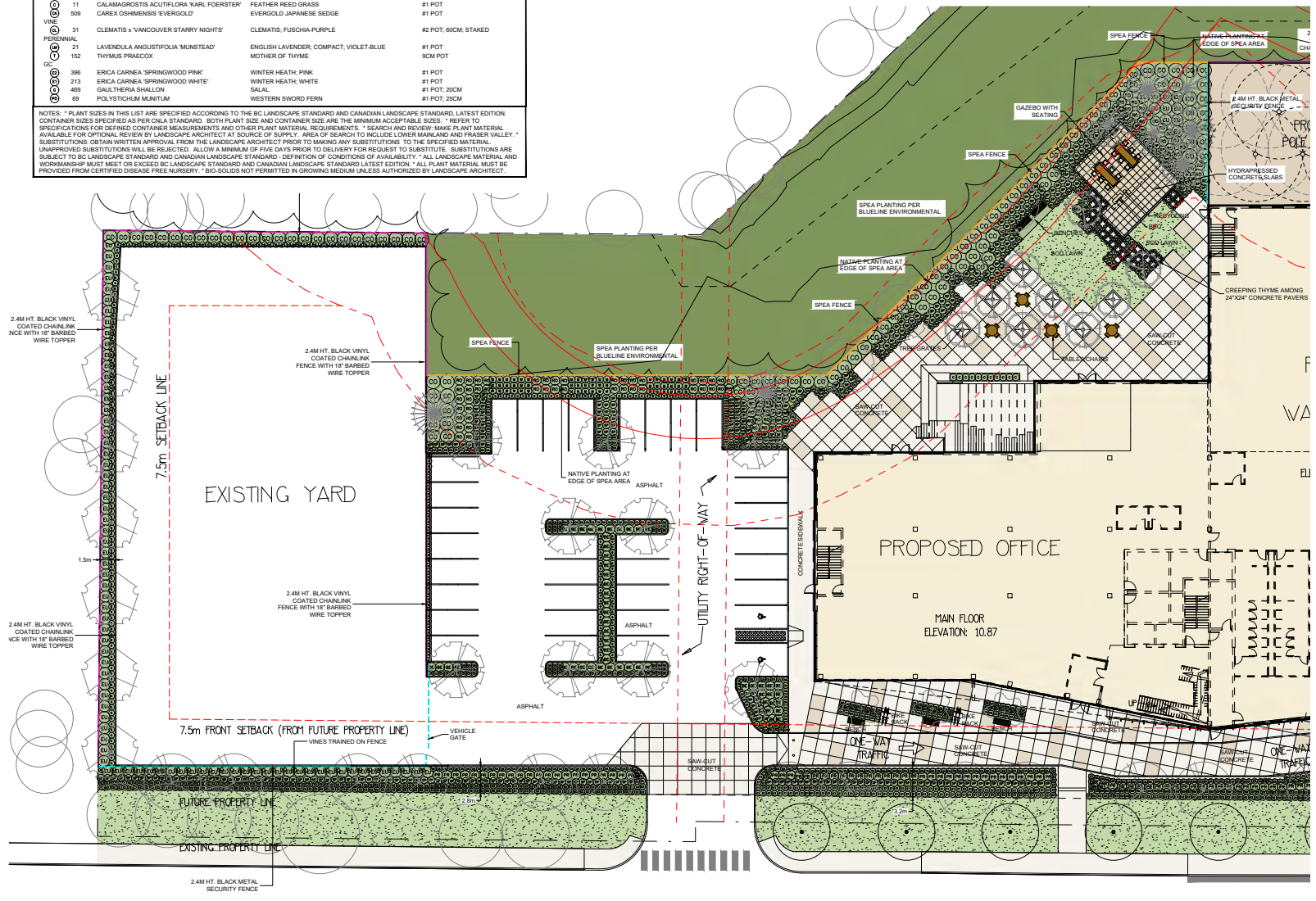


PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUBS				
53		BERBERIS DARWINI	DARWIN'S BARBERRY, YELLOW ORANGE	#3 POT; 40CM
57		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
109		CORNUS SERICEA	RED OSIER DOGWOOD	#3 POT; 50CM
214		EUCONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
54		MAHONIA NERVOSA	LONGLEAF MAHONIA	#2 POT; 40CM
109		PRUNUS LAUROCEARASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#2 POT; 50CM
76		ROSA NUTKANIA	NOOTKA ROSE	#2 POT; 40CM
418		SPIRAEA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	#2 POT; 40CM
276		VIBURNUM DAVIDI	DAVID'S VIBURNUM	#2 POT; 30CM
GRASS				
11		CALAMAGROSTIS ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS	#1 POT
509		CAREX OSHANESII 'EVERNOLT'	EVERNOLD JAPANESE SEDGE	#1 POT
VINE				
31		CLEMATIS x 'YANGOVER STARRY NIGHTS'	CLEMATIS, FUSCHIA-PURPLE	#2 POT; 60CM, STAKED
PERENNIAL				
21		LAVENDULA ANGUUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT
152		THYMUS PRAECOX	MOTHER OF THYME	9CM POT
GC				
396		ERICA CARNEA 'SPRINGWOOD PINK'	WINTER HEATH, PINK	#1 POT
213		ERICA CARNEA 'SPRINGWOOD WHITE'	WINTER HEATH, WHITE	#1 POT
469		GAULTHERIA SHALLOON	SHAL	#1 POT; 20CM
69		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM

PMG PROJECT NUMBER: 21-009

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DESIGN CONSULTANT
lemay
 PRIME CONSULTANT, ARCHITECT

 CLIENT

 CONTRACTOR

 PLANNING CONSULTANT

 LANDSCAPE ARCHITECT

SEALS
 NOT FOR CONSTRUCTION

- NOTES**
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PROJECT TITLE
TELUS SURREY
 15079 64 AVENUE, SURREY, BC

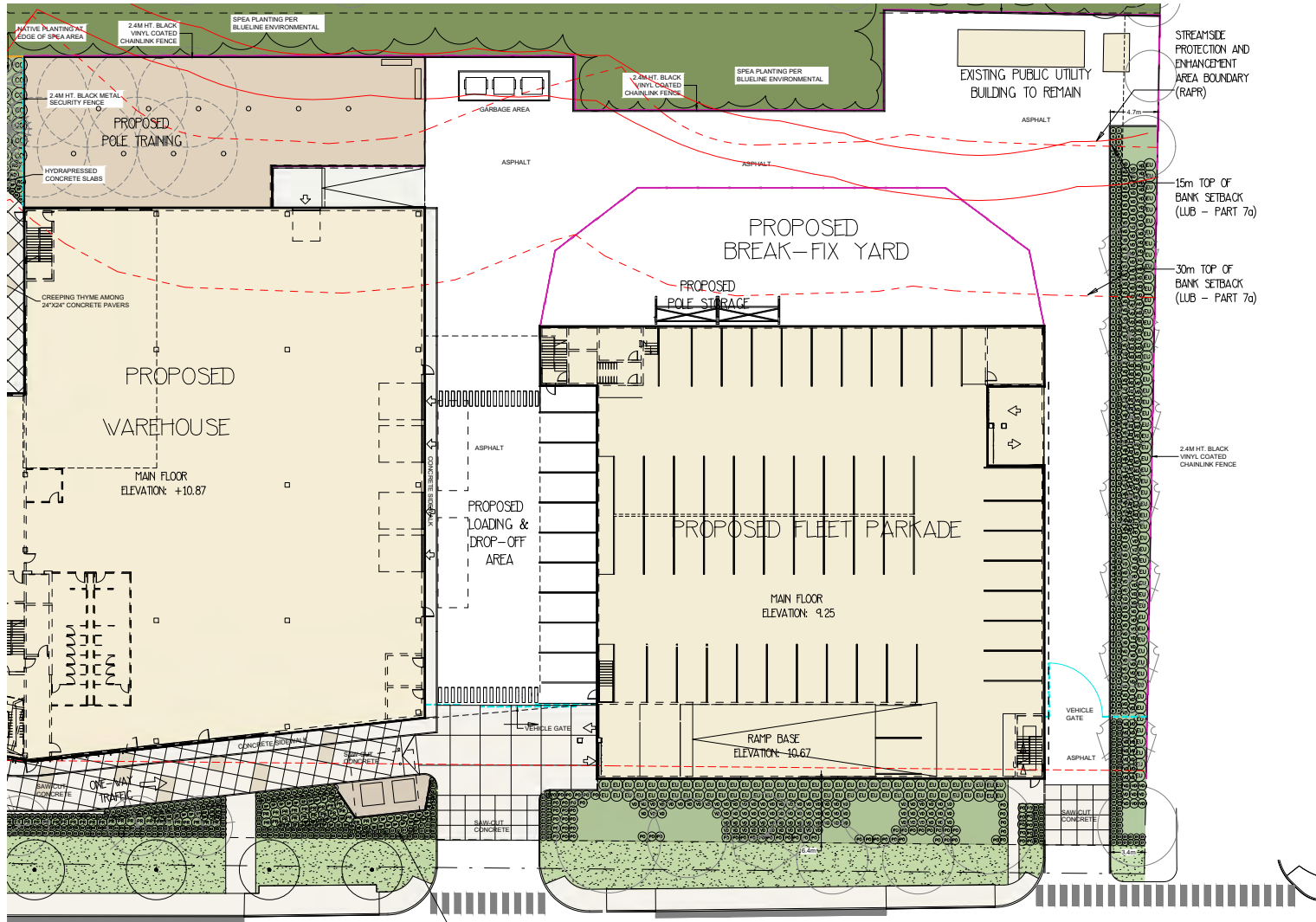
ISSUE:

#	DATE	DESCRIPTION
1	22 JUN 15	REV. PRIORITY TRACKS NOTES
2	22 MAY 17	CITY COMMENTS
3	22 MAY 15	NEW SITE PLAN / CITY COMMENTS
4	22 APR 16	NEW SITE PLAN
5	22 MAR 16	REVISED FOR PER
6	22 MAR 16	NEW SITE PLAN / CITY COMMENTS
7	21 NOV 15	ISSUED FOR CW
8	22 NOV 15	NEW SITE PLAN
9	21 JUN 16	REVISE PER ARCHITECT'S COMMENTS

SCALE: 1:200
DRAWN BY: DO
CHECKED BY/QIA: MCY
 PMG PROJECT NO: 21-009

DRAWING CONTENTS
LANDSCAPE SHRUB PLAN

SHEET NUMBER
L2



VENUE

PROPOSED AT-GRADE SIGNAGE LOCATION.

DESIGN CONSULTANT



PRIME CONSULTANT, ARCHITECT



CLIENT



CONTRACTOR



PLANNING CONSULTANT



LANDSCAPE ARCHITECT



SEALS

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PROJECT TITLE

TELUS SURREY

15079 64 AVENUE, SURREY, BC

ISSUE:

#	DATE	DESCRIPTION
1	22 JUN 15	REV. PROPERTY TRACKS NOTES
2	23 MAY 17	CITY COMMENTS
3	22 APR 15	NEW SITE PLAN CITY COMMENTS
4	22 APR 15	NEW SITE PLAN
5	22 APR 15	REVISED FOR PERMITS
6	22 MAR 15	NEW SITE PLAN / CITY COMMENTS
7	21 NOV 15	ISSUED FOR CIV
8	23 NOV 15	NEW SITE PLAN
9	21 JUN 15	REVISE FOR ARCHITECT'S COMMENTS

SCALE: 1:200

DRAWN BY: DO

CHECKED BY: QCA: MCY

PMG PROJECT NO: 21-008

DRAWING CONTENTS

LANDSCAPE SHRUB PLAN

SHEET NUMBER

L3

21088-8-ZIP



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PROJECT TITLE

TELUS SURREY

15079 64 AVENUE, SURREY, BC

ISSUE:

#	DATE	DESCRIPTION
1	22 JUN 15	REV. PROPERTY TRACKS NOTES
2	23 MAY 17	CITY COMMENTS
3	22 MAY 15	NEW SITE PLAN / CITY COMMENTS
4	22 APR 16	NEW SITE PLAN
5	23 MAR 16	REVISED PERM
6	23 MAR 16	NEW SITE PLAN / CITY COMMENTS
7	21 NOV 15	ISSUED FOR CW
8	23 NOV 15	NEW SITE PLAN
9	21 JUN 16	REVISE PER ARCHITECT'S COMMENTS

SCALE: 1:200

DRAWN BY: DO

CHECKED BY: MCY

PMG PROJECT NO: 21-088

DRAWING CONTENTS

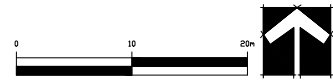
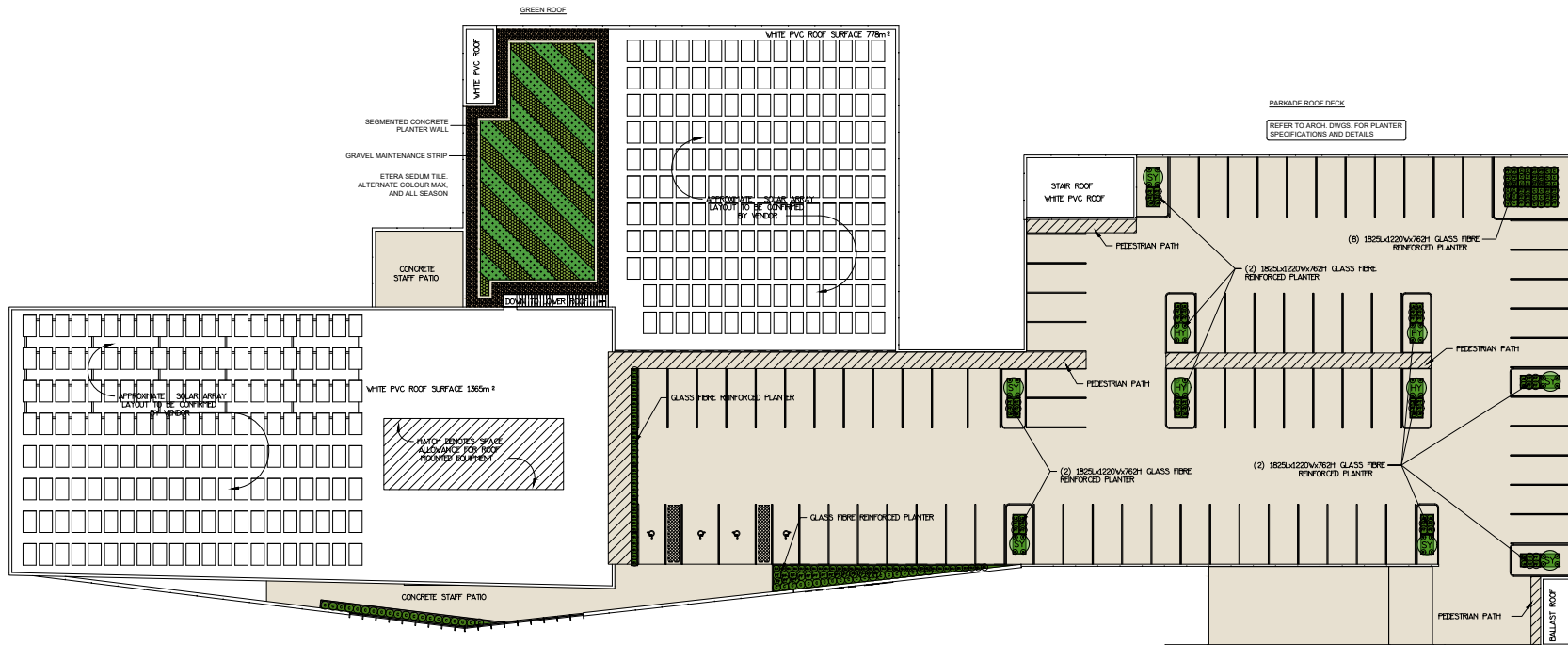
LANDSCAPE PLAN
GREEN ROOF
PARKADE

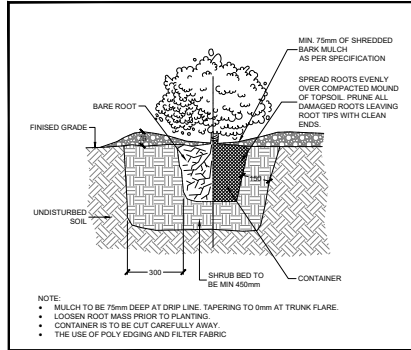
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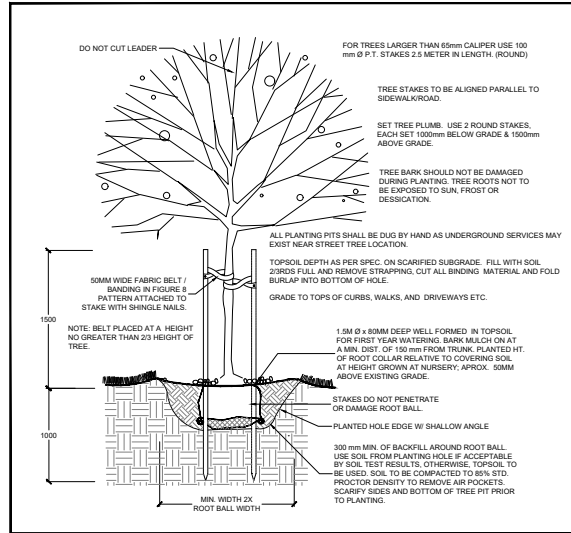
PLANT SCHEDULE		PARKADE ROOF DECK		PMG PROJECT NUMBER: 21-088
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	64	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT, 40CM
SHRUB	4	HIBISCUS SYRIACUS	ROSE OF SHARON	#5 POT
SHRUB	81	POTENTILLA FRUTICOSA 'PINK PRINCESS'	SHRUBBY CINQUEFOIL, PINK	#5 POT, 30CM
SHRUB	6	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	#5 POT
GRASS	64	CALAMAGROSTIS ACUTIFLORA 'KARL FÖRSTER'	FEATHER REED GRASS	#1 POT
PERENNIAL	20	LAVENTULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT
GC	40	WALDSTENIA TERNATA	BARREN STRAWBERRY	#1 POT, 20CM

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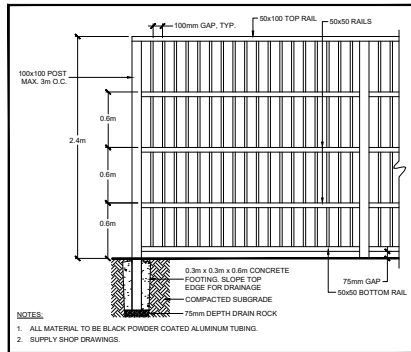




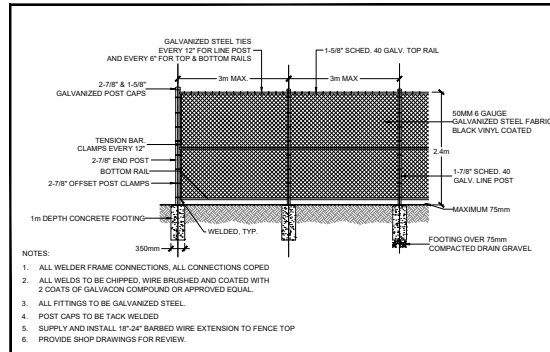
1 BARE ROOT/CONTAINER SHRUB PLANTING



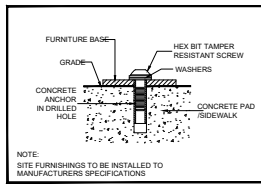
2 TYPICAL DECIDUOUS TREE DETAIL



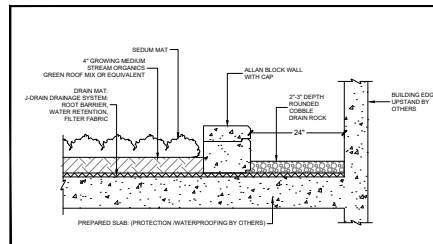
3 2.4m HT. ALUMINUM PICKET FENCE



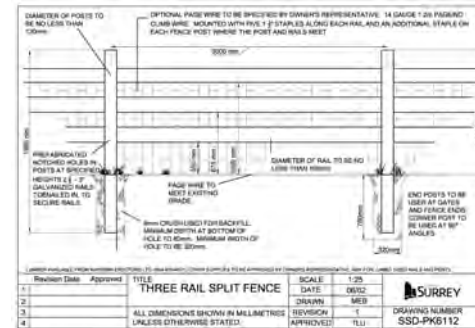
4 2.4M HT. PERIMETER CHAINLINK FENCE



5 SITE FURNITURE MOUNTING



6 GREEN ROOF



7 THREE RAIL SPLIT FENCE

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#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7	22.Apr.15	REV. PROPERTY/STRAKES NOTES
8	23.May.17	CITY COMMENTS
9	22.Apr.15	NEW SITE PLAN/JOINT COMMENTS
10	22.Apr.15	NEW SITE PLAN
11	22.Apr.15	REVISOR CORP.
12	22.May.15	NEW SITE PLAN/JOINT COMMENTS
13	21.Nov.15	ISSUE FOR CW
14	23.Nov.15	NEW SITE PLAN
15	21.Jan.16	REVISE PER ARCHITECT'S COMMENTS

Project ID

HR1-68208 R4

Date: 06-01-2022
Scale: NTS
Sales: Garry Sigouin
Designer: DF1

Rev. #: R4
Date: 06-01-2022

Revision Note: R1: updated site plan; included monument.
R2: removed SG2 (illum. letters). R3: changed SG3 from monument. R4: no changes.

Missing Information

Required:
- Survey Required for exact measurements and materials

Electrical

- 120V 347V
- Other _____

Customer Approval

Signature _____

MM/DD/YYYY _____

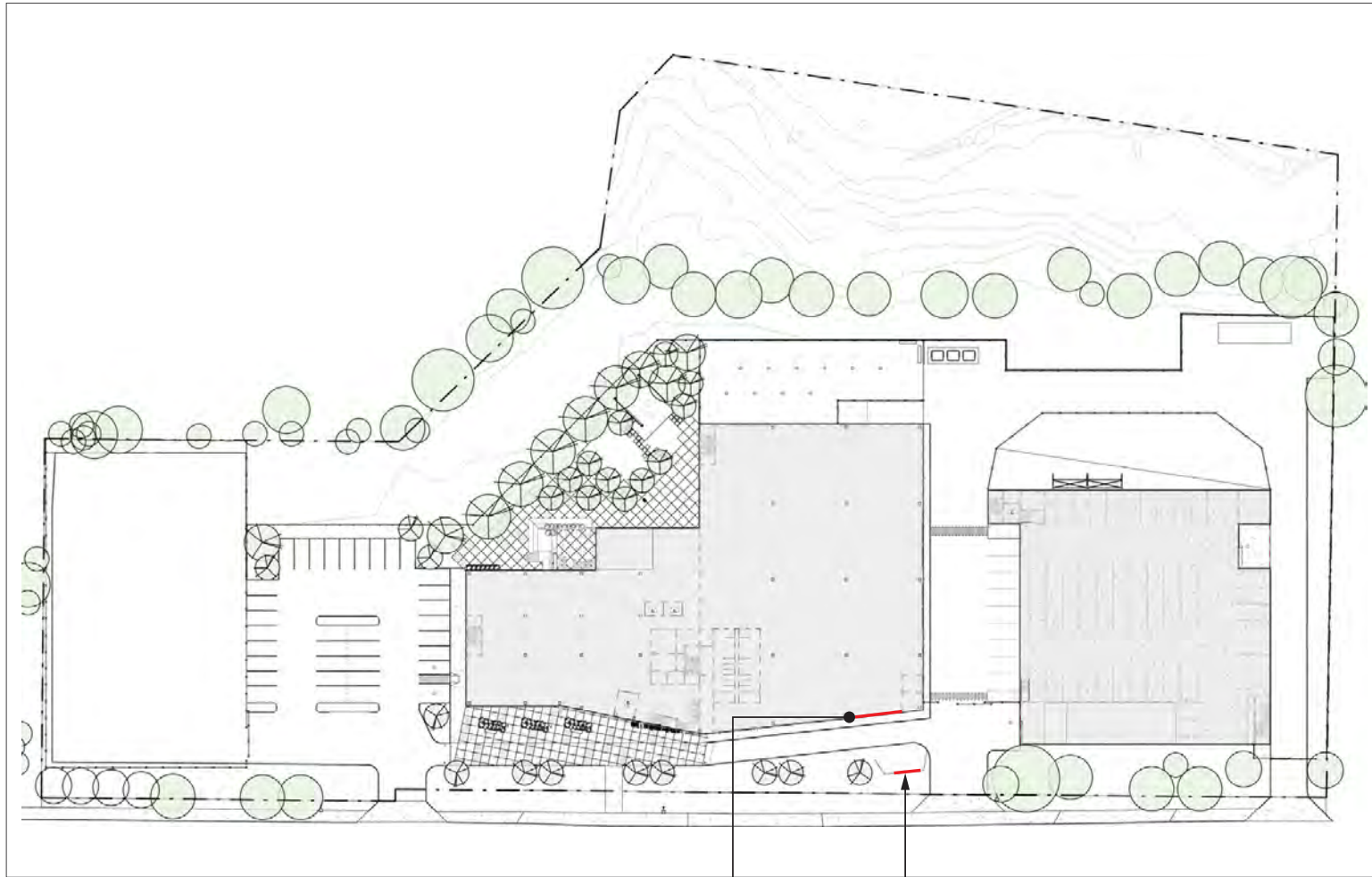
It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

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TELUS Park
15079 64 Avenue
Surrey BC

Sign Item

Site Plan



SG1 "TELUS park"
Halo-Illuminated Letters

SG3 Illuminated Letters

Project ID

HR1-68208 R4

Date: 06-01-2022

Scale: 1/16"=1'-0"

Sales: Garry Sigouin

Designer: DF1

Rev. #: R4

Date: 06-01-2022

Revision Note: R1: no changes.
R2: removed SG2 (Halo-illum. letters on the east elevation); new monument design added.
R3: changed scope of SG3 from monument to c/s. R4: new monument design

Missing Information

Required:
- Survey Required for exact measurements and materials

Electrical

120V 347V

Other _____

Customer Approval

Signature _____

MM/DD/YYYY _____

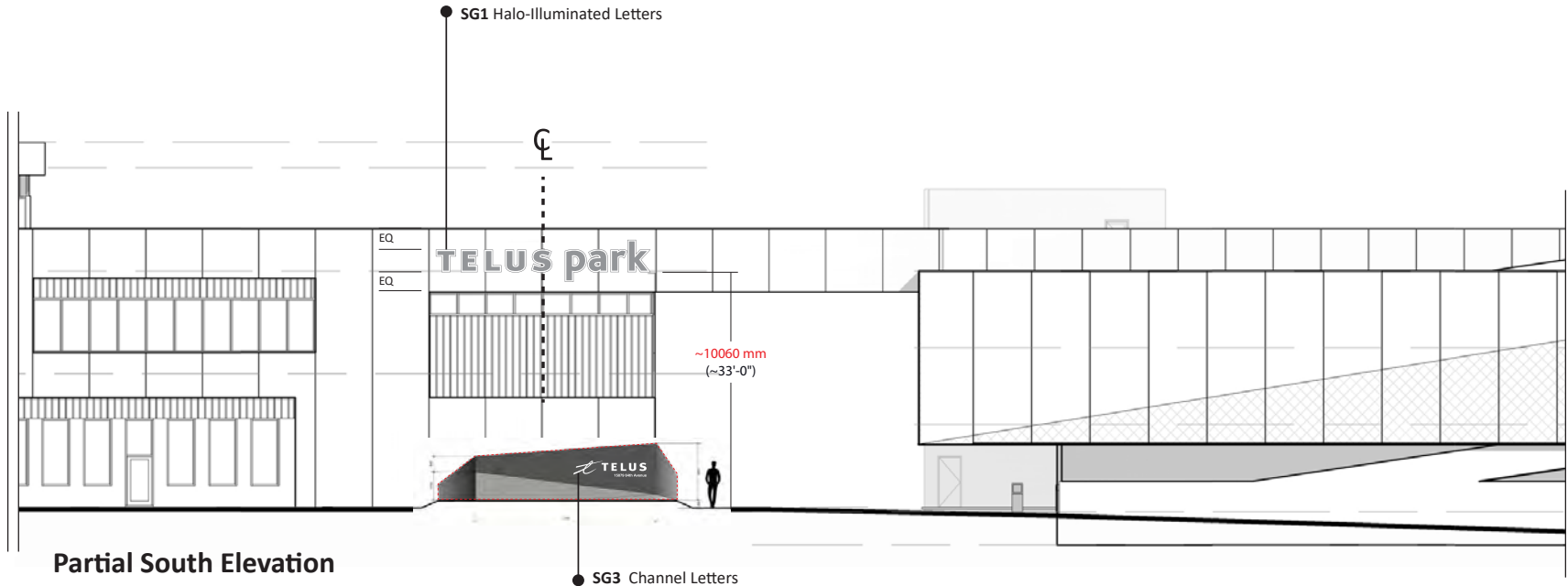
It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

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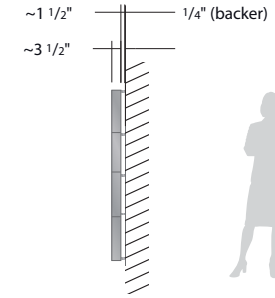
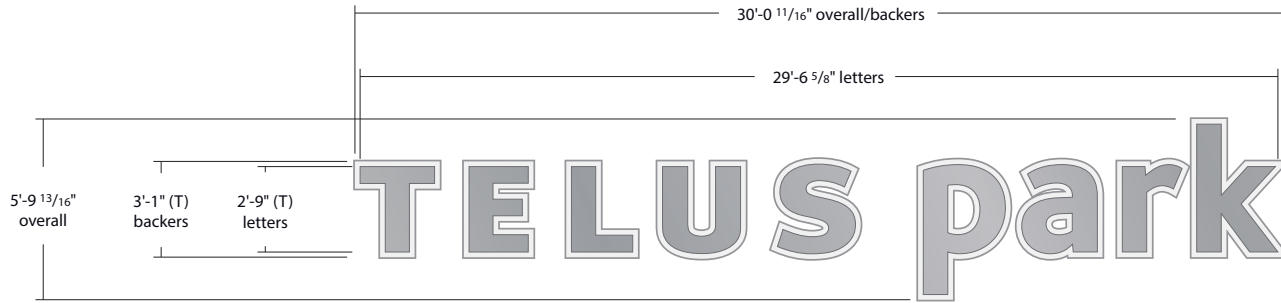
TELUS Park
15079 64 Avenue
Surrey BC

Sign Item

Elevations



Partial South Elevation



Side View



Nighttime Halo Effect

Specifications

Supply & Install New Halo-Illuminated Channel Letters

- Painted metal faces (brushed aluminum finish)
- 3" brushed aluminum returns
- Backs of letters are clear lexan to provide halo effect
- Backers painted white
- Letters stooled of backers 1 1/2"
- White LED illumination
- Letters/backers mounted flush to wall
- Remote thru-wall power (TBC).

Colours

- White Substrate/Paint
- brushed aluminum finish to match existing letters

Project ID

HR1-68208 R4

Date: 06-01-2022
 Scale: 1/4"=1'-0"
 Sales: Garry Sigouin
 Designer: DF1

Rev. #: R4

Date: 06-01-2022

Revision Note: R1: removed stringers. R2-4: no changes.

Missing Information

Required:
 - Survey Required for exact measurements and materials

Electrical

- 120V 347V
- Other _____

Customer Approval

Signature _____

MM/DD/YYYY

It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

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TELUS Park
 15079 64 Avenue
 Surrey BC

Sign Item

SG1

Project ID

HR1-68208 R4

Date: 06-01-2022
Scale: 1/4"=1'-0"
Sales: Garry Sigouin
Designer: DF1

Rev. #: R4
Date: 06-01-2022

Revision Note: R1: added this sketch. R2: changed to new design. R3: changed scope from entire monument to letters only. R4: new monument design; new copy design (added Telus logo).

Missing Information

Required:
- Survey Required for exact measurements and materials
- drawings of monument to be supplied by client.

Electrical

120V 347V
 Other _____

Customer Approval

Signature _____
MM/DD/YYYY _____

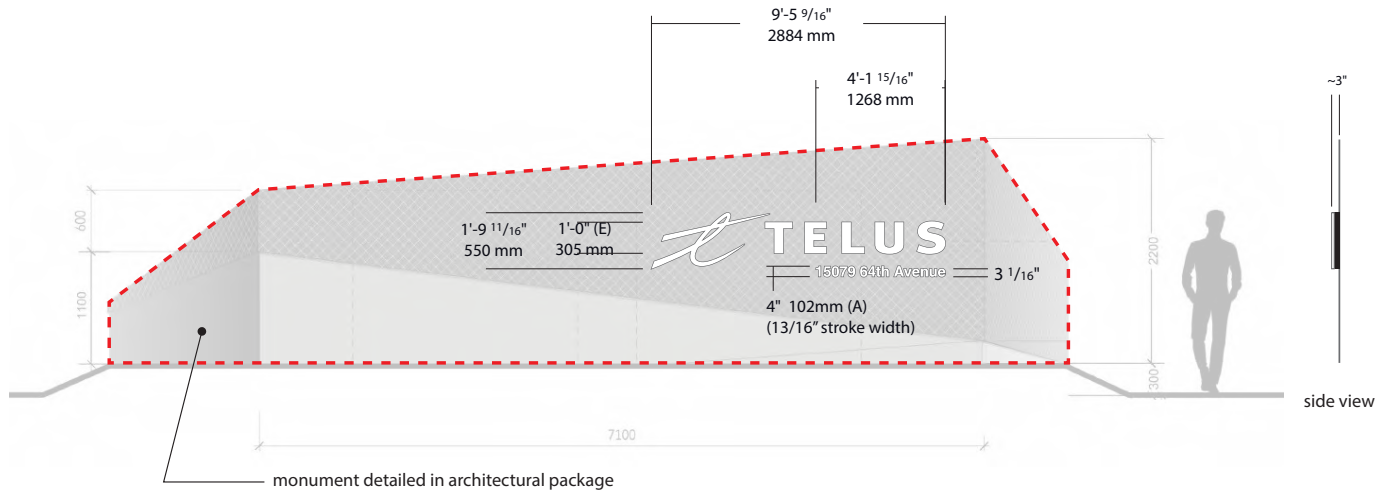
It is the Customer's responsibility to ensure that the structure of the building is designed and constructed to accept the installation of the signs being ordered. Please ask PSG to provide further details if required.

All rights reserved. The artwork depicted herein are copyright and are the exclusive property of Pattison Sign Group and as such cannot be reproduced in whole or in part without written permission by Pattison Sign Group.

TELUS Park
15079 64 Avenue
Surrey BC

Sign Item

SG3



Specifications

Supply & Install Illuminated Channel Letters

- White acrylic faces
- Returns painted black
- 1" White trim Cap
- Backs painted black
- White LED Illumination
- Power in raceway (behind mesh). Raceway painted to match existing mesh

Colours

- White Translucent Substrate
- Black Semi-Gloss paint

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 17, 2022** PROJECT FILE: **7821-0358-00 (Revision 2)**

RE: **Engineering Requirements (Industrial)
Location: 15079 64 Avenue**

BUILDING PERMIT

Property and Statutory Right-of-Way (SRW) Requirements

- Register additional SRW to existing onsite drainage SRW
- Register SRW for City access to riparian area
- Register combined SRW/Easement for riparian area

Works and Services

- Construct new letdowns at proposed access locations, and remove existing letdowns
- Implement onsite low impact development stormwater management features
- Construct water, storm and sanitary service connections to each lot

A Servicing Agreement is required.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permits beyond those listed above.



Jeff Pang, P.Eng.
Development Services Manager

KMH

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

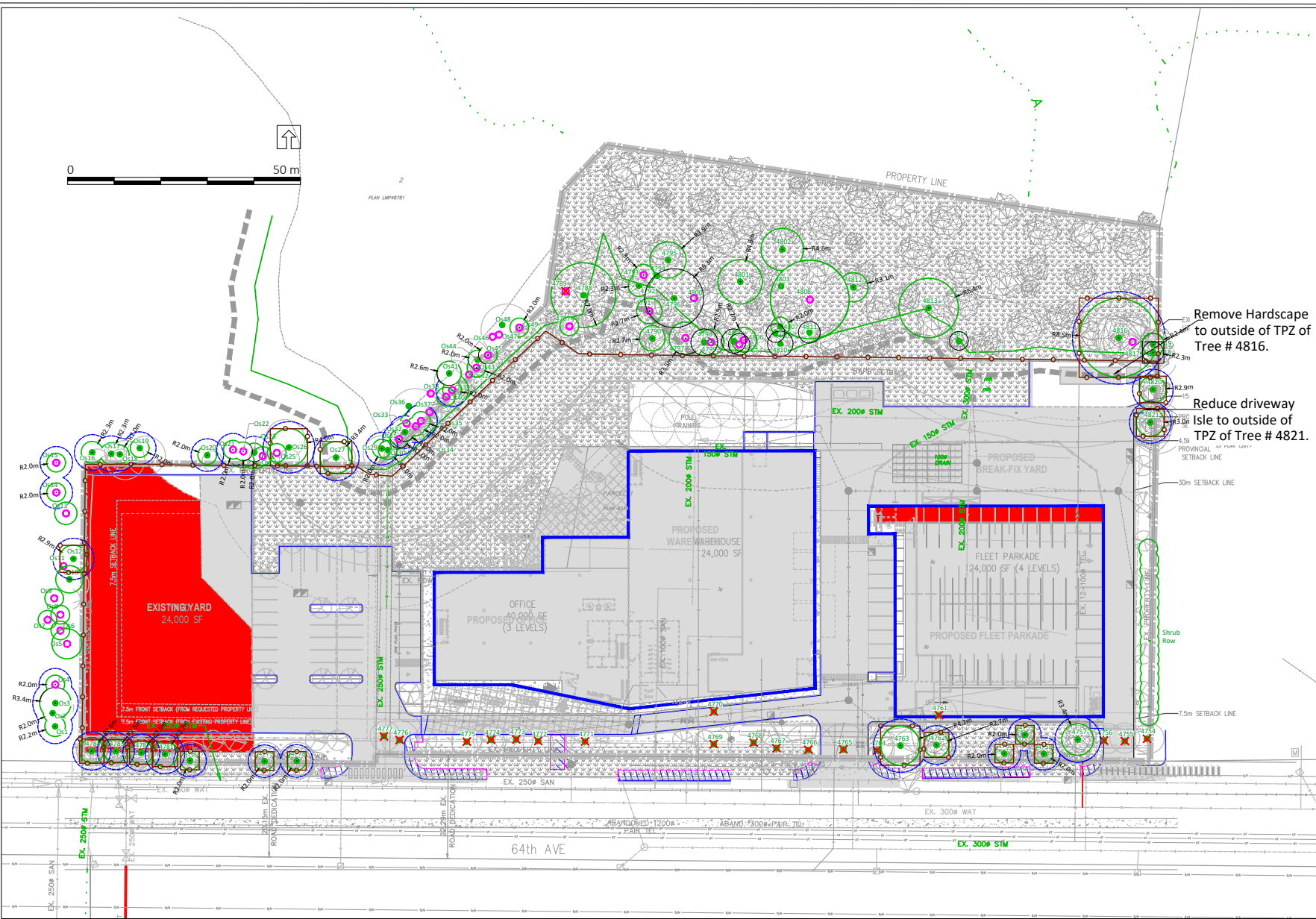
Surrey Project Number

Site Address 15079 64 Ave, Surrey, British Columbia

Registered Arborist Max Rathburn

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	33
Protected Trees to be Removed	19
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	14
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\quad\quad\quad X \quad \text{one (1)} \quad = \quad 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $19 \quad X \quad \text{two (2)} \quad = \quad 38$	38
Replacement Trees Proposed	60
Replacement Trees in Deficit	22 in Surplus
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	31
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \quad X \quad \text{one (1)} \quad = \quad 0$ - All other Trees Requiring 2 to 1 Replacement Ratio $0 \quad X \quad \text{two (2)} \quad = \quad 0$	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by



- LEGEND**
- CRITICAL ROOT ZONE
 - NO-BUILD ZONE
 - TREE PROTECTION ZONE AND FENCING
 - SURVEYED TREE TO BE RETAINED
 - UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)
 - ✗ TREE TO BE REMOVED
- NOTES**

1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE DRAWINGS

1. Base Survey provided by client.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 15079 64 Ave, Surrey
Client: Eagle Builders

Drawing No: 002
Date: 2021/11/29
Drawn by: CW
Page Size: TABLOID 11"x17"

Page #
1 of 1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0358-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 014-594-897

Parcel 1 Section 15 Township 2 New Westminster District Reference Plan 82341

15079 - 64 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

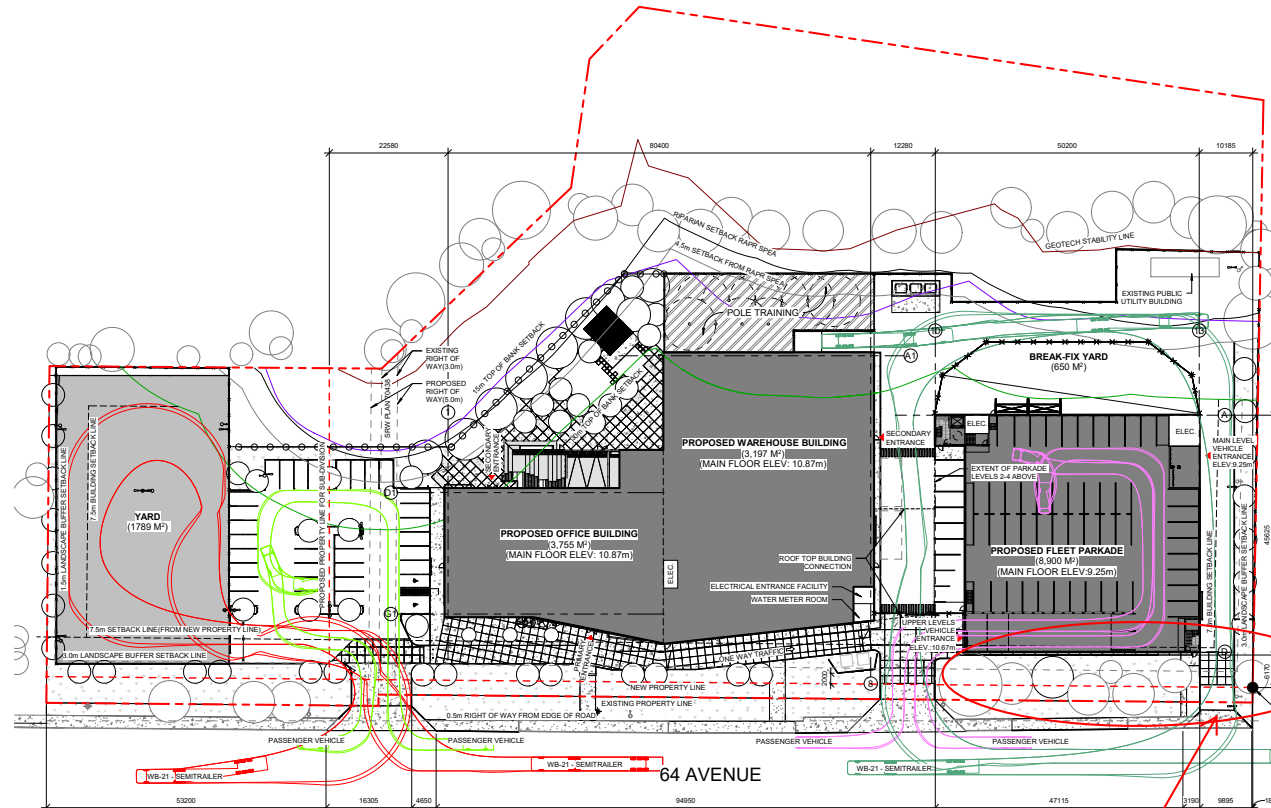
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F. Yards and Setbacks of Part 48 Light Impact Industrial (IL) Zone, the minimum front yard setback is reduced from 7.5 metres to 6.7 metres to the principal building face, for the eastern building.
 - (b) In Subsection B1. Streamside Setbacks Areas, the minimum setback from the top of bank of a Class A (red-coded) Natural Stream is varied from 30 metres to 2.1 metres at the narrowest point, and 21.9 metres at the widest point; and
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

SCHEDULE A.



SITE PLAN LEGEND

	PROPOSED CONCRETE SIDEWALK		WOOD MULCH
	PROPOSED PAVED ASPHALT		PROPOSED LANDSCAPED AREA
	EXISTING ASPHALT		BUILDING FOOTPRINT
	NEW PROPERTY LINE		SAW-CUT CONCRETE
	EXISTING PROPERTY LINE		EXISTING TREE
	PROVINCIAL RAR/SRPPA SETBACK		PROPOSED TREE
	4.5M SETBACK FROM PROVINCIAL RAR/SRPPA		PROPOSED WASTE BIN
	15m 2B SETBACK		PROPOSED WOOD FENCE
	20m 2B SETBACK		PROPOSED CHAINLINK/FICKET FENCE - REFER TO SHEET DP107
	GEOTECHNICAL STABILITY LINE		
	7.5m SETBACK LINE		
	1.5m LANDSCAPE BUFFER		

SITE STATISTICS

MUNICIPAL ADDRESS: 15079 64 AVENUE, SURREY, BC
 LAND USE CLASSIFICATION: I, I/2 (LIGHT IMPACT INDUSTRIAL)

TOTAL SITE AREA: 22,175 SM (5.6 ACRES) / 244,500 SF
 TOTAL USABLE SITE AREA: 17,433 SM (4.3 ACRES) / 197,843 SF
 (TOTAL SITE AREA LESS 5M TOP OF BANK SETBACK AND UTILITY RIGHT OF WAY)

PROPOSED TOTAL GROSS FLOOR AREA: 15,833 SM / 170,645 SF

OFFICE AREA: 3,705 SM / 40,425 SF
 WAREHOUSE AREA: 3,197 SM / 34,420 SF
 PARKADE: 8,900 SM / 95,800 SF
 EXISTING PUBLIC UTILITY BUILDING: 57 SM / 614 SF

MAX. BUILDING HEIGHT: 19M (62 FT)
 PROPOSED BUILDING HEIGHT: 16.5M

MAX. ALLOWABLE FARPER ZONING BYLAW: 1.0

PROPOSED FAR (NOT INCLUDING UNDEVELOPABLE AREA (PARKADE)): 0.40

MAX. ALLOWABLE SITE COVERAGE PER ZONING BYLAW: 60%

PROPOSED SITE COVERAGE (NOT INCLUDING UNDEVELOPABLE AREA): 31%
 WAREHOUSE + OFFICE FOOTPRINT (338,500) + PARKADE FOOTPRINT (2009,500) + NETWORK HUB (97 SM) = 540,100

REQUIRED PARKING STALLS:
 WAREHOUSE: 3387M/100M² = 32 STALLS
 OFFICE: (3755M²/100M²) = 37 STALLS
 TOTAL REQUIRED: 69 STALLS
 REQUIRED BARRIER FREE: 2% OF REQUIRED (138) STALLS = 8 STALLS
 TOTAL PROVIDED BARRIER FREE: 6 STALLS
 TOTAL PARKADE PARKING STALLS: 254 STALLS
 VISITOR PARKING: 35 STALLS
 ADDITIONAL SURFACE PARKING: 6 STALLS
 LEVEL P1: 3 STALLS
 LEVEL P2: 9 STALLS
 LEVEL P3: 64 STALLS
 LEVEL P4: 77 STALLS

ELECTRIC VEHICLE (EV) STALLS: 75
 BICYCLE STALLS EXTERIOR: 4
 BICYCLE STALLS: 4

NOTES

1. Contractor to check and verify all dimensions prior to commencing work.
2. Contractor to comply with all building codes, regulations, and ordinances of authorities having jurisdiction.
3. This drawing is not to be used for construction unless stamped/issued for construction by Plannex Architects Inc.
4. Do not scale drawing.
5. This drawing may not be copied, altered, or distributed in whole or in part without written permission. COPYRIGHT © Plannex Architects and Design Ltd. & Plannex Architects Inc.

SITE SETBACKS

WEST: 1.5M LANDSCAPE BUFFER, 7.5M BUILDING SETBACK
 SOUTH: 1.5M LANDSCAPE BUFFER, 7.5M BUILDING SETBACK, *VARIANCE REQUESTED FOR SETBACK OF PARKADE STRUCTURE.
 EAST: 1.5M LANDSCAPE BUFFER, 7.5M BUILDING SETBACK
 NORTH: 1.5M LANDSCAPE BUFFER, 7.5M BUILDING SETBACK, *TOP OF BANK / RIPARIAN AREA SETBACKS AS NOTED ON SHEET DP102.

1 SITE PLAN
 TOP104 SCALE: 1:400
 NORTH

Proposed variance of the front yard setback from 7.5 m to 6.7 m to the principal building face, for the eastern building

REFER TO ENLARGED SITE PLANS ON DP105 AND DP106

DESIGN CONSULTANT
lemay
 PRIME CONSULTANT, ARCHITECT

 CLIENT

 CONTRACTOR

 PLANNING CONSULTANT

LANDSCAPE ARCHITECT

 SEALS

PROJECT INFO

PROJECT TITLE: TELUS PARK SURREY
 ADDRESS: 15079 64 AVENUE, SURREY, BC
 ISSUE: 5

#	DATE	DESCRIPTION
0	202602	RE SUBMITTED FOR DEVELOPMENT PERMIT
1	202507	RE SUBMITTED FOR DEVELOPMENT PERMIT
2	202507	RE SUBMITTED FOR DEVELOPMENT PERMIT
3	202511	RE SUBMITTED FOR DEVELOPMENT PERMIT
4	202511	RE SUBMITTED FOR DEVELOPMENT PERMIT

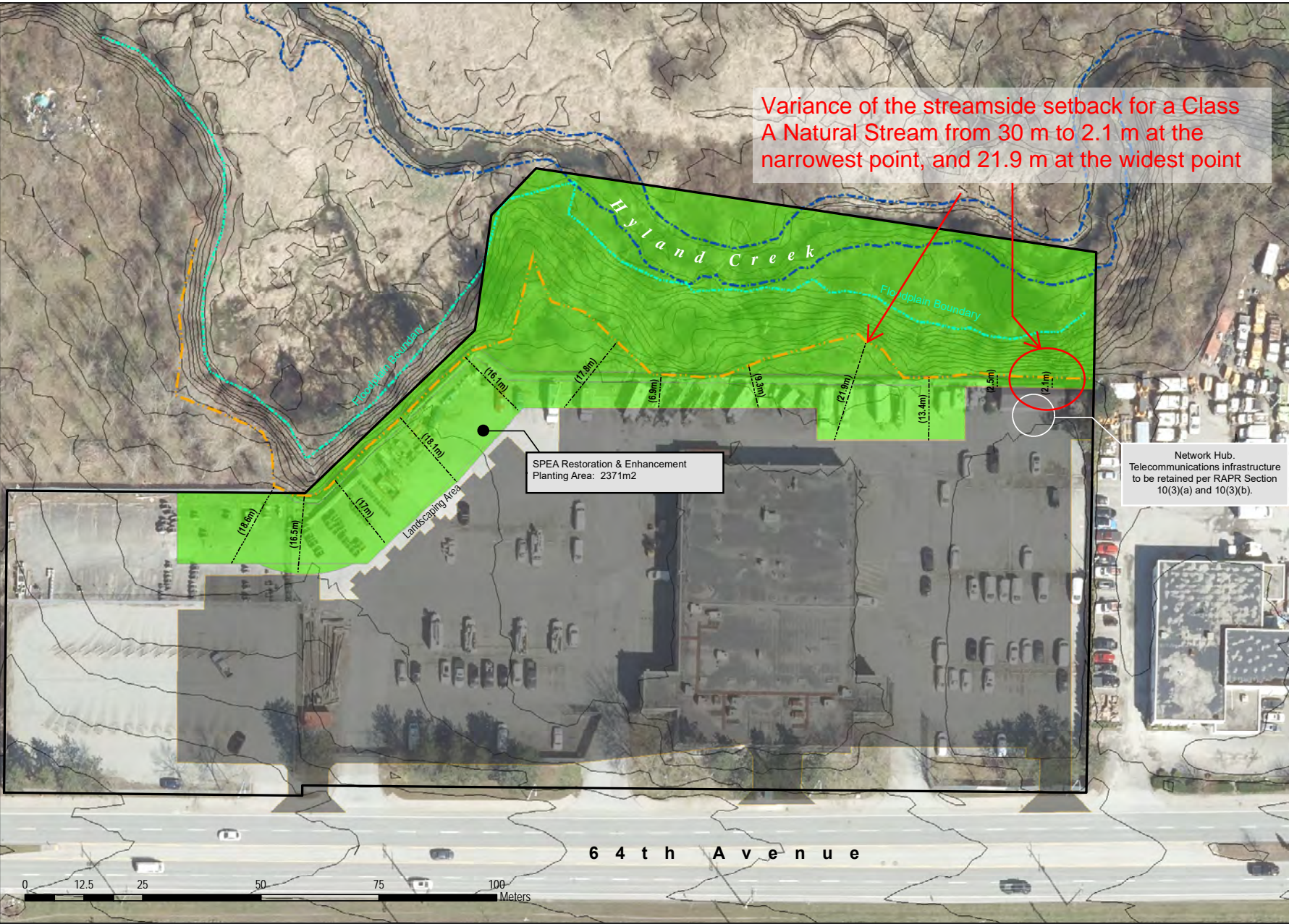
SCALE: 1:400
 DRAWN BY: DK
 CHECKED BY/OA: MP
 PROJECT NO: 2728
 DRAWING CONTENTS
OVERALL SITE PLAN
 SHEET NUMBER: DP104

Hyland Creek Streamside Protection Setback Widths

Client:
TELUS

- Legend**
- Study Area
 - Development Footprint
 - Floodplain Boundary (QEP)
 - BCLS ToB
 - Bankfull Interpretation
 - Streamside Protection Area
 - Variance Transects
 - LiDAR Contour (50cm)

Variance of the streamside setback for a Class A Natural Stream from 30 m to 2.1 m at the narrowest point, and 21.9 m at the widest point



Network Hub.
Telecommunications infrastructure
to be retained per RAPR Section
10(3)(a) and 10(3)(b).

SPEA Restoration & Enhancement
Planting Area: 2371m²

Landscaping Area

Figure 3



Scale - 1:750



Drawing Revisions:
R0: 2022-05-17