

PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

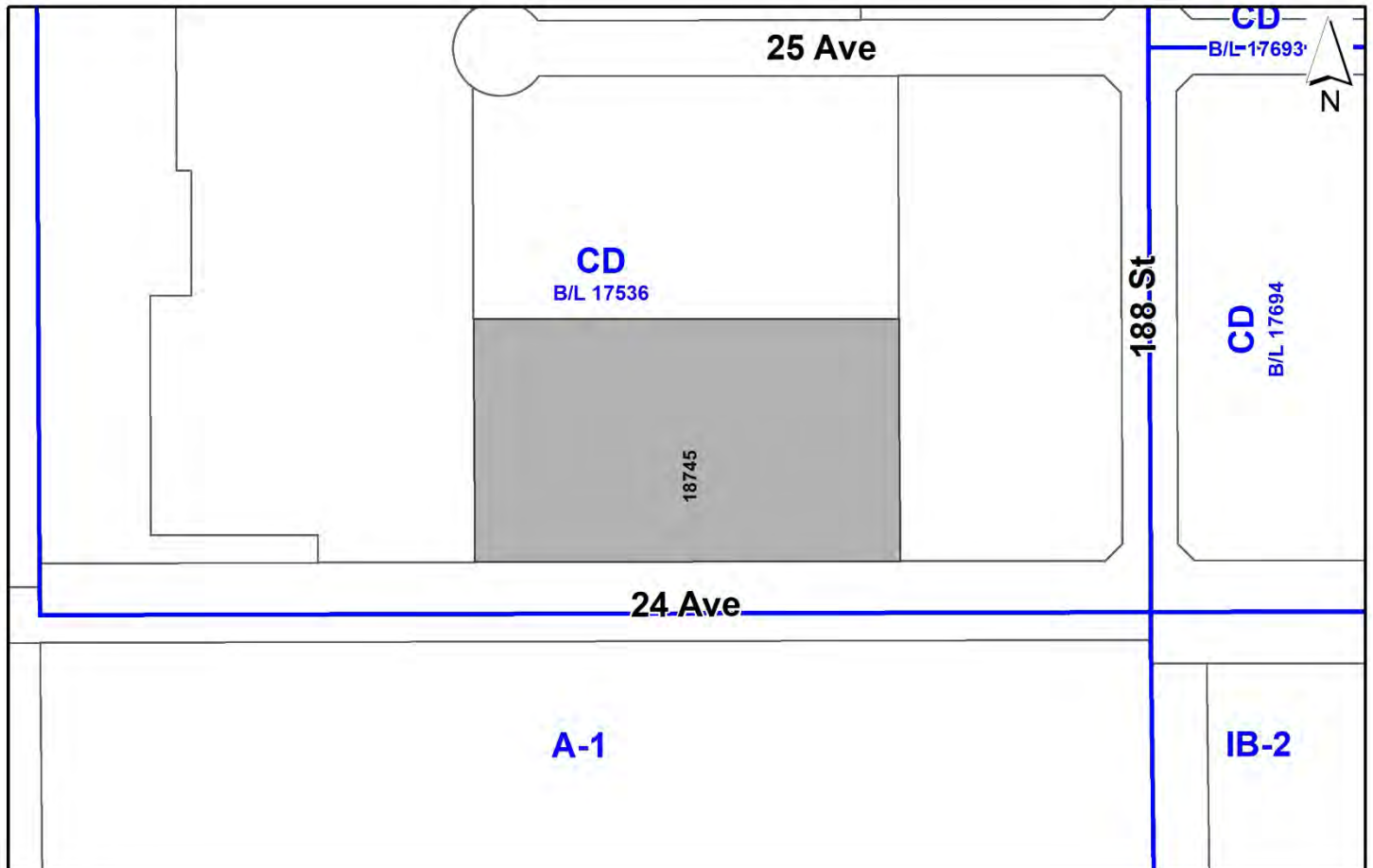
to permit the development of a 6,699 square metre business park building.

LOCATION: 18745 - 24 Avenue

ZONING: CD (By-law No. 17536)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Technology Park or Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- File Development Variance Permit No. 7921-0354-00.
- Approval to draft revised Development Permit for Form and Character and Sensitive Ecosystems.
- Approval for Development Variance Permit No. 7921-0354-01 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the building setback requirements of the CD Zone (By-law No. 17536) and to reduce the industrial parking rate for the warehouse area.

RATIONALE OF RECOMMENDATION

- Development Application No. 7921-0354-00 for a 7,045 square metre purpose-built single tenant cold storage facility with associated variances received support for Approval to Draft the Development Permit at the July 25, 2022 Regular Council – Land Use Meeting and support for the Development Variance Permit following Public Notification at the August 8, 2022 Regular Council – Public Hearing Meeting. Since that time, the applicant has revised the proposal and is no longer pursuing a cold storage facility. Therefore, Council consideration of the revised Development Permit and Development Variance Permit is required.
- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Technology Park or Business Park and Landscaping Strips designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas and Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Farming Protection.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

- The proposed variance for rear yard building setback will not negatively impact the existing industrial development to the north.
- The proposed vehicle parking variance is supportable as the proposal represents a 10% reduction in total parking and is consistent with previously supported parking variances in Campbell Heights.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Variance Permit No. 7921-0354-00.
2. Council authorize staff to draft the revised Development Permit No. 7921-0354-00 generally in accordance with the attached drawings (Appendix II) and the finalized Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7921-0354-01 (Appendix II) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north (rear) yard setback of the CD (By-law No. 17536) Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) to reduce the rate at which parking is calculated for industrial floor area associated with the proposed building from 1 parking space per 100 square metres to 0.90 parking spaces per 100 square metres.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of the Planning and Development Department;
 - (e) registration of a Section 219 Restrictive Covenant for "no build" over, and installation and maintenance of, the Green Infrastructure landscape buffer; and
 - (f) registration of a Section 219 Restrictive Covenant advising future homeowners of the potential farm operations of the adjacent agricultural lands.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant	Technology Park or Business Park and Landscaping Strips	CD (By-law No. 17536)
North:	Existing industrial building	Technology Park or Business Park	CD (By-law No. 17536)
East:	Existing Industrial building	Technology Park or Business Park and Landscaping Strips	CD (By-law No. 17536)
South (Across 24 Avenue):	Agricultural Land Reserve agricultural property	Technology Park or Business Park	A-1
West (Across ROW):	Vacant industrial-zoned property.	Technology Park or Business Park	CD (By-law No. 17536)

Context & Background

- The subject site is approximately 1.31 hectares in size and is located at the western boundary of Campbell Heights along 24 Avenue.
- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Technology Park or Business Park" and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP).
- The subject site was rezoned to "Comprehensive Development Zone (CD By-law 17536)" under Development Application No. 7910-0301-00, which received Final Adoption on November 5, 2012.
- Development Application No. 7910-0301-00 also included a subdivision, which created the subject lot as well as a statutory north-south right-of-way along the subject site's western property line, which provides ultimate access to the site from 24 Avenue and connecting to 25 Avenue.
- Development Application No. 7921-0354-00 for a 7,045 square metre purpose-built single tenant cold storage facility with associated variances received support for Approval to Draft the Development Permit at the July 25, 2022 Regular Council – Land Use Meeting and support for the Development Variance Permit following Public Notification at the August 8, 2022 Regular Council – Public Hearing Meeting. Since that time, the applicant has revised the proposal and is no longer pursuing a cold storage facility. Therefore, Council consideration of the revised Development Permit and Development Variance Permit is required.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a Development Permit and Development Variance Permit to permit the construction of a 6,699 square metre business park building.

Proposed	
Lot Area	
Gross Site Area:	1.3 ha
Road Dedication:	n/a
Undevelopable Area:	n/a
Net Site Area:	1.3 ha
Number of Lots:	1
Building Height:	20.2 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.54
Floor Area	
Industrial:	6,420 square metres
Office:	279 square metres
Total:	7,045 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in the Planning Report dated July 25, 2022 (Appendix III).
Parks, Recreation & Culture:	No concerns. The closest active park is Keery Park, with amenities that include a recreational trail network, and is 900 metres walking distance from the development. The closest natural area is 118B - Greenbelt and is 100 metres walking distance from the development.
Surrey Fire Department:	No concerns.
Agriculture & Food Policy Committee (AFPC)	A referral to the AFPC was not done as the proposal complies with the buffering requirements in the Farm Protection Design Guidelines in the OCP.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- From 24 Avenue to the west, two separate driveway accesses to the truck loading court and passenger vehicle parking area are proposed from this right-of-way.

- The subject development is proposing to provide 64 passenger vehicle parking stalls on the site. Based on the Zoning By-law parking rate for "industrial" and "office" uses, a total of 70 parking stalls are required on the site.
- The proposed parking meets the Zoning By-law required for the related office use area. However, the applicant is proposing to reduce the rate at which parking is calculated for the industrial floor area.
- Based on the proposed 64 parking stalls, the applicant proposes to vary the parking rate for "industrial" uses from 1 parking space per 100 square metres to 0.90 parking spaces per 100 square metres.
- The proposed reduced parking rate will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policy recommendations in the Official Community Plan and trends in the region for employment intensification. The applicant has confirmed that the reduced number of on-site parking spaces will not negatively impact future operations on the site.
- The subject site is approximately 50 metres from a bus stop at the corner of 24 Avenue and 188 Street. TransLink Bus Route No. 531 runs along 24 Avenue connecting to White Rock to the west and Willowbrook to the east.
- In support of the proposed variance to the parking rate, the applicant has agreed to construct the sidewalk on the north side of 24 Avenue fronting the subject site to connect with the existing bus stop at the corner of 24 Avenue and 188 Street as a means of providing convenient access to the bus stop.
- On 24 Avenue, there are currently both eastbound and westbound dedicated bicycle lanes, which connect to 184 Street and 192 Street and elsewhere within the Campbell Heights Business Park.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has committed to providing a high-albedo roof with a Solar Reflectance Index (SRI) of a minimum value of 75.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards 24 Avenue with expansive two-level glazing at the southwest corner of the building).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with the overall site design.

(The proposed loading court is partially visible to the public realm along 24 Avenue and the statutory right-of-way lane. To address this issue, the applicant proposes a 4.0 metre tall concrete screen wall along 24 Avenue and a 2.5 metre tall continuous decorative screen wall in corrugated metal along the right-of-way.)

- E1.5 – Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare; and
- E1.7 – Develop flexible zoning regulations and bylaws to support more intensive use of existing employment lands.

(The proposed variances to the rear yard setback and parking will ensure efficient use of the lands thereby maximizing the jobs and economic activity per hectare without the need for unnecessary additional parking. The setback reduction and parking reduction will not impact adjacent properties and allow for employment intensification and is consistent with recommendations in the Official Community Plan and trends in the region.)

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within the Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 24 Avenue, Highway 15, and 192 Street and is also near two border crossings. Transit service is provided along 24 Avenue through TransLink bus route no. 531 and new east-west cycle tracks will be implemented in the long-term along 24 Avenue providing dedicated cycling infrastructure.)

- E1.31 – Support and encourage the high-quality, environmentally responsible, sustainable development of employment lands.

(The development proposes to preserve a 17.2 metre-wide corridor fronting 24 Avenue as a Green Infrastructure Network Corridor, in keeping with the intent of the Biodiversity Conservation Strategy.)

Secondary Plans

Land Use Designation

- The proposal complies with the “Technology Park or Business Park” and “Landscaping Strips” land use designations in the Campbell Heights Local Area Plan.

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level glazing at the southwest corner of the building where the office component is located. While the remainder of the 24 Avenue frontage is made up of concrete tilt-up panels, this frontage is enlivened by the pattern of coloured-concrete tilt-up, curtain wall glazing, and prefinished metal cladding.)

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations, with regard to colours, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed development is architecturally coordinated with a modern appearance that promotes harmony through its use of cladding materials, colours, glazing, signage, and landscaping.)

CD By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the existing CD By-law No. 17536, and parking requirements.

CD Zone (By-law No. 17536)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.50
Lot Coverage:	60%	49.5%
Yards and Setbacks		
Front (South):	16.0 m/7.5 m	18.0 m
Side (East):	7.5 m or 3.6 m for one side if abutting industrial	3.6 m
Side (West):	7.5 m	39.4 m
Rear (North):	7.5 m	0.0 m
Height of Buildings		
Principal buildings:	14.0 m	14.0 m

CD Zone (By-law No. 17536)	Permitted and/or Required	Proposed
Accessory buildings:	6.0 m	n/a
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class B (yellow-coded) Stream:	15 m	>15 m
Parking (Part 5)	Required	Proposed
Number of Stalls		
Industrial:	63	57
Office	7	7
Total:	70	64
Small (%):	24 (max 35% permitted)	16 (25%)
Bicycle Spaces		
Employee/Visitor:	n/a	4

Setback, Height, and Parking Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum north (rear) yard setback of the CD Zone (By-law No. 17536) from 7.5 metres to 0.0 metres to the building face; and
 - (b) to reduce the rate at which parking is calculated for industrial floor area from 1 parking space per 100 square metres to 0.90 parking spaces per 100 square metres.
- The proposed variance for the rear yard building setback will not negatively impact the existing industrial development to the north where there is an existing drive aisle. A zero metre building setback is common in industrial areas.
- The subject development is proposing to provide 64 passenger vehicle parking stalls on the site. Based on the Zoning By-law parking rate for "industrial" and "office" uses, a total of 70 parking stalls is required on the site.
- Based on the proposed 64 parking stalls provided, the applicant proposes to vary the parking rate for "industrial" uses from 1 parking space per 100 square metres to 0.90 parking spaces per 100 square metres, representing a 10% decrease in overall parking spaces.
- The proposed reduced parking rate will allow the applicant to better utilize the entirety of the site for the industrial use and represents one form of industrial intensification as identified in the Official Community Plan and general employment intensification trends in the region.
- In support of the proposed variance to the parking rate, the applicant has agreed to construct the sidewalk on the north side of 24 Avenue fronting the subject site to connect with the existing bus stop at the corner of 24 Avenue and 188 Street as a means of providing alternative transportation options.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- The Development Proposal Sign was installed on June 23, 2022. Staff did not receive any responses from neighbouring residents or businesses.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse (Erickson Creek) to the west. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area associated with Erickson Creek was previously protected through Development Application No. 7910-0301-00, which relocated the watercourse to its current location, west of the adjacent property located at 18699 – 25 Avenue and was protected through conveyance of land to the City. The watercourse is beyond the streamside setbacks outlined in Part 7A of the Zoning By-law and therefore, no further protection is needed through this application.
- An Ecosystem Development Plan, prepared by Richard Couture, *R.P. Bio.*, of EXP Services Inc. and dated April 29, 2022, was reviewed by an independent peer reviewer (Matt McTavish of McTavish Resource & Management Consultants Ltd.) and staff and found to be generally acceptable, with modifications to some details, content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the southern side of 24 Avenue. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Campbell Heights BCS management area, with a Medium ecological value.
- The BCS further identifies the GIN area within the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 100 meters.

- The development proposal conserves/enhances 2,444 square meters of the subject site by Providing for a enhanced Landscape Buffer which is approximately 19 % of the total gross area of the subject site. The GIN Corridor itself is identified as approximately 27 metres wide on the subject property, while the applicant proposes to retain a 17.2 metre wide GIN Corridor. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 1,450 square meters of the GIN area (approximately 10 metres of additional width) would be required on the subject site. This amount has not been provided due to the limited size of the lot and resulting developable area after GIN protection in order to achieve a feasible development.
- An Ecosystem Development Plan, prepared by Richard Couture, *R.P. Bio.*, of EXP Services Inc. and dated April 29, 2022, was reviewed by an independent peer reviewer (Matt McTavish of McTavish Resource & Management Consultants Ltd.) and staff and found to be generally acceptable, with modifications to some details, content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundary (at the south side of 24 Avenue). The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for non-residential uses are outlined below (*with staff comments in italics*):
 - The minimum building setback for the ALR boundary is 30 metres.
 - *Staff comments: The proposed building setback of 18.1 metres, inclusive of a 17.2 metre wide landscape buffer/GIN Corridor, combined with the 30-metre-wide road right-of-way (24 Avenue) exceeds the typical setback requirements associated with industrial developments located adjacent to the ALR.*
 - The minimum vegetated buffer width is 15 metres.
 - *Staff comments: A 17.2 metre wide landscape buffer is proposed to be placed along 24 Avenue fronting the proposed building, exceeding the minimum 15 metres.*
 - Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2 metres to 4 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.

- *Staff comments: The 17.2 metre landscape buffer is within a Green Infrastructure Corridor. The detailed planting plan will be developed by the Qualified Environmental Professional and Landscape Architect and is proposed to contain a variety of coniferous and deciduous trees, low lying shrubs, rain garden, and a swale.*
- For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour and dust.
 - *Staff comments: The Restrictive Covenant to advise future owners of nearby farming activities and potential nuisance impacts will be registered on title as part of the development application.*

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to resolve several challenges:
 - accommodating a 17.2 metre wide GIN Corridor along 24 Avenue;
 - adequately screening the loading court from public view; and
 - minimizing the massing and length of the large tilt-up concrete wall along 24 Avenue to create an attractive building design and positive public realm experience.
- Overall, the building is proposed to have a modern, linear appearance with articulation emphasizing the separation between the office and industrial warehouse components. Architectural emphasis is placed on the office component at the southwest corner of the building, which is to be constructed of a curtain-wall glazing and spandrel glazing.
- In addition to the curtain-wall office glazing, the building is proposed to be constructed of concrete tilt-up panels in black and white with blue and grey accents. The 24 Avenue façade is complimented by accented curtain wall glazing, a varying parapet height, and articulated prefinished metal flashing to provide visual interest along the large expanse of wall.
- The building is proposed with a TPO high-albedo roofing material with a Solar Reflectance Index Value of at least 75 to minimize the urban heat island effect, meeting the Climate Adaptation Strategy policy.
- The applicant proposes a fascia sign at the top of the building along the 24 Avenue frontage, complying with the Sign By-law. No other signs are proposed at this time, however, should any signs be proposed in the future the applicant will need to ensure they comply with the Sign By-law.

Landscaping

- The proposed landscaping consists of a 17.2 metre wide GIN Corridor along 24 Avenue fronting the building. A 1.5 metre wide landscape buffer is provided along the statutory right-of-way lane, separating the lane from the sidewalk that is proposed to be constructed.
- The proposed landscaping for the site consists of a variety of trees, including Serbian Spruce, Venus Dogwood, and Japanese Snowbell. The tree plantings are complimented by a variety of shrubs and groundcover.
- The landscaping for the GIN Corridor is proposed to consist of a series of habitat areas with distinct plantings and includes a constructed wetland. This includes an upland forest area, lowland forest area, grassland/shrub area, rain garden, and a bioswale. Trees that are proposed to be planted in the GIN Corridor include: Vine Maple, Douglas Fir, Western Red Cedar, and Bitter Cherry. The detailed planting plans will be developed by the Qualified Environmental Professional in consultation with the Landscape Architect.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor clerical errors and providing the necessary structural soil for tree planting.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. attended the site for the purpose of confirming the presence or absence of protected trees under Surrey Tree By-law No. 16100. The Arborist confirmed that there are no trees onsite offered protection by size or by species under Surrey Tree By-law No. 16100.
- The new trees on the site will consist of a variety of trees including Serbian Spruce, Kousa Dogwood, Japanese Snowbell, Western Red Cedar, Vine Maple, and Bitter Cherry.
- In summary, a total of 165 new trees are proposed to be planted on the site, 30 of which are to be planted within the development area and an additional 135 to be planted in the GIN Corridor.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Development Variance Permit No. 7921-0354-01
- Appendix III. Initial Planning Report No. 7921-0354-00 dated July 25, 2022

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KS/ar

ISSUE DATE: MARCH 24, 2023

SHEET LIST

ARCHITECTURE

- A01 GENERAL NOTES & PROJECT DATA
- A02 PERSPECTIVES
- A03 PERSPECTIVES 2
- A10 BASE SITE PLAN
- A11 SITE PLAN
- A13 FIRE TRUCK ACCESS PLAN
- A15 SITE DETAILS
- A16 SITE SECTIONS
- A21 MAIN FLOOR
- A22 MEZZANINE FLOOR
- A23 ROOF PLAN
- A24 ENLARGED PLANS
- A31 BUILDING ELEVATIONS
- A32 BUILDING ELEVATIONS
- A33 BUILDING SECTIONS

PROJECT No. 220117-CT

PROJECT TEAM

ARCHITECT OF RECORD

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 PROJECT MANAGER: PROJECT MANAGER
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LANDSCAPE

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 PROJECT MANAGER: KRISTINA ZALITE

ZONING BY-LAW ANALYSIS

PROJECT DATA

CMIC ADDRESS: 15745 24TH AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT 14 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER, DISTRICT PLAN EPP24887
 BUILDING USE: WAREHOUSE
 GROSS BUILDING AREA: 6,481.29 m² 69,784.1 m²

ZONING BYLAW ANALYSIS (CITY OF SURREY)

- 1. ZONING: CO
- 2. SITE AREA: 113,300.81 m² 11.34 hectares 143,900.70 m² 3.30 acres

3. SITE COVERAGE + BUILDING AREAS

BUILDING FOOTPRINT AREA CALCULATIONS					
SITE AREA	PROP. SITE COVERAGE	BUILDING AREA	MAXIMUM SITE COVERAGE		
SQ.M	%	SQ.M	%	SQ.M	SQ.FT
113,300.81	141.07%	6,481.29	5.71%	17,853.09	194,466.3

GROSS FLOOR AREA CALCULATIONS		
LEVEL	OCCUPANCY	FLOOR AREA
		SQ.M
MAIN FLOOR	D	114.11
MAIN FLOOR	P2	6,340.09
MEZZANINE FLOOR	D	114.50
MEZZANINE FLOOR	NON OCCUPIED	25.11
TOTAL		6,599.80

FAR CALCULATIONS	
PROPOSED FAR	ALLOWABLE FAR
COE	
1	1

*NOTE: MAX. FAR OF 1.0 IS PERMITTED. IF AMENITIES PER SCHEDULE G OF SURREY BYLAW IS PROVIDED

4. BUILDING HEIGHT:

MAXIMUM HEIGHT: 14.00 m (45'-11" 1/4")
 PROPOSED HEIGHT: 13.70 m (45'-0")

5. REQUIRED SETBACKS:

FRONT YARD (SOUTH) 24 AVE:	REQUIRED: 6.00 m (20'-0")	PROVIDED: N/A
IF ONLY LANDSCAPE AND NO PARKING:	7.50 m (24'-7 1/2")	10.00 m (32'-8 1/4")
REAR YARD (NORTH):	7.50 m (24'-7 1/2")	0.00 m (0")
SIDE YARD (WEST) LAKE:	16.00 m (52'-6")	38.42 m (126'-0")
SIDE YARD (EAST):	7.50 m (24'-7 1/2")	3.00 m (9'-8 3/4")

6. LANDSCAPING REQUIREMENTS:

LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH SECTION 111

7. VEHICLE PARKING AND LOADINGS:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS					
LEVEL	PARKING CLASSIFICATION	GROSS AREA	LOCAL BYLAW REQUIREMENTS	SPACES REQUIRED	
		SQ.M	SQ.FT	SPACES	AREA (SM)
MAIN FLOOR	BUILDING SERVICES	196.09	212.4	0	0.00 m ²
MAIN FLOOR	INDUSTRIAL	6,340.09	68,244.2	1	100.00 m ²
MAIN FLOOR	OFFICE	124.11	1,336.2	2.5	100.00 m ²
MAIN FLOOR	STAIR	19.50	210.5	0	100.00 m ²
MEZZANINE FLOOR	OFFICE	154.50	1,663.2	2.5	100.00 m ²
MEZZANINE FLOOR	STAIR	25.11	270.2	0	0.0
TOTAL				6,660.00	72,107.4

TOTAL REQUIRED PARKING STALLS=71
 3% SMALL CARS ALLOWED=25
 2% ACCESSIBLE STALLS REQUIRED=2
 50% OF ACCESSIBLE STALLS SHOULD BE VAN ACCESSIBLE STALLS

VEHICLE PARKING PROVIDED	
PARKING TYPE	No. of SPACES
ACCESSIBLE PARKING	2
SMALL CAR	16
STANDARD PARKING	46
TOTAL PARKING SPACES PROVIDED	64

8. STALL DIMENSIONS:

STANDARD STALL DIMENSIONS: 2.60 m (8'-6 1/2") W, 5.50 m (18'-1 1/2") L. *NOTE: 2.9 m WIDE STALL FOR 8.1m DRIVE ABLE
 ACCESSIBLE STALL DIMENSIONS: 4.00 m (13'-1 1/2") W, 6.50 m (21'-6 1/2") L. 1.20 m (4'-0") SHARED ABLE
 VAN ACCESSIBLE STALL DIMENSIONS: 4.50 m (14'-9 1/2") W, 6.50 m (21'-6 1/2") L. 1.50 m (4'-11") SHARED ABLE
 SMALL CAR STALL DIMENSIONS: 2.60 m (8'-6 1/2") W, 4.50 m (14'-9 1/2") L

DRIVE ABLE WIDTH: 7.00 m (22'-11 1/2") @ 90° (TWO WAY)

LOADING CALCULATION:
 TOTAL LOADING SPACES REQUIRED: 19 PER LOADING DOOR=10
 LOADING SPACES PROVIDED

LOADING DIMENSIONS:
 MANEUVERING ABLE WIDTH: 4.00 m (13'-1 1/2") W, 8.20 m (26'-9 1/4") L
 7.50 m (24'-7 1/2")

9. BICYCLE PARKING:

OCCUPANCY #1: OFFICE
 BICYCLE PARKING REQUIRED: NOT APPLICABLE
 OCCUPANCY #2: WAREHOUSE
 BICYCLE PARKING REQUIRED: NOT APPLICABLE



1 CONTEXT PLAN

SCALE: 1:300



CLIENT:
 EMAIL: mail@cta-design.com
 TEL: 604.736.2554
 www.ctadesign.com
 #113-2500 VIRTUAL WAY,
 VANCOUVER, BC V5M 0C4



MILLSTREAM ONE - INDUSTRIAL BUILDING
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 SURREY, BC V3S 9V2

220117-CT | A01

4 23.03.24 RE-ISSUED FOR DEVELOPMENT PERMIT
 3 23.03.17 RE-ISSUED FOR DEVELOPMENT PERMIT

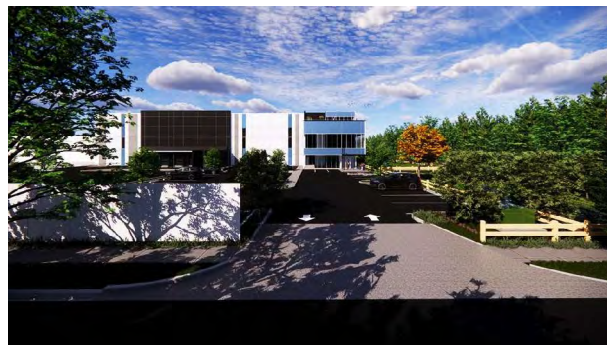
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AERIAL VIEW LOOKING EAST FROM LANE



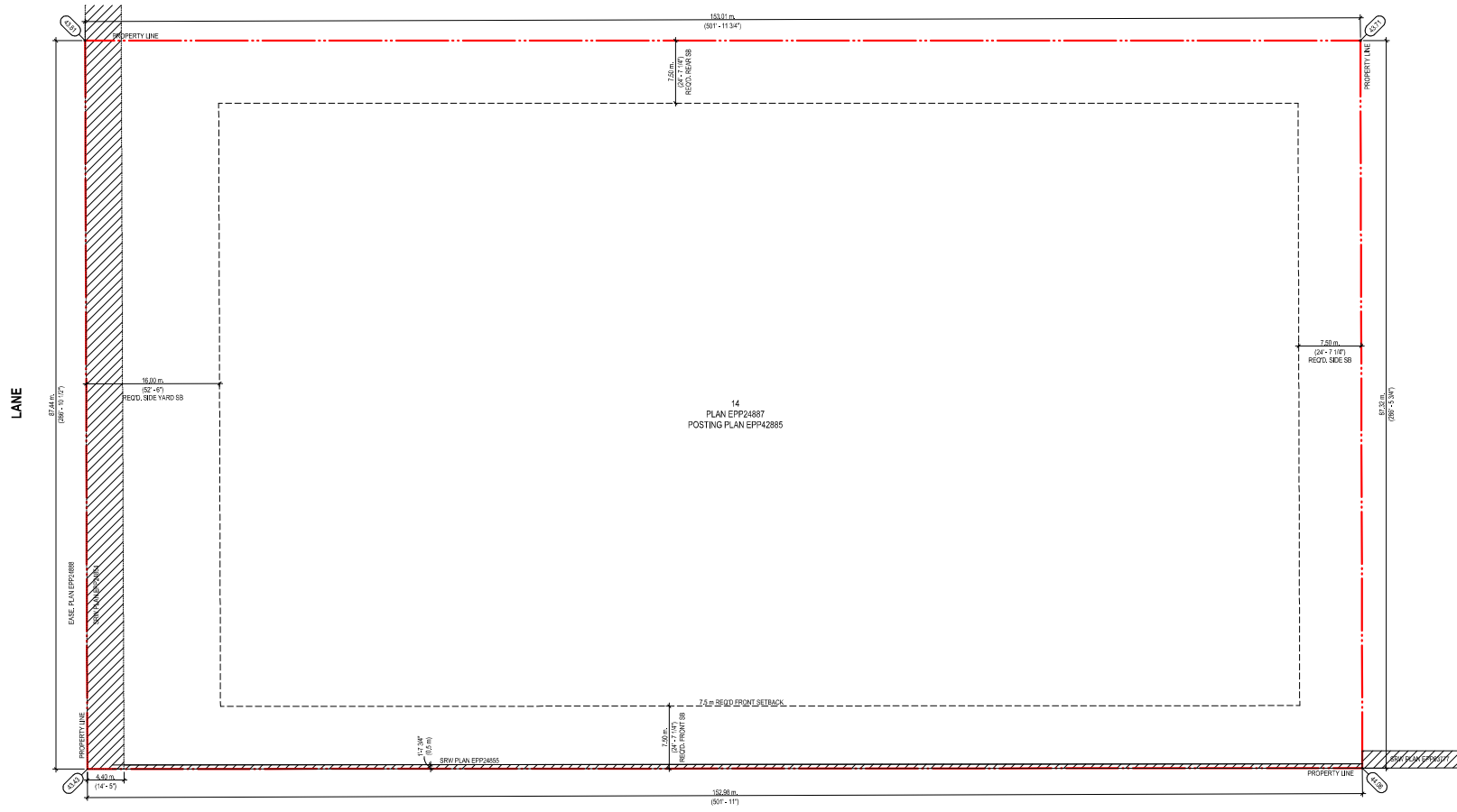
VIEW LOOKING NORTH-EAST FROM FIRE ACCESS SIDEWALK



VIEW LOOKING EAST FROM LANE



VIEW LOOKING SOUTH FROM SITE



24TH AVENUE

1 BASE SITE PLAN
SCALE: 1:250



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CLIENT:

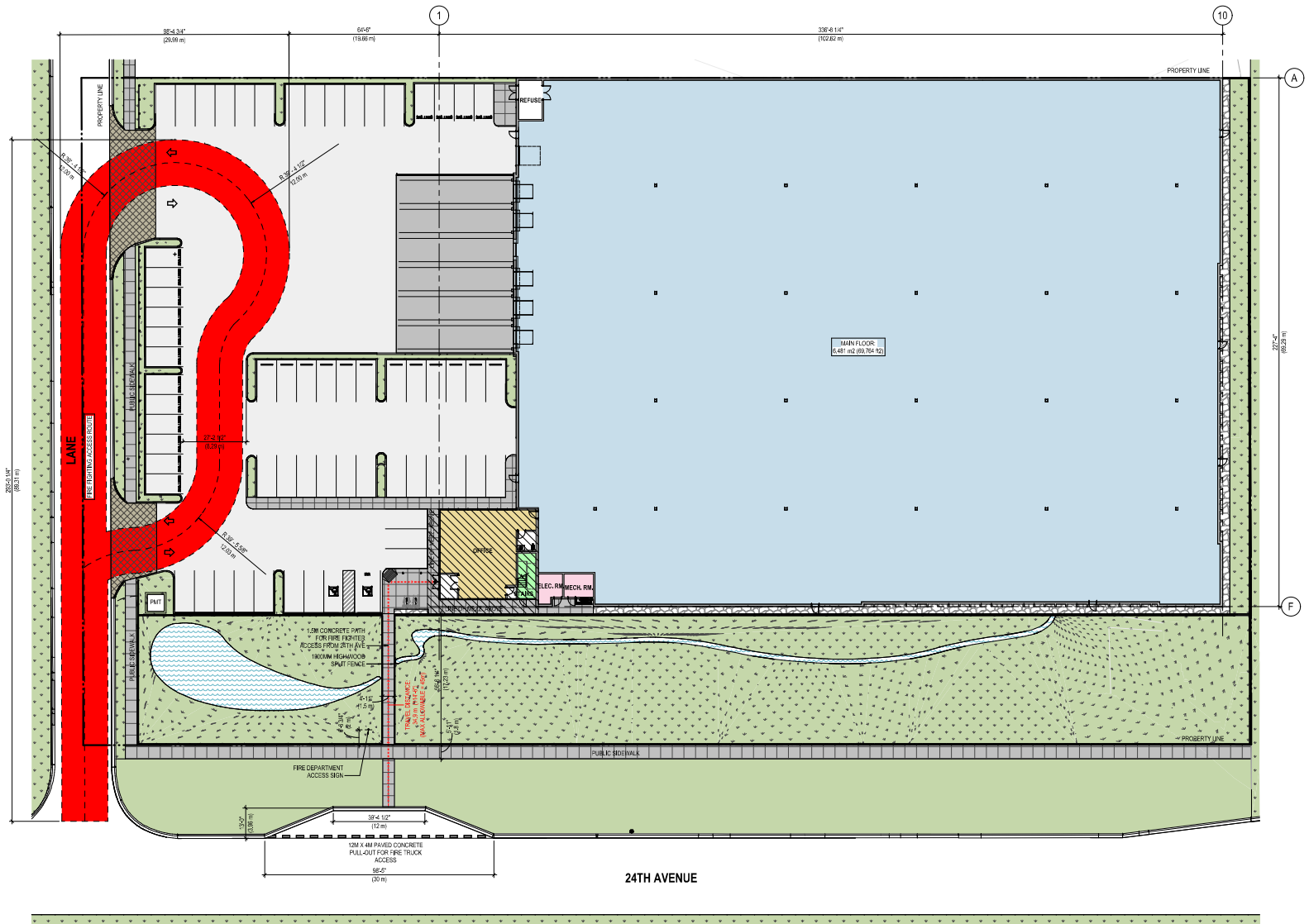


MILLSTREAM ONE - INDUSTRIAL BUILDING
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SURREY, BC V3S 9V2

220117-CT | A10

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3 23.03.17 RE-ISSUED FOR DEVELOPMENT PERMIT

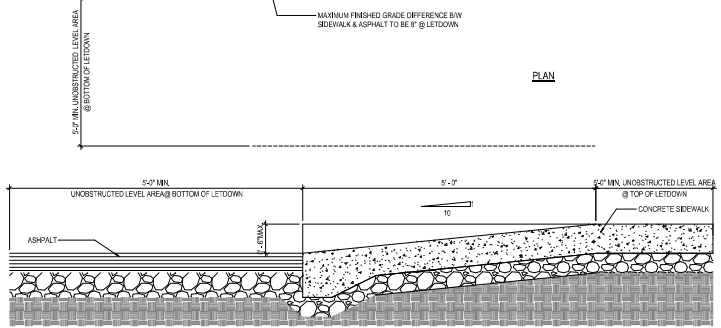
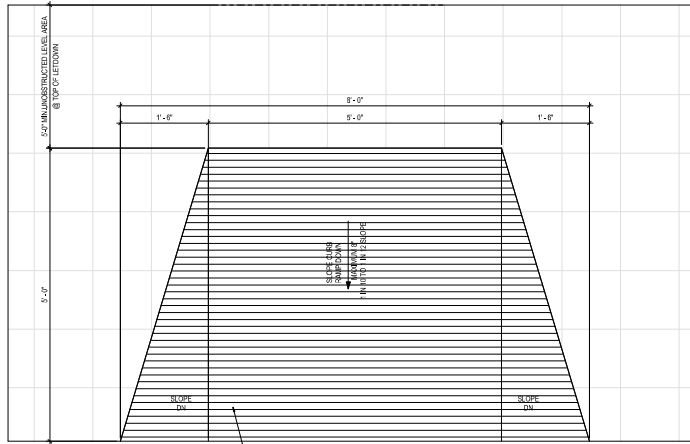
2024/03/23 10:45 AM
2024/03/23 10:45 AM
2024/03/23 10:45 AM



1 FIRE TRUCK ACCESS PLAN
SCALE: 1:250

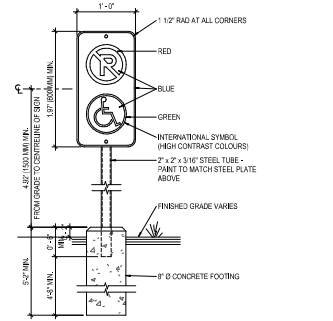
CLIENT:





1 HC LETDOWN/BURD RAMP

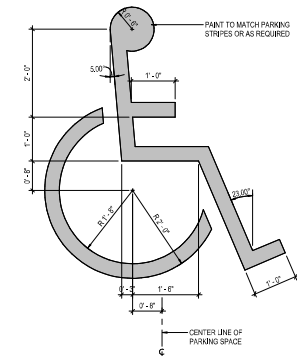
SCALE: 1" = 1'-0"



- NOTE:**
1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
 2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 3'-0" CLEAR.
 3. MOUNT SIGN ON COLUMN OR WALL AT SIM, CONDEMN
 4. WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

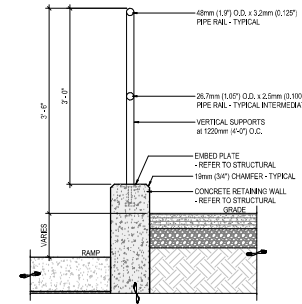
2 ACCESSIBLE POST MOUNTED SIGN

SCALE: 1" = 1'-0"



3 ACCESSIBLE PAINTED SYMBOL

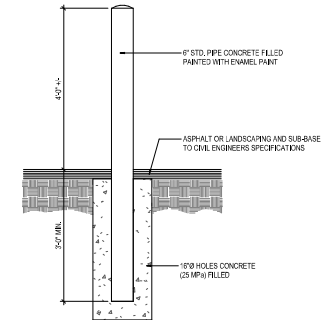
SCALE: 3/4" = 1'-0"



- NOTE:**
- GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE ELEVATION DIFFERENCE EXCEEDS 6" (150mm) O.A.

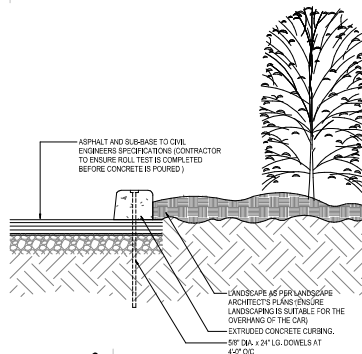
4 RETAINING WALL GUARDRAIL

SCALE: 1" = 1'-0"



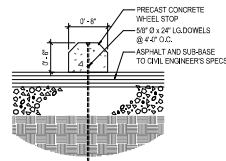
5 EXTERIOR BOLLARD

SCALE: 1 1/2" = 1'-0"



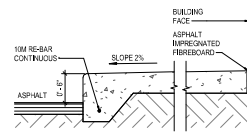
6 CONC. CURB

SCALE: 1" = 1'-0"



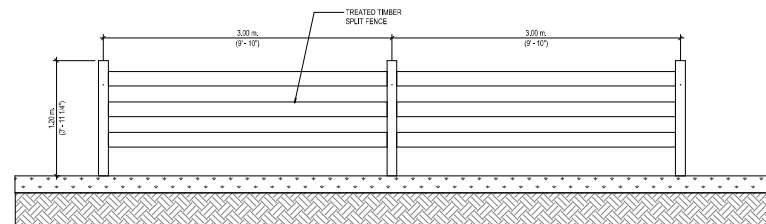
7 CONCRETE WHEEL STOP FOR VEHICLE

SCALE: 1" = 1'-0"



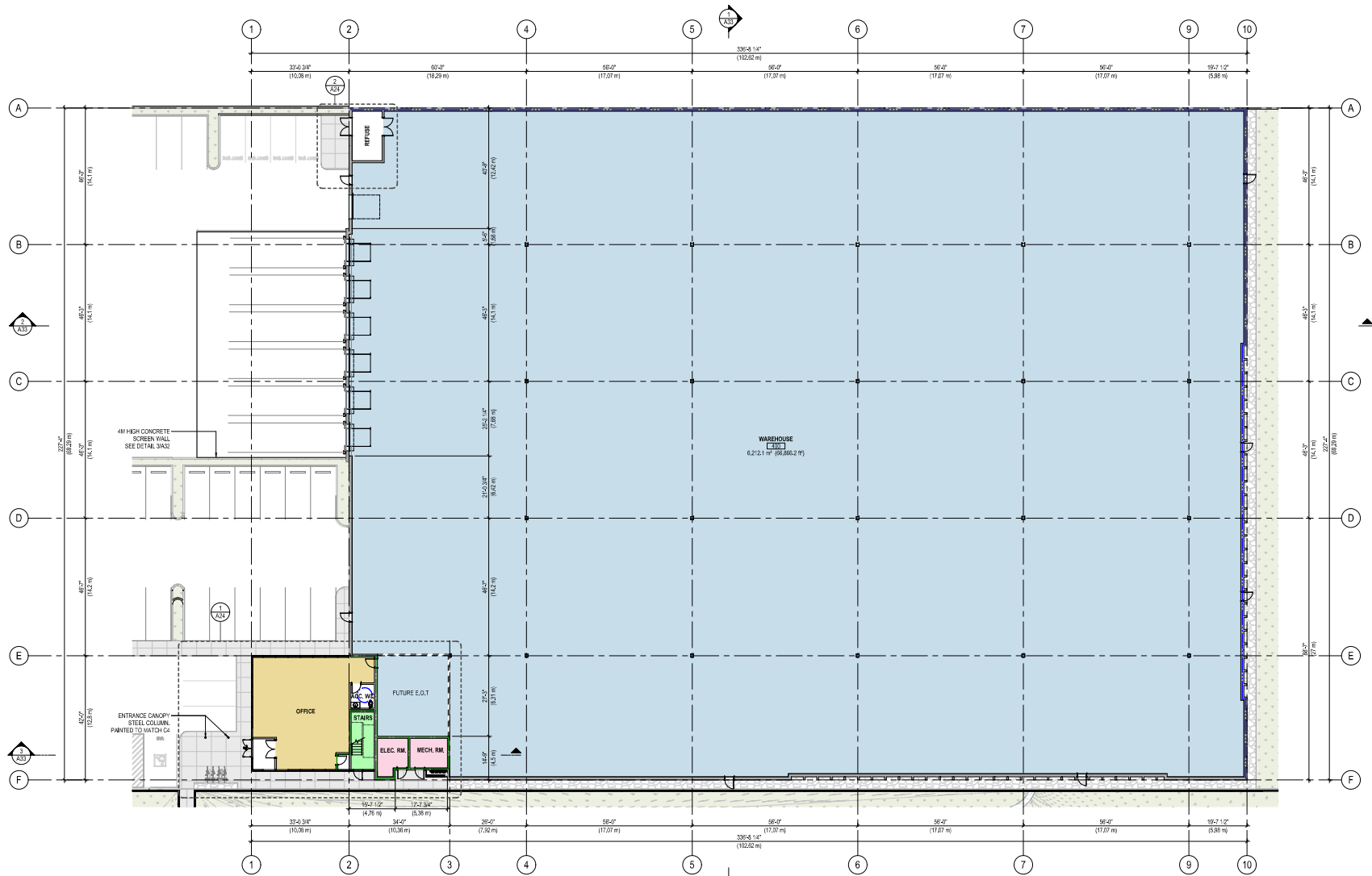
8 SIDEWALK EDGE DETAIL

SCALE: 1" = 1'-0"



9 SPLIT FENCE

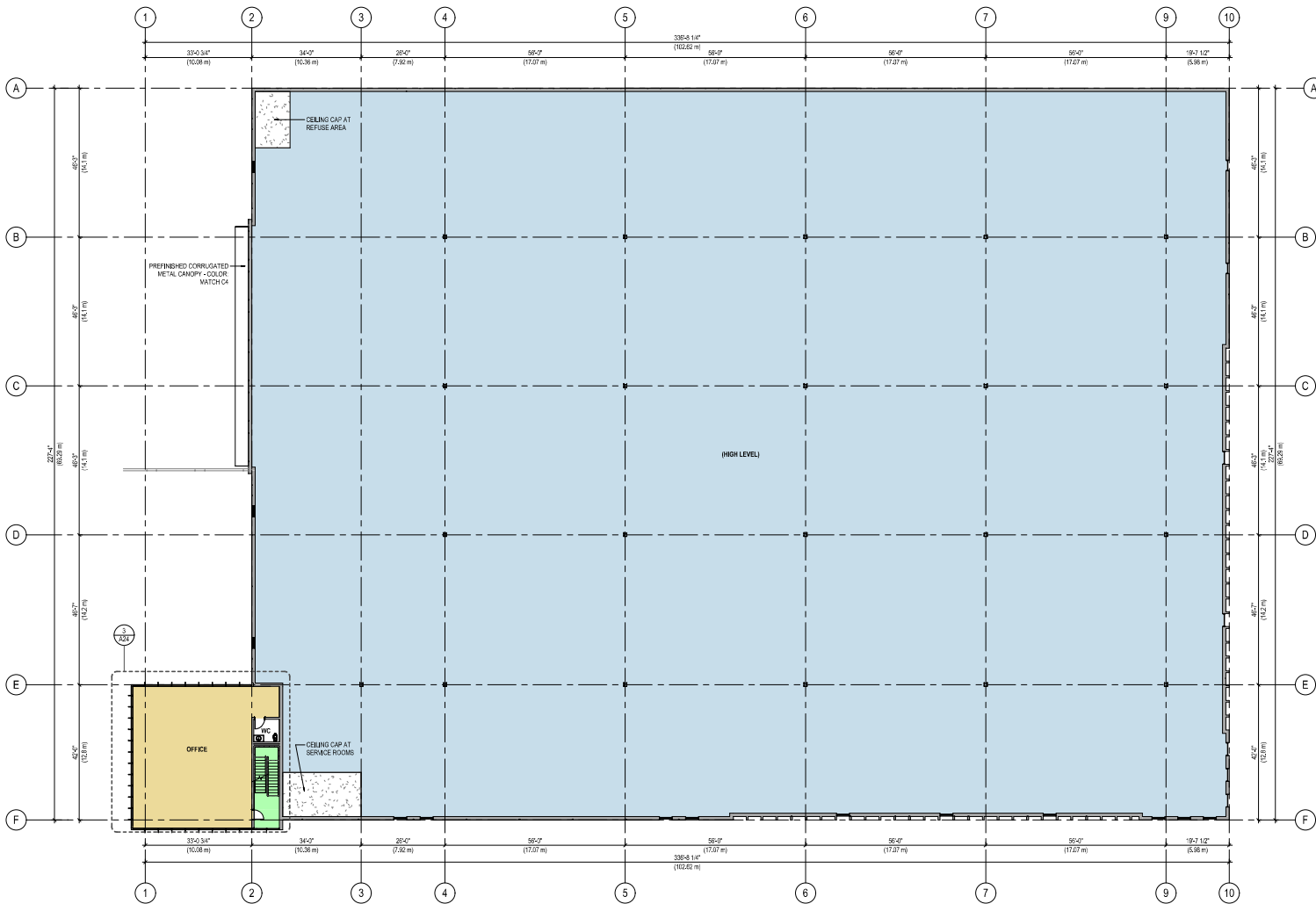
SCALE: 1/2" = 1'-0"



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

CLIENT:





1 MEZZANINE FLOOR PLAN

SCALE: 1/8" = 1'-0"



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 VANCOUVER, BC, V5M 0C4

CLIENT:

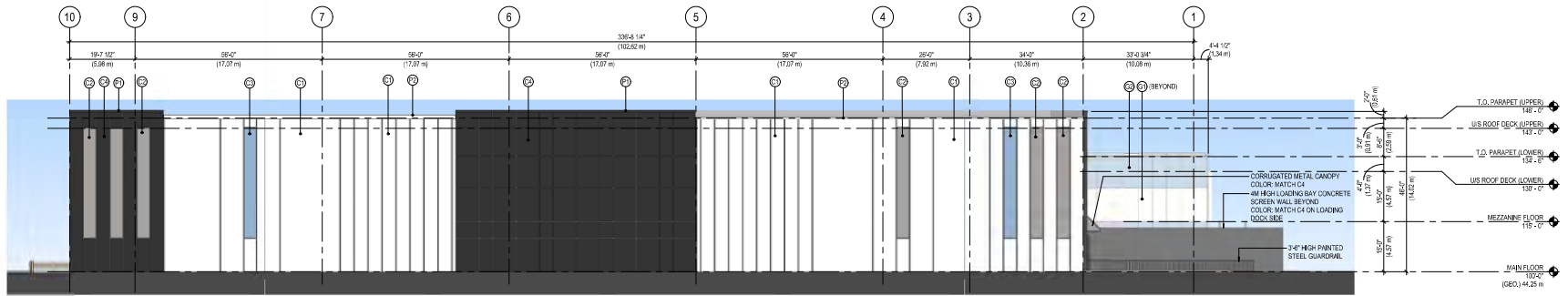


MILLSTREAM ONE - INDUSTRIAL BUILDING
 18745 24TH AVENUE
 SURREY, BC V3S 9V2

4 23.03.24 RE-ISSUED FOR DEVELOPMENT PERMIT
 3 23.03.17 RE-ISSUED FOR DEVELOPMENT PERMIT

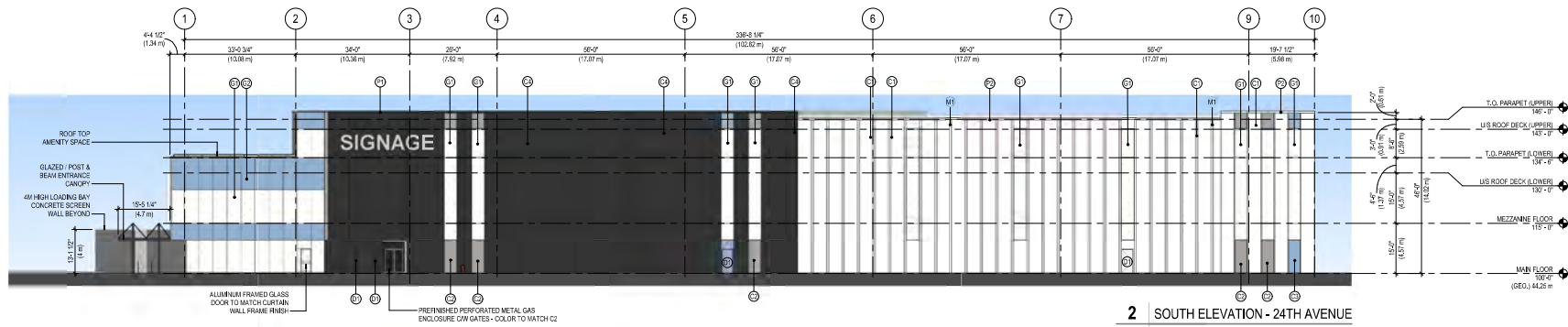
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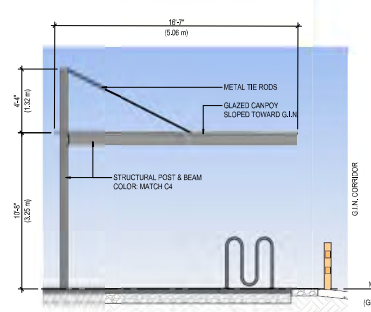
1 NORTH ELEVATION

SCALE: 1/16" = 1'-0"



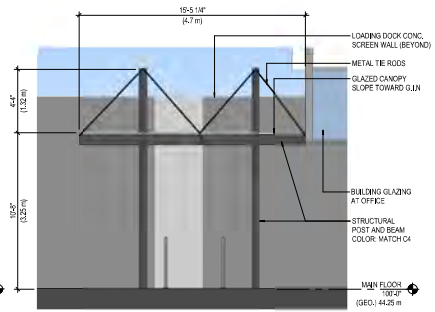
2 SOUTH ELEVATION - 24TH AVENUE

SCALE: 1/16" = 1'-0"



3 ENTRANCE CANOPY DETAIL - WEST ELEVATION

SCALE: 1/4" = 1'-0"



4 ENTRANCE CANOPY - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PROJECT COLOURS			
C1	MAIN FIELD COLOUR:	SHERWIN WILLIAMS	SW 7005 PURE WHITE OR EQUIVALENT
C2	FIELD ACCENT COLOUR:	SHERWIN WILLIAMS	SW 7073 UNIQUE GREY OR EQUIVALENT
C3	FIELD ACCENT COLOUR:	SHERWIN WILLIAMS	SW 4507 RESOLUTE BLUE OR EQUIVALENT (MATCH TO SPANFLEX HARMONEY BLUE)
C4	SECONDARY FIELD COLOUR:	SHERWIN WILLIAMS	SW 6256 TRICORN BLACK

MATERIAL LEGEND	
TYPE	DESCRIPTION
C1	CONCRETE TILT-UP PANEL - PAINT C1 - SHERWIN WILLIAMS SW 7005 PURE WHITE OR EQUIVALENT
C2	CONCRETE TILT-UP PANEL - PAINT C2 - SHERWIN WILLIAMS SW 7073 UNIQUE GREY OR EQUIVALENT
C3	CONCRETE TILT-UP PANEL - PAINT C3 - SHERWIN WILLIAMS SW 4507 RESOLUTE BLUE OR EQUIVALENT
C4	CONCRETE TILT-UP PANEL - PAINT C4 - SHERWIN WILLIAMS SW 6256 TRICORN BLACK OR EQUIVALENT
D1	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D2	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D3	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D4	OVERHEAD DOOR - COLOR TO MATCH C4
G1	CURTAIN WALL GLAZING - COLOR BLUE TINT
G2	SPANFLEX GLAZING - COLOR TEST BLUEBERRY
M1	EXTRUDED COMPOSITE METAL PANEL ON STEEL STUD - COLOR TO MATCH C1
P1	PREFINISHED METAL FLASHING - COLOUR TO MATCH C4
P2	PREFINISHED METAL FLASHING - COLOUR TO MATCH C3







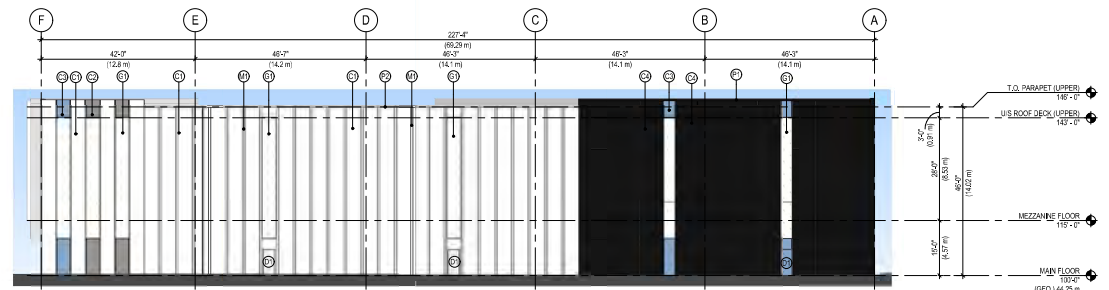
NOTE:
 • SIGNAGE FOR REFERENCE ONLY. SEPARATE PERMIT APPLICATION
 • SIGNAGE CONTRACTOR TO SUBMIT SIGNAGE SHOP DRAWINGS
 PRIOR TO INSTALLATION.
 • SIGNAGE TO CONFORM TO CORPORATE BRANDING
 • SIGNAGE SHALL BE INDIVIDUAL CHANNEL LETTERS

5 FASCIA SIGNAGE ELEVATION

SCALE: 1/4" = 1'-0"

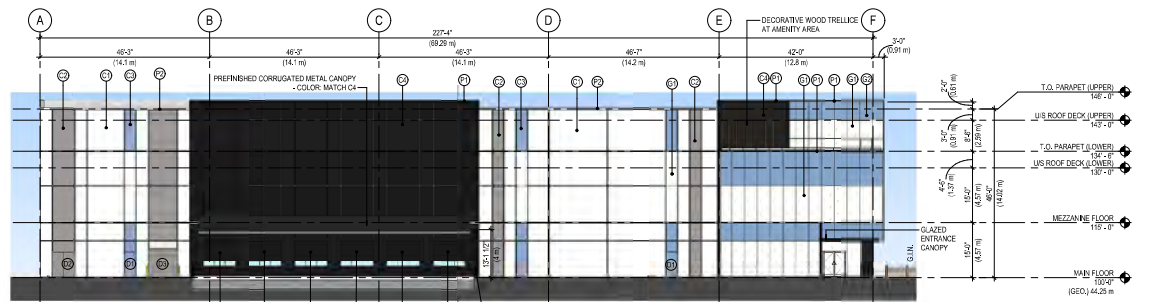
MATERIAL LEGEND	
TYPE	DESCRIPTION
C1	CONCRETE TILT-UP PANEL - PAINT C1 - SHERWIN WILLIAMS SW 7005 PURE WHITE OR EQUIVALENT
C2	CONCRETE TILT-UP PANEL - PAINT C2 - SHERWIN WILLIAMS SW 7073 UNIQUE GREY OR EQUIVALENT
C3	CONCRETE TILT-UP PANEL - PAINT C3 - SHERWIN WILLIAMS SW 6907 RESOLUTE BLUE OR EQUIVALENT
C4	CONCRETE TILT-UP PANEL - PAINT C4 - SHERWIN WILLIAMS SW 6258 TRICORN BLACK OR EQUIVALENT
D1	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D2	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D3	STEEL DOOR - PAINTED - DOOR & FRAME COLOR TO MATCH ADJACENT PANEL
D4	OVERHEAD DOOR - COLOR TO MATCH C4
G1	CURTAIN WALL GLAZING - COLOR: BLUE TINT
G2	SPANDREL GLAZING - COLOR: 100% BLUEBERRY
M1	EXTRUDED COMPOSITE METAL PANEL ON STEEL STUD - COLOR TO MATCH C1
F1	PREFINISHED METAL FLASHING - COLOUR TO MATCH C4
F2	PREFINISHED METAL FLASHING - COLOUR TO MATCH C3

PROJECT COLOURS			
C1	MAIN FIELD COLOUR:	SHERWIN WILLIAMS SW 7005 PURE WHITE OR EQUIVALENT	
C2	FIELD ACCENT COLOUR:	SHERWIN WILLIAMS SW 7073 UNIQUE GREY OR EQUIVALENT	
C3	FIELD ACCENT COLOUR:	SHERWIN WILLIAMS SW 6907 RESOLUTE BLUE OR EQUIVALENT (MATCH TO SPANDREL HARMONEY BLUE)	
C4	SECONDARY FIELD COLOUR:	SHERWIN WILLIAMS SW 6258 TRICORN BLACK	



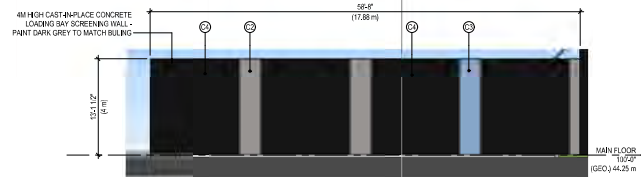
1 EAST ELEVATION

SCALE: 1/16" = 1'-0"



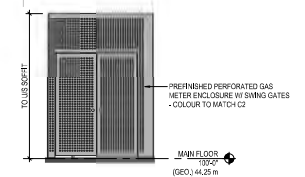
2 WEST ELEVATION - LANE

SCALE: 1/16" = 1'-0"



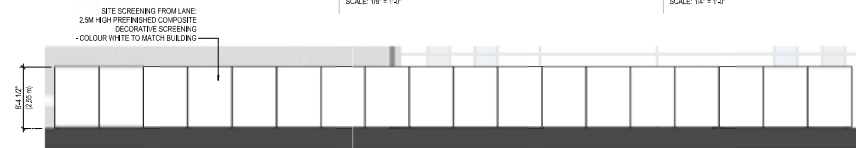
3 LOADING BAY SCREEN WALL

SCALE: 1/16" = 1'-0"



4 GAS METER ENCLOSURE

SCALE: 1/4" = 1'-0"



5 DECORATIVE SCREEN WALL

SCALE: 1/8" = 1'-0"

NOTE: PREFINISHED CORRUGATED METAL DECORATIVE SCREEN WALL ON PAINTED STEEL POSTS AND BEAMS, SEE LANDSCAPE DRAWINGS

GENERAL LANDSCAPE NOTES:

- All materials and execution of landscape works shall conform to the CLS/BCNTR Landscape standard.
- Do not construct from these drawings unless marked 'Issued for construction'.
- All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards, Ontario/Canadian Landscape Standards and respect all Municipal Bylaws.
- The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
- The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
- The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removals necessary (whether shown on the drawing or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to inspect, report, or rectify these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful completion of the proposed improvements without any changes to fee.
- The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
- Contractor to repair any damage resulting from work on site.
- The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
- Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn begins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3:1 slopes. Slope grass swales (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
- Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- All landscaping to have High efficiency irrigation system to IABC standards.



BICYCLE RACK



TRASH RECEPTACLE

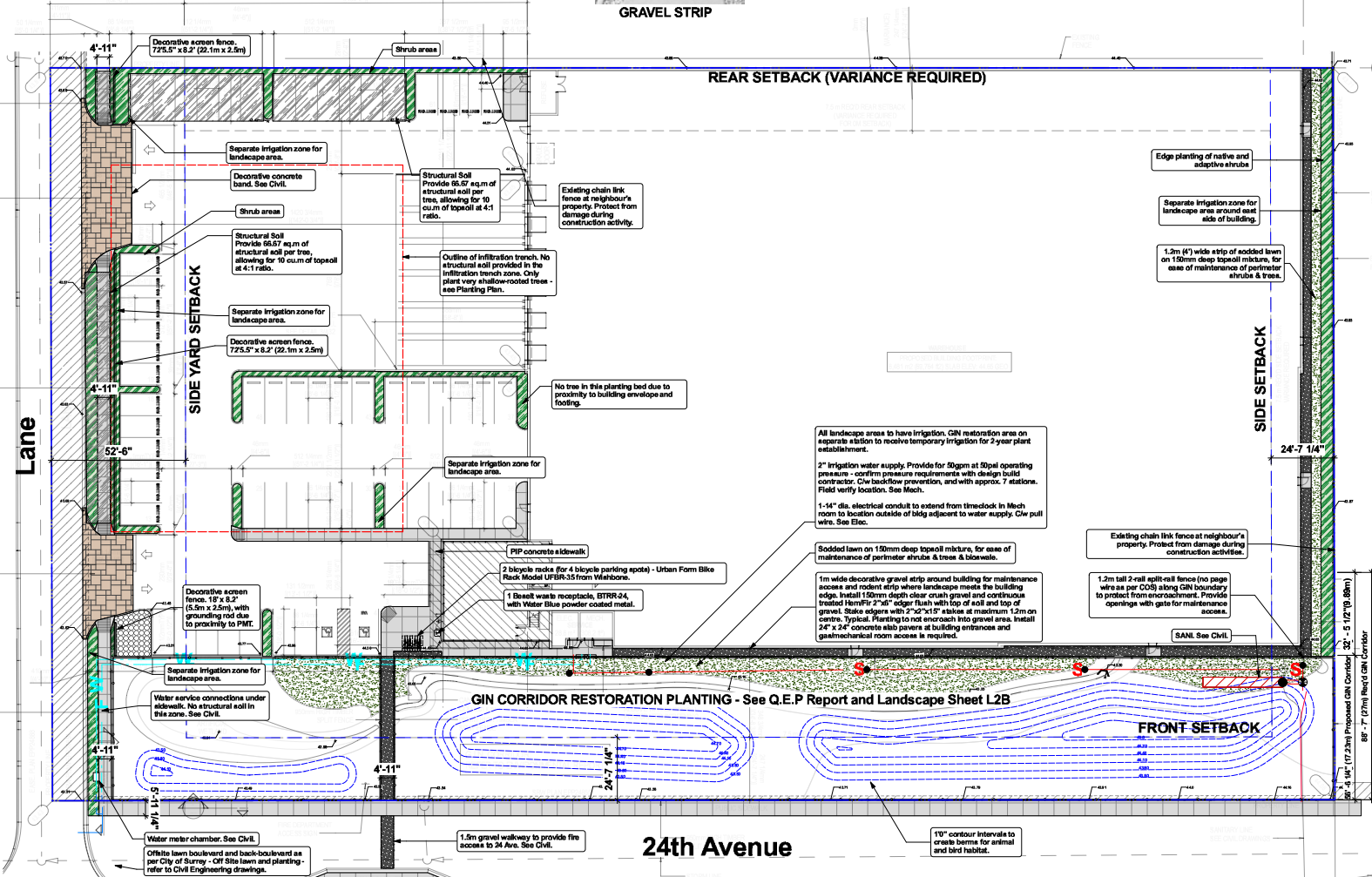


GRAVEL STRIP

LEGEND		DETAIL
HARDSCAPE MATERIALS:		
	PIP Concrete	
	Decorative Round River Rock	
SOFTSCAPE MATERIALS:		
	Planting Shrub Bed	
	Non-retted Sand-based Soil	

DRAWING LEGEND	
L1	MATERIALS & LAYOUT PLAN
L2A	PLANTING PLAN
L2B	GIN REVEGETATION PLAN
L3	DETAILS
L4	DETAILS

Date	Issue	Notes
U 2023-02-17	Issue for DP	
T 2023-10-12	Revised for City Comments	
S 2023-09-26	Revisions for DP	
R 2023-09-13	Revised for DP	
Q 2023-08-22	Issue for BP	
P 2023-06-21	Issue for DP Prior To Revisions	
O 2023-06-21	Issue for DP Prior To Revisions	
N 2023-06-05	GIN coordination	
M 2023-05-24	GIN Coordination	
L 2023-05-24	Consultant Coordination	
K 2023-05-10	30% DD	
J 2023-05-03	Revised for City Comments	
I 2023-04-26	For prelim. Planning review (L2A)	
H 2023-04-26	Revised for DP	
G 2023-04-09	For coordination	
F 2023-02-14	Revised for DP	
E 2023-01-24	For coordination	
D 2021-10-14	Issue for DP	
C 2021-10-12	For coordination	
B 2021-10-12	For coordination	
A 2021-09-24	For client review	

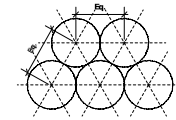


Prospect & Refuge
LANDSCAPE ARCHITECTS
 1845 24th Avenue, Surrey BC
 604-669-9033 info@prospectrefuge.ca

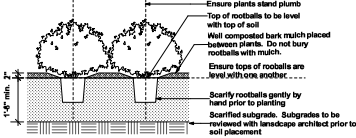
Project file address:
MILLSTREAM ONE WAREHOUSE
 1845 24th Avenue, Surrey BC

Sheet title:
Landscape Materials and Layout Plan

Project manager: KZ
 Project No: 2021-35
 Designer: KZ
 Scale: 1" = 20'
 Reviser by: AS
 Sheet No: L1
 Date: 2023-03-23



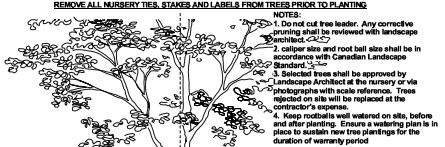
Plan view of typical planting layout. Unless otherwise noted, plants are to be spaced equally in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



Ensures plants stand plumb
Top of rootballs to be level with top of soil
Well composted bark mulch placed between plants. Do not bury rootballs with mulch.
Ensures tops of rootballs are level with one another.
Scarify rootballs gently by hand prior to planting
Scarified subgrade. Subgrades to be reviewed with landscape architect prior to soil placement

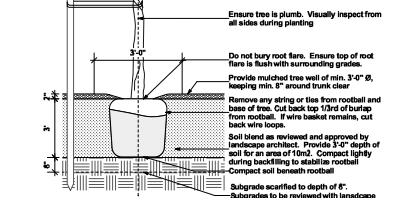
NOTES:
1. Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
2. Prune all damaged, diseased, and dead limbs.
3. Keep roots moist during installation. Water container stock well prior to planting and following planting.

1 Shrub and Perennial Planting
Scale: 1/2" = 1'-0"



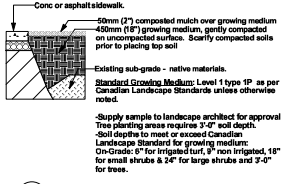
REMOVE ALL NURSERY TIES, STAKES AND LABELS FROM TREES PRIOR TO PLANTING

NOTES:
1. Do not cut tree leader. Any corrective pruning shall be reviewed with landscape architect.
2. Caliper size and root ball size shall be in accordance with Canadian Landscape Standard.
3. Selected trees shall be approved by Landscape Architect at the nursery or via photographs with scale reference. Trees rejected on site will be replaced at the contractor's expense.
4. Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for the duration of warranty period.



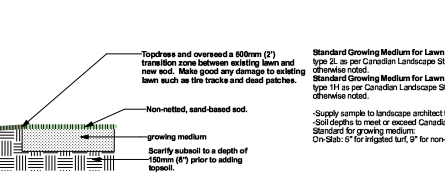
Tree shall only be staked (both sides) if stability issues are present. Review in field with Landscape Architect or submit rationale in writing to L.A. for approval. Tree stakes shall be removed at the end of contractor's 1 year warranty period.
Ensure tree is plumb. Visually inspect from all sides during planting
Do not bury root flaps. Ensure top of root flare is flush with surrounding grades.
Provide mulched tree well of min. 3'-0" Ø, keeping min. 1" around trunk base.
Remove any string or ties from rootball and base of tree. Cut back top 1/3rd of burial from rootball. If wire basket remains, cut back wire loops.
Soil tested as reviewed and approved by landscape architect. Provide 3'-0" depth of soil for an area of 10m². Compact lightly during backfilling to stabilize rootball.
Compact soil beneath rootball
Subgrade scarified to depth of 6". Subgrades to be reviewed with landscape architect prior to soil placement

2 Tree Planting
Scale: 1/2" = 1'-0"



Concrete or asphalt sidewalk
40mm (2") composted mulch over growing medium
40mm (1 1/2") growing medium, gently compacted on uncompacted surface. Scarify compacted soils prior to placing top soil
Existing sub-grade - native materials
Standard Growing Medium: Level 1 type 1P as per Canadian Landscape Standards unless otherwise noted.
Supply sample to landscape architect for approval
Tree planting areas require 3'-0" soil depth.
Soil depths to meet or exceed Canadian Landscape Standard for growing medium:
On-Centre 5' for irrigated turf, 6' non irrigated, 16' for small shrubs & 24' for large shrubs and 3'-0" for trees.

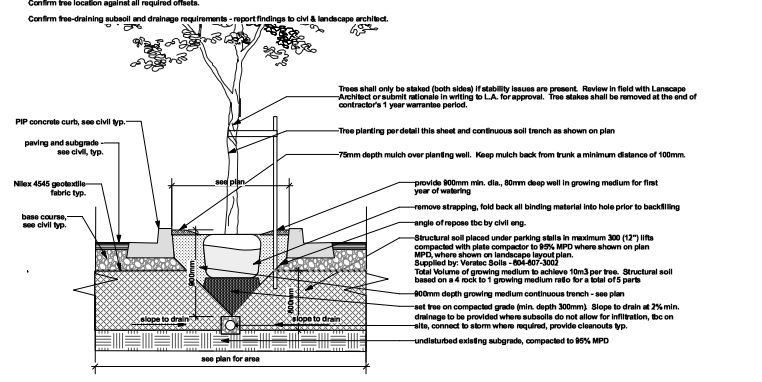
3 Soil Installation
Scale: 1/2" = 1'-0"



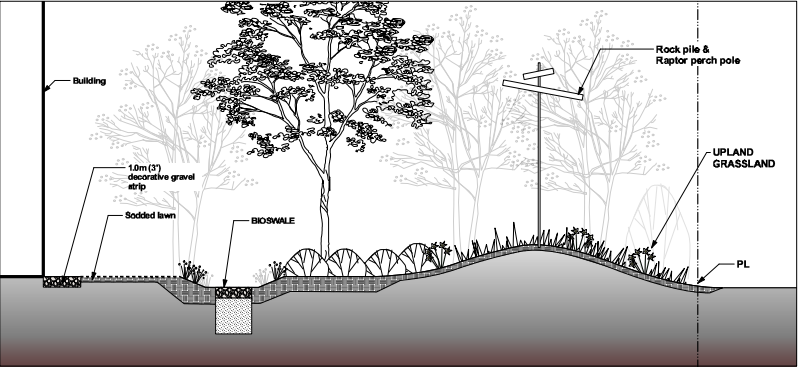
Topdress and overseed a 600mm (2') transition zone between existing lawn and new sod. Make good any damage to existing lawn such as the tracks and dead patches.
Standard Growing Medium for Lawn offset: Level 2 type 2L as per Canadian Landscape Standards unless otherwise noted.
Standard Growing Medium for Lawn on-site: Level 1 type 1H as per Canadian Landscape Standards unless otherwise noted.
Supply sample to landscape architect for approval
Soil depths to meet or exceed Canadian Landscape Standard for growing medium:
On-Slab 5' for irrigated turf, 9' for non-irrigated.
Scarify subsoil to a depth of 150mm (6") prior to adding topsoil.

4 Lawn Installation
Scale: 1/2" = 1'-0"

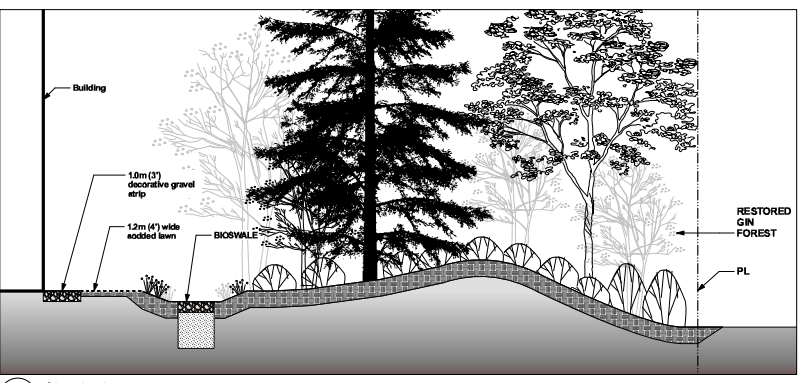
NOTES:
This tree planting detail is for a linear planting channel of structural soil parallel to street tree for use under hard surface in parking lot.
Provides growing medium, aggregate, soil stabilizer cut sheets for review prior to delivery to site for review by landscape architect and civil engineer.
Excavate trenches in accordance with MMCD Section 31.23 of Excavating, Trenching and Backfilling allowing for width and depth of design. Subgrades to be approved by landscape architect/civil eng. prior to backfilling.
Install as soon as practical after mixing or upon delivery. Any soils stored overnight, whether on site or at source shall be covered with tarpaulin of material approved by contract administrator until installation.
Structural soil shall be moist but not saturated with water when placed. Do not handle or place structural soil mix in rain or freezing conditions. Protect structural soil from weather and accessibility until base layers are installed over top.
Confirm tree location against all required offsets.
Confirm free-draining subsoil and drainage requirements - report findings to civil & landscape architect.



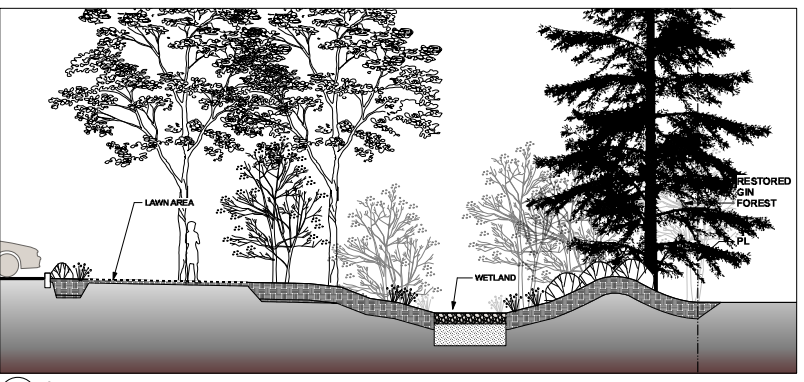
5 Structural Soil Installation
Scale: 1/2" = 1'-0"



1 GIN Planting
Scale: 3/16" = 1'-0"



2 GIN Planting
Scale: 3/16" = 1'-0"



3 GIN Planting
Scale: 3/16" = 1'-0"

DRAWING LEGEND

L1	MATERIALS & LAYOUT PLAN
L2A	PLANTING PLAN
L2B	GIN REVEGETATION PLAN
L3	DETAILS
L4	DETAILS

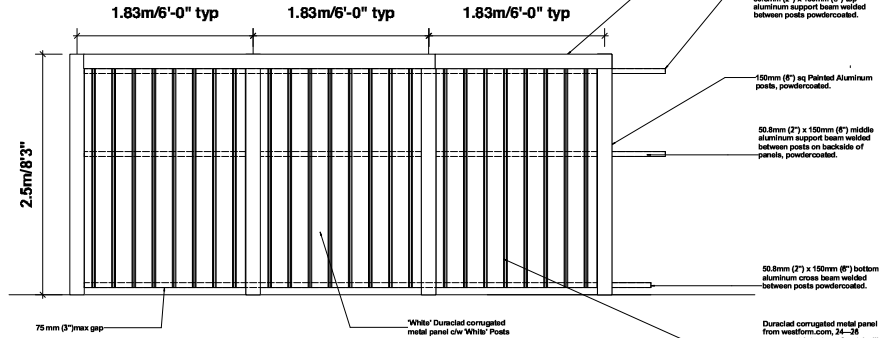
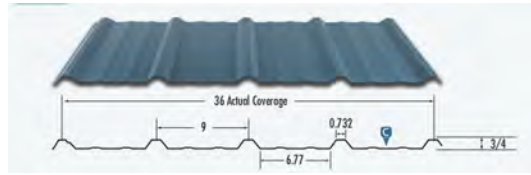
U	2023-02-17	Issue for DP
T	2023-10-12	Revised for City Comments
S	2023-09-26	Release for DP
R	2023-09-13	Release for DP
Q	2023-06-22	Issue for BP
P	2023-06-30	Issue for DP Prior to Revisions
O	2023-06-23	Issue for DP Prior to Revisions
N	2023-06-05	GIN coordination
M	2023-05-26	GIN Coordination
L	2023-05-26	Consultant Coordination
K	2023-05-10	30% DD
J	2023-05-05	Revised for City Comments
I	2023-04-26	For prelim. Planning review (L2A)
H	2023-04-26	Release for DP
G	2023-04-04	For coordination
F	2023-02-14	Issue for DP
E	2023-01-24	For coordination
D	2021-10-14	Issue for DP
C	2021-10-12	For coordination
B	2021-10-05	For coordination
A	2021-09-24	For client review

Date	Issue/Notes

Prospect & Refuge
LANDSCAPE ARCHITECTS
2788 24th Avenue, Surrey BC V4A 1H9
604-669-9033 info@prospectrefuge.ca
Working under 21 permits on behalf of Consultant (L2A)

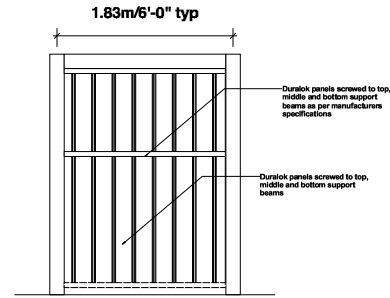
Project file address:
MILLSTREAM ONE WAREHOUSE
18745 24th Avenue, Surrey BC

Sheet No. Landscape Details	
Project Manager KZ	Project No. 2021-35
Drawn by KZ	Scale
Reviewed by AS	Sheet No. L3
Date 2020-03-23	



Front Elevation

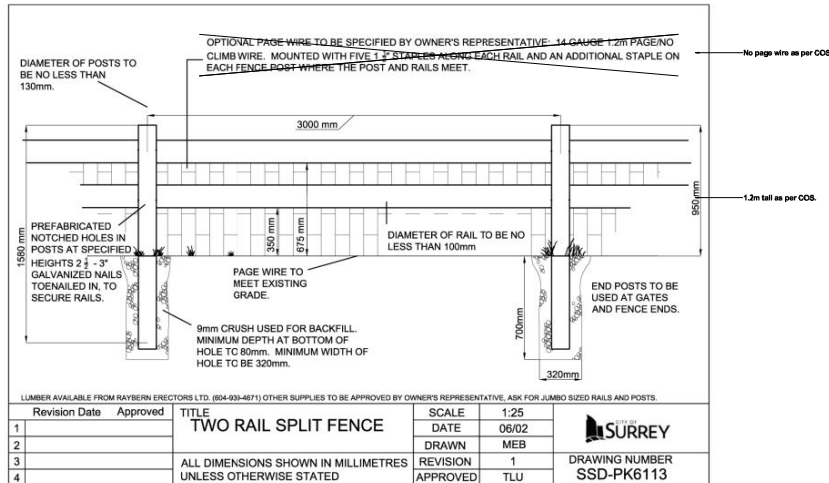
1 Decorative Screen Fence
Scale: 1/2" = 1'-0"



Back Elevation



Fence Panel Concept



LUMBER AVAILABLE FROM RAYBERN ERECTORS LTD. (804-931-4871) OTHER SUPPLIES TO BE APPROVED BY OWNER'S REPRESENTATIVE, ASK FOR JUMBO SIZED RAILS AND POSTS.

Revision	Date	Approved	TITLE	SCALE	1:25
1			TWO RAIL SPLIT FENCE	DATE	06/02
2				DRAWN	MEB
3			ALL DIMENSIONS SHOWN IN MILLIMETRES UNLESS OTHERWISE STATED	REVISION	1
4				APPROVED	TLU



DRAWING NUMBER
SSD-PK6113

2 2-rail Fence
Scale: 1/2" = 1'-0"

DRAWING LEGEND	
L1	MATERIALS & LAYOUT PLAN
L2A	PLANTING PLAN
L2B	GIN REVEGETATION PLAN
L3	DETAILS
L4	DETAILS

U	2023-02-17	Issue for DP
T	2022-10-12	Revised for City Comments
S	2022-09-26	Release for DP
R	2022-09-13	Release for DP
Q	2022-06-22	Issue for BP
P	2022-06-20	Issue for DP Prior To Revisions
O	2022-06-20	Issue for DP Prior To Revisions
N	2022-06-06	GIN coordination
M	2022-05-24	GIN Coordination
L	2022-05-20	Consultant Coordination
K	2022-05-10	30% DD
J	2022-05-05	Revised for City Comments
I	2022-04-28	For prelim. Planning review (L2A)
H	2022-04-28	Release for DP
G	2022-04-09	For coordination
F	2022-02-14	Release for DP
E	2022-01-24	For coordination
D	2021-10-14	Issue for DP
C	2021-10-12	For coordination
B	2021-10-06	For coordination
A	2021-09-24	For client review

Date	Issue Notices

Prospect & Refuge

LANDSCAPE ARCHITECTS
2100 - 24th Avenue, Surrey, BC V3T 2W9
604-669-9033 info@prospectrefuge.ca

Project Title and Address
MILLSTREAM ONE WAREHOUSE
18745 24th Avenue, Surrey BC

Project Title	
Landscape Details	
Project Manager	KZ
Project No.	2021-35
Client/By	KZ
Scale	
Reviewed by	AS
Sheet No.	
Date	2020-03-23
L4	

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0354-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-975-774

Lot 14 Section 21 Township 7 New Westminster District Plan EPP24887

18745 - 24 Avenue

(the "Land")

- (a) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F Yards and Setbacks of Comprehensive Development (CD) Bylaw No. 17536, the minimum north rear yard setback is reduced from 7.5 meters to 0.0 metres.
 - (b) In Part 5 Off-Street Parking and Loading/Unloading, the parking rate for "Industry - Light Impact" in Table D.1 is reduced from 1.0 parking spaces per 100 square metres to 0.90 parking spaces per 100 square metres.

4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

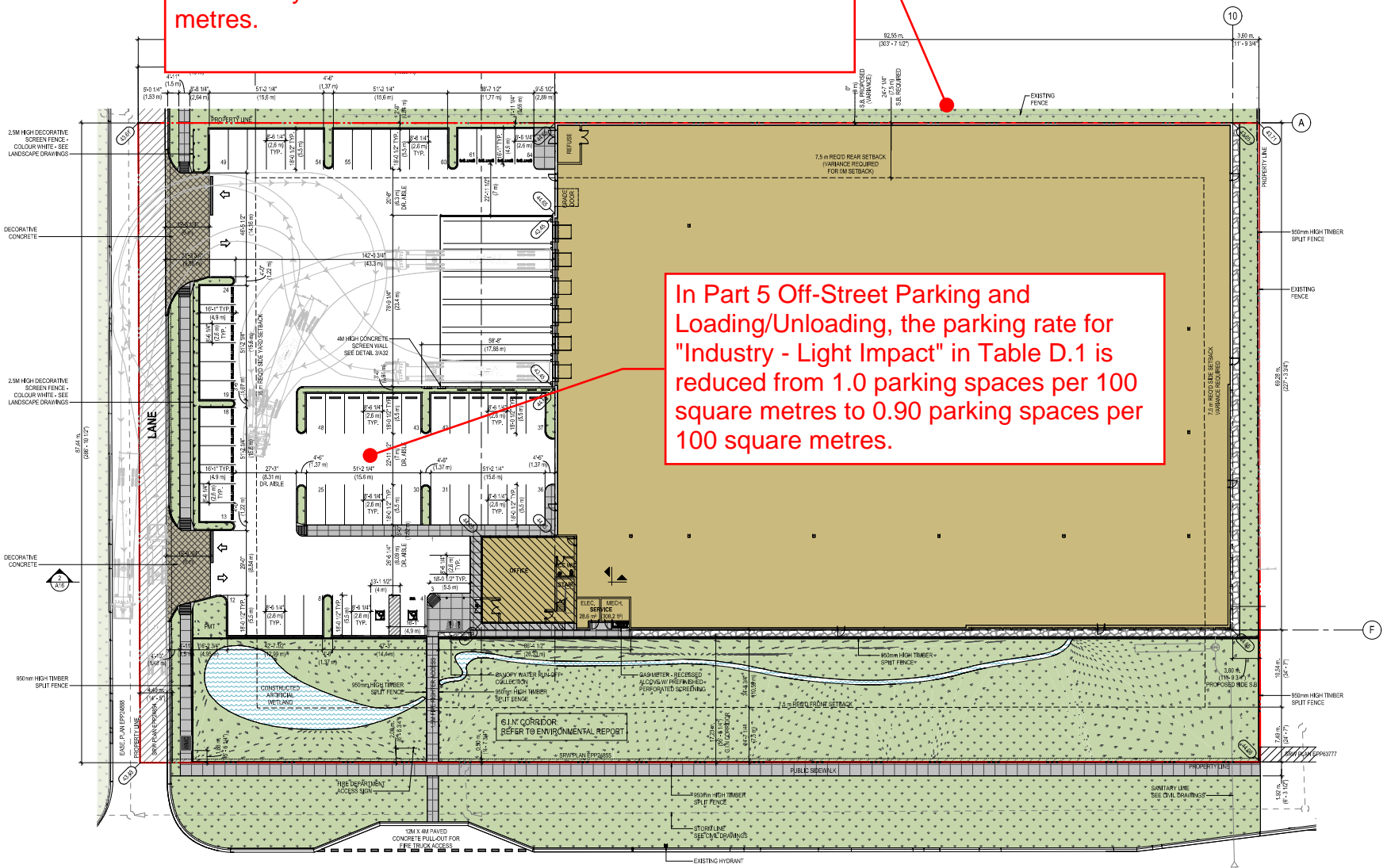
City Clerk – Jennifer Ficocelli

In Section F. Yards and Setbacks of Comprehensive Development Zone (CD By-law No. 17536), the minimum north rear yard setback is reduced from 7.5 metres to 0.0 metres.

In Part 5 Off-Street Parking and Loading/Unloading, the parking rate for "Industry - Light Impact" in Table D.1 is reduced from 1.0 parking spaces per 100 square metres to 0.90 parking spaces per 100 square metres.

SITE LEGEND

- PROPOSED BUILDING
- MEZZANINE OVER
- EXISTING BUILDING
- LANDSCAPING
- BUILDING SIDEWALK
- CONCRETE PAD
- ASPHALT PAVEMENT
- PERMEABLE ASPHALT PAVEMENT
- MASONRY PAVEMENT
- GRAVEL
- PMT C/W BOLLARDS
- FIRE HYDRANT
- PROPERTY LINE
- EASEMENT ROW
- BUILDING SETBACK
- SPLIT FENCE



24 AVENUE

CLIENT:

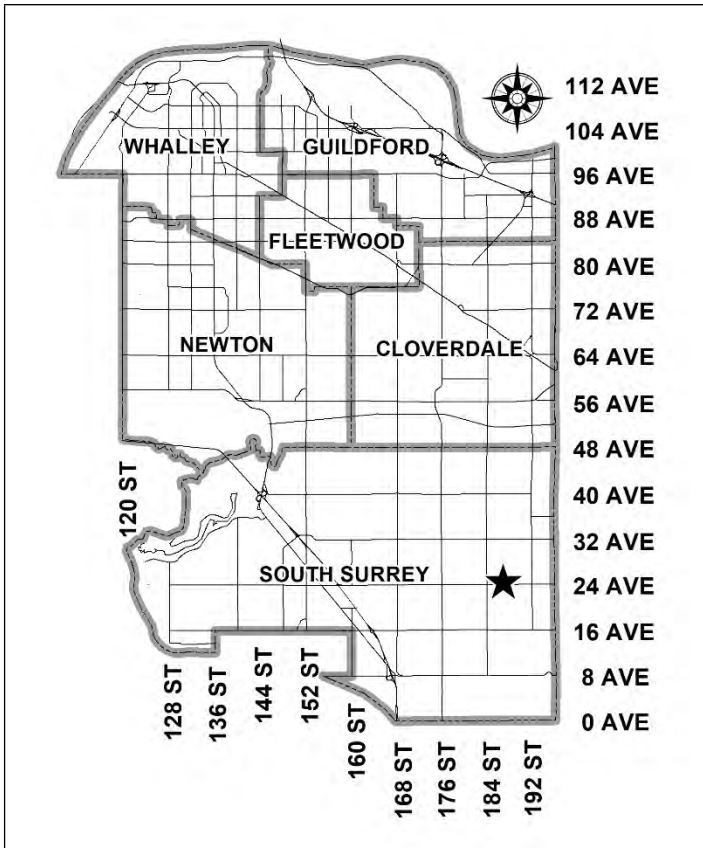


APPENDIX III

**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0354-00

Planning Report Date: July 25, 2022



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

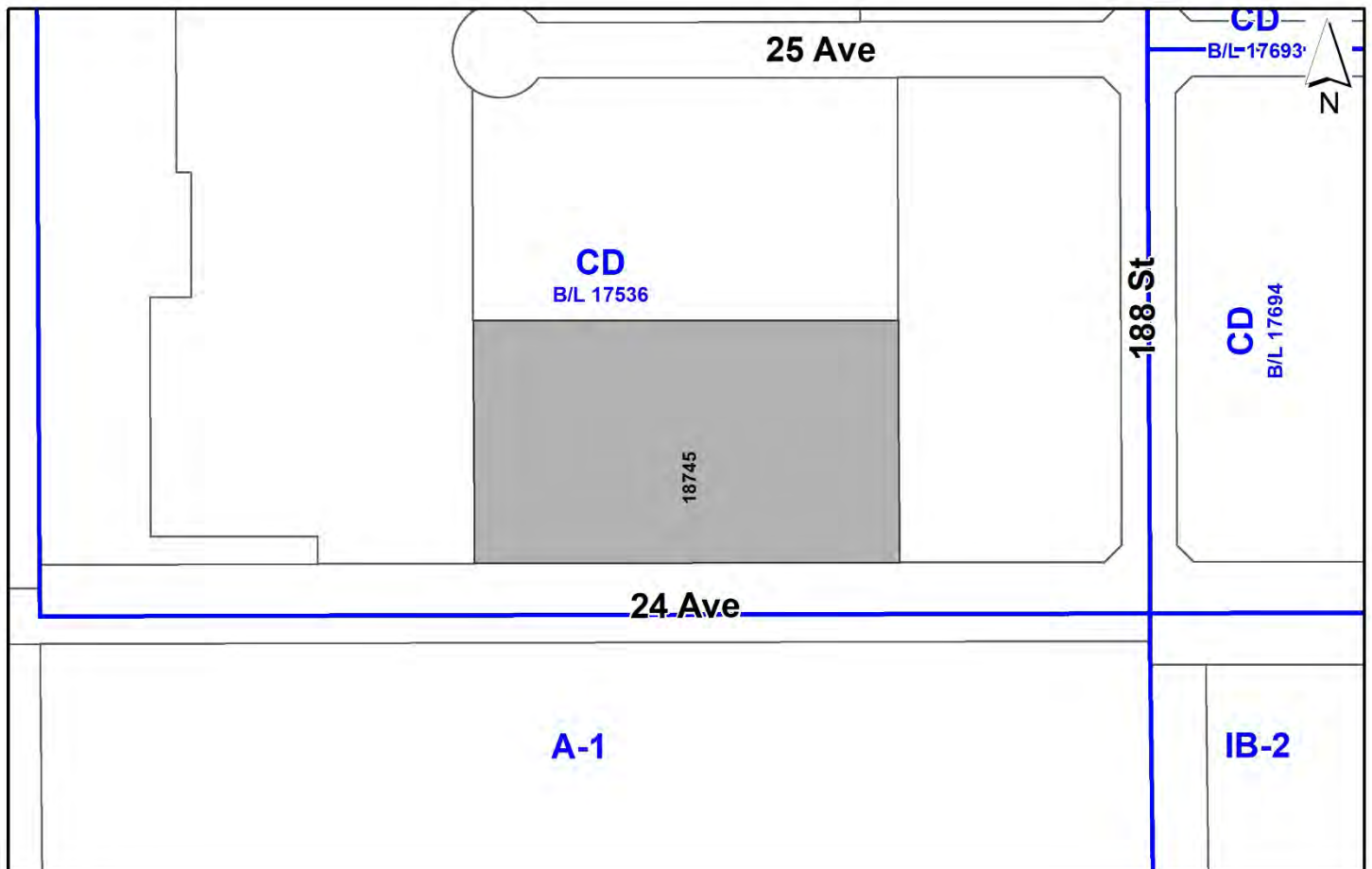
to permit the development of a 7,045 square metre purpose-built single-tenant cold storage facility.

LOCATION: 18745 - 24 Avenue

ZONING: CD (By-law No. 17536)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Technology Park or Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- File Temporary Use Permit No. 7920-0317-00 and close Land Development Application No. 7920-0317-00 and all applications associated with this project.
- Approval to draft Development Permit for Form and Character, Sensitive Ecosystems, and Farm Protection.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the setback and building height requirements of the CD Zone (By-law No. 17536) and to reduce the industrial parking rate for the cold storage floor area.

RATIONALE OF RECOMMENDATION

- A previous Development Application (7920-0317-00) for the subject site proposed a Temporary Use Permit to allow truck parking. Following Council's direction at the March 8, 2021, Regular Council Land Use meeting to bring forward a Temporary Use Permit application on the subject site for support, the property was purchased by new owners who did not wish to pursue the Temporary Use Permit, instead opting to develop the site in keeping with the intended land use in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Technology Park or Business Park and Landscaping Strips designation in the Campbell Heights LAP.
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas and Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Farming Protection.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed variance for rear yard building setback will not negatively impact the existing industrial development to the north.

- The proposed variance to increase the building height is required to operate the automated system that has been designed for the proposed cold storage warehouse. The increased building height represents one form of industrial intensification as identified in the Official Community Plan (OCP) and general employment intensification trends in the region.
- The proposed vehicle parking variance is supportable as the applicant has demonstrated that the number of parking spaces provided is sufficient to meet the peak parking demand based on the maximum employee shift requirements.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Temporary Use Permit No. 7920-0317-00 and close Land Development Application No. 7920-0317-00 and all applications associated with this project.
2. Council authorize staff to draft Development Permit No. 7921-0354-00 generally in accordance with the attached drawings (Appendix I) and the draft Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7921-0354-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum north (rear) yard setback of the CD Zone (By-law No. 17536) from 7.5 metres to 3.6 metres to the principal building face;
 - (b) to vary the maximum building height of the CD Zone (By-law No. 17536) allowed from 14 metres to 20.2 metres; and
 - (c) to reduce the rate at which parking is calculated for industrial floor area associated with the cold storage facility from 1 parking space per 100 square metres to 0.26 parking spaces per 100 square metres.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
 - (e) registration of a Section 219 Restrictive Covenant requiring additional parking spaces should the use on the property change in the future;
 - (f) registration of a Section 219 Restrictive Covenant for "no build" over, and installation and maintenance of, the Green Infrastructure landscape buffer; and
 - (g) registration of a Section 219 Restrictive Covenant advising future homeowners of the potential farm operations of the adjacent agricultural lands.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant	Technology Park or Business Park and Landscaping Strips	CD (By-law No.. 17536)
North:	Existing industrial building	Technology Park or Business Park	CD (By-law No.. 17536)
East:	Existing Industrial building	Technology Park or Business Park and Landscaping Strips	CD (By-law No.. 17536)
South (Across 24 Avenue):	Agricultural Land Reserve agricultural property	Technology Park or Business Park	A-1
West (Across ROW):	Vacant industrial-zoned property.	Technology Park or Business Park	CD (By-law No.. 17536)

Context & Background

- The subject site is approximately 1.31 hectares in size and is located at the western boundary of Campbell Heights along 24 Avenue.
- The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Technology Park or Business Park" and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP).
- The subject site was rezoned to "Comprehensive Development Zone (CD By-law 17536)" under Development Application No. 7910-0301-00, which received Final Adoption on November 5, 2012.
- Development Application No. 7910-0301-00 also included a subdivision, which created the subject lot as well as a statutory north-south right-of-way along the subject site's western boundary, which provides ultimate access to the site from 24 Avenue and connecting to 25 Avenue.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes a Development Permit and Development Variance Permit to permit the construction of a 7,045 square metre purpose-built single tenant cold storage facility.

Proposed	
Lot Area	
Gross Site Area:	1.3 ha
Road Dedication:	n/a
Undevelopable Area:	n/a
Net Site Area:	1.3 ha
Number of Lots:	1
Building Height:	20.2 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.54
Floor Area	
Industrial:	6,209 square metres (plus 181 square metres of stairways)
Office:	655 square metres
Total:	7,045 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Surrey Fire Department:	No concerns.
Agriculture, Environment, and Investment Advisory Committee (AEIAC):	The subject application was sent to the AEIAC for information purposes only and therefore, there are no comments.
Advisory Design Panel:	The application was not subject to review by the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- The subject development will be accessed via a statutory right-of-way that connects 24 Avenue to 25 Avenue. Two driveway accesses to the loading court and passenger vehicle parking area is proposed from the right-of-way.
- The subject development is proposing to provide 33 passenger vehicle parking stalls on the site. Based on the Zoning By-law parking rate for "industrial" and "office" uses, a total of 79 parking stalls is required on the site.

- The proposed parking meets the Zoning By-law required for the related office use area. However, due to the automated nature of the facility, the warehouse cold storage component of the building requires less staff than what is needed for a typical distribution warehouse.
- The applicant has provided a Parking Study prepared by Bunt and Associates Engineering Ltd. in support of the proposed parking variance. The applicant has also confirmed that at peak demand, there will be a maximum of 15 office employees and 15 warehouse employees. The additional stalls are intended to provide additional visitor stall spaces or room for future business growth.
- Based on the proposed 33 parking stalls, the applicant proposes to vary the parking rate for “industrial” uses from 1 parking space per 100 square metres to 0.26 parking spaces per 100 square metres.
- Should the proposed use for the subject site change in the future, the site would need to meet the parking requirement associated with the new use.
- The proposed reduced parking rate will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policy recommendations in the Official Community Plan and trends in the region for employment intensification.
- The subject site is approximately 50 metres from a bus stop at the corner of 24 Avenue and 188 Street. TransLink Bus Route No. 531 runs along 24 Avenue connecting to White Rock to the west and Willowbrook to the east.
- In support of the proposed variance to the parking rate, the applicant has agreed to construct the sidewalk on the north side of 24 Avenue fronting the subject site to connect with the existing bus stop at the corner of 24 Avenue and 188 Street as a means of providing convenient access to the bus stop.
- On 24 Avenue there are currently both eastbound and westbound dedicated bicycle lanes, which connect to 184 Street and 192 Street and elsewhere within the Campbell Heights Business Park.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has committed to providing a high-albedo roof with a Solar Reflectance Index (SRI) of a minimum value of 0.75.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards 24 Avenue with expansive two-level glazing at the southwest corner of the building and there are also two employee amenity areas along this frontage.)

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with the overall site design.

(The proposed loading court is partially visible to the public realm along 24 Avenue and the statutory right-of-way lane. To address this issue, the applicant proposes a 4.2 metre tall concrete screen wall along 24 Avenue and a 2.5 metre tall continuous decorative screen wall in corrugated metal along the right-of-way.)

- E1.5 – Encourage the full utilization and efficient use of industrial and other employment lands in order to maximize jobs and economic activity per hectare; and
- E1.7 – Develop flexible zoning regulations and bylaws to support more intensive use of existing employment lands.

(The proposed variances to building height, the rear yard setback, and parking will ensure efficient use of the lands thereby maximizing the jobs and economic activity per hectare without the need for unnecessary additional parking. The building height increase, setback reduction, and parking reduction will allow for employment intensification and is consistent with recommendations in the Official Community Plan and trends in the region.)

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within the Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 24 Avenue, Highway 15, and 192 Street and is also near two border crossings. Transit service is provided along 24 Avenue through TransLink bus route no. 531 and new east-west cycle tracks will be implemented in the long-term along 24 Avenue providing dedicated cycling infrastructure.)

- E1.31 – Support and encourage the high-quality, environmentally responsible, sustainable development of employment lands.

(The development proposes to preserve a 17.2 metre-wide corridor fronting 24 Avenue as a Green Infrastructure Network Corridor, in keeping with the Biodiversity Conservation Strategy.)

Secondary Plans

Land Use Designation

- The proposal complies with the “Technology Park or Business Park” and “Landscaping Strips” land use designations in the Campbell Heights Local Area Plan.

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high-quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level glazing at the southwest corner of the building where the office component is located. While the remainder of the 24 Avenue frontage is made up of concrete tilt-up panels, this frontage is enlivened by the pattern of coloured-concrete tilt-up.)

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations, with regard to colours, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed development is architecturally coordinated with a modern appearance that promotes harmony through its use of cladding materials, colours, glazing, signage, and landscaping.)

CD By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the existing CD By-law No. 17536, and parking requirements.

CD Zone (By-law No. 17536)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.54
Lot Coverage:	60%	49.6%
Yards and Setbacks		
Front (South):	16.0 m/7.5 m	18.0 m
Side (East):	7.5 m or 3.6 m for one side if abutting industrial	3.6 m
Side (West):	7.5 m	39.4 m
Rear (North):	7.5 m	3.6 m
Height of Buildings		
Principal buildings:	14 m	20.2 m

CD Zone (By-law No. 17536)	Permitted and/or Required	Proposed
Accessory buildings:	6 m	n/a
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class B (yellow-coded) Stream:	15 m	>15 m
Parking (Part 5)	Required	Proposed
Number of Stalls		
Industrial:	62.1	16.6
Office	16.4	16.4
Total:	79	33
Small (%):	28 (max 35% permitted)	10 (30%)
Bicycle Spaces		
Employee/Visitor:	n/a	3

Setback, Height, and Parking Variances

- The applicant is requesting the following variances:
 - (a) to reduce the minimum north (rear) yard setback of the CD Zone (By-law No. 17536) from 7.5 metres to 3.6 metres to the principal building face;
 - (d) to vary the maximum building height of the CD Zone (By-law No. 17536) allowed from 14 metres to 20.2 metres; and
 - (g) to reduce the rate at which parking is calculated for industrial floor area associated with the cold storage facility from 1 parking space per 100 square metres to 0.26 parking spaces per 100 square metres.
- The proposed variance for the rear yard building setback will not negatively impact the existing industrial development to the north.
- The proposed variance to increase the building height is required to operate the automated system that has been designed for the proposed cold storage warehouse. The increased building height represents one form of industrial intensification as identified in the Official Community Plan and general employment intensification trends in the region.
- The subject development is proposing to provide 33 passenger vehicle parking stalls on the site. Based on the Zoning By-law parking rate for "industrial" and "office" uses, a total of 79 parking stalls is required on the site. The applicant has demonstrated that the number of parking spaces provided is sufficient to meet the peak parking demand based on the maximum employee shift requirements.
- The proposed parking meets the Zoning By-law required for the related office use area. However, due to the automated nature of the facility, the warehouse cold storage component of the building requires less staff than what is needed for a typical distribution warehouse.

- The applicant has provided a Parking Study prepared by Bunt and Associates Engineering Ltd. in support of the proposed parking variance. The applicant has also confirmed that at peak demand there will be a maximum of 15 office employees and 15 warehouse employees. The additional stalls are intended to provide additional visitor stall spaces or room for future business growth.
- Based on the proposed 33 parking stalls, the applicant proposes to vary the parking rate for "industrial" uses from 1 parking space per 100 square metres to 0.26 parking spaces per 100 square metres.
- Should the proposed use for the subject site change in the future, the site would need to meet the parking requirement associated with the new use.
- The proposed reduced parking rate will allow the applicant to better utilize the entirety of the site for the industrial use, and represents one form of industrial intensification as identified in the Official Community Plan and general employment intensification trends in the region.
- In support of the proposed variance to the parking rate, the applicant has agreed to construct the sidewalk on the north side of 24 Avenue fronting the subject site to connect with the existing bus stop at the corner of 24 Avenue and 188 Street as a means of providing alternative transportation options.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- The Development Proposal Sign was installed on June 23, 2022. Staff did not receive any responses from neighbouring residents or businesses.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse (Erickson Creek) to the west. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.

- The riparian area associated with Erickson Creek was previously protected through Development Application No. 7910-0301-00, which relocated the watercourse to its current location west of the adjacent property located at 18699 – 25 Avenue, was protected through conveyance of land to the City. The watercourse is beyond the streamside setbacks outlined in Part 7A of the Zoning By-law and therefore, no further protection is needed through this application.
- An Ecosystem Development Plan, prepared by Richard Couture, *R.P. Bio.*, of EXP Services Inc. and dated April 29, 2022, was reviewed by an independent peer reviewer (Matt McTavish of McTavish Resource & Management Consultants Ltd.) and staff and found to be generally acceptable, with modifications to some details, content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the southern side of 24 Avenue. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Campbell Heights BCS management area, with a Medium ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 100 meters.
- The development proposal conserves/enhances 2,444 square meters of the subject site by Providing for an enhanced Landscape Buffer which is approximately 19 % of the total gross area of the subject site. The GIN Corridor itself is approximately 27 metres wide on the subject property, while the applicant proposes to retain a 17.2 metre wide GIN Corridor. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 1,450 square meters of the GIN area (approximately 10 metres of additional width) would be required on the subject site but has not been provided by the development proposal due to the limited size of the lot and resulting developable area after GIN protection.
- An Ecosystem Development Plan, prepared by Richard Couture, *R.P. Bio.*, of EXP Services Inc. and dated April 29, 2022, was reviewed by an independent peer reviewer (Matt McTavish of McTavish Resource & Management Consultants Ltd.) and staff and found to be generally acceptable, with modifications to some details, content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundary. The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for non-residential uses are outlined below (*with staff comments in italics*):
 - The minimum building setback for the ALR boundary is 30 metres.
 - *Staff comments: The proposed building setback of 18.1 metres, inclusive of a 17.2 metre wide landscape buffer/GIN Corridor, combined with the 30-metre-wide road right-of-way (24 Avenue) exceeds the typical setback requirements associated with industrial developments located adjacent to the ALR.*
 - The minimum vegetated buffer width is 15 metres.
 - *Staff comments: A 17.2 metre wide landscape buffer is proposed to be placed along 24 Avenue fronting the proposed building, exceeding the minimum 15 metres.*
 - Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2 metres to 4 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.
 - *Staff comments: The 17.2 metre landscape buffer is within a Green Infrastructure Corridor. The detailed planting plan will be developed by the Qualified Environmental Professional and Landscape Architect and is proposed to contain a variety of coniferous and deciduous trees, low lying shrubs, rain garden, and a swale.*
 - For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour and dust.
 - *Staff comments: The Restrictive Covenant to advise future owners of nearby farming activities and potential nuisance impacts will be registered on title as part of the development application.*

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).

- The applicant has worked with staff to resolve several challenges on the site, including accommodating a 17.2 metre wide GIN Corridor along 24 Avenue and to adequately screen the loading court from public view.
- Overall, the building is proposed to have a modern, linear appearance with articulation emphasizing the separation between the office and industrial warehouse components. Architectural emphasis is placed on the office component at the southwest corner of the building, which is to be constructed of a curtain-wall glazing and spandrel glazing.
- In addition to the curtain-wall office glazing, the building is proposed to be constructed of concrete tilt-up panels in white with several accent colours for visual interest.
- The building is proposed with a TPO high-albedo roofing material with at least 0.75 Solar Reflectance Index to minimize the urban heat island effect, meeting the Climate Adaptation Strategy policy.
- The applicant proposes a fascia sign at the top of the building along the 24 Avenue frontage, complying with the Sign By-law. No other signs are proposed at this time, however, should any signs be proposed in the future the applicant will need to ensure they comply with the Sign By-law.

Landscaping

- The proposed landscaping consists of a 17.2 metre wide GIN Corridor along 24 Avenue fronting the building. A 1.5 metre wide landscape buffer is provided along the statutory right-of-way lane, separating the lane from the sidewalk that is proposed to be constructed.
- The proposed landscaping for the site consists of a variety of trees, including Serbian Spruce, Kousa Dogwood, and Japanese Snowbell. The tree plantings are complimented by a variety of shrubs and groundcover.
- The landscaping for the GIN Corridor is proposed to consist of a series of habitat areas with distinct plantings. This includes an upland forest area, lowland forest area, grassland/shrub area, rain garden, and a bioswale. Trees that are proposed to be planted in the GIN Corridor include: Vine Maple, Douglas Fir, Western Red Cedar, and Bitter Cherry. The detailed planting plans will be developed by the Qualified Environmental Professional in consultation with the Landscape Architect.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor formatting revisions to the Landscape Plans.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. attended the site for the purpose of confirming the presence or absence of protected trees under Surrey Tree By-law No. 16100. The Arborist confirmed that there are no trees onsite offered protection by size or by species under Surrey Tree By-law No. 16100.
- The new trees on the site will consist of a variety of trees including Serbian Spruce, Kousa Dogwood, Japanese Snowbell, Western Red Cedar, Vine Maple, and Bitter Cherry.
- In summary, a total of 112 new trees are proposed to be planted on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III	Development Variance Permit No. 7921-0354-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

KS/cm

ISSUE DATE: JUNE 29, 2022

SHEET LIST

ARCHITECTURE

A01	GENERAL NOTES & PROJECT DATA
A02	PERSPECTIVES
A10	BASE SITE PLAN
A11	SITE PLAN
A13	FINE TRUCK ACCESS PLAN
A15	SITE DETAILS
A16	SITE SECTIONS
A21	MAIN FLOOR
A22	MEZZANINE FLOOR
A23	ROOF PLAN
A24	ENLARGED PLANS
A25	UNIT SUB STATION
A31	BUILDING ELEVATIONS
A32	BUILDING ELEVATIONS
A33	BUILDING SECTIONS
A34	BUILDING SECTIONS - OFFICE

ZONING BY-LAW ANALYSIS

PROJECT DATA

CIVIC ADDRESS: 18745 24TH AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT 14 SECTION 21 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN EPP24887
 BUILDING USE: WAREHOUSE
 GROSS BUILDING AREA: 6,501.99 m² 69,886.2 m²

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: CO

2. SITE AREA:

PROPERTY GROSS	13,366.81 m ² 1.24 hectare	143,903.70 m ² 13.30 square miles
PROPERTY NET	11,196.40 m ² 1.21 hectare	141,077.09 m ² 13.24 acres

3. SITE COVERAGE & BUILDING AREAS:

BUILDING FOOTPRINT AREA CALCULATIONS		MAXIMUM SITE COVERAGE	
SITE AREA	PROP. SITE COVERAGE	SO M	%
SO M	SO FT	SO FT	%
13,366.81	141,077.1	69,886.2	60.0%
GROSS FLOOR AREA CALCULATIONS		FLOOR AREA	
LEVEL	OCCUPANCY	SO M	SO FT
MAIN FLOOR	-	24.06	258.9
MAIN FLOOR	D	213.24	2,295.3
MAIN FLOOR	F2	6,364.74	68,715.7
MEZZANINE FLOOR	-	19.86	213.8
MEZZANINE FLOOR	D	442.03	4,738.7
TOTAL		7,363.93	79,841.7
FAR CALCULATIONS			
PROPOSED FAR	ALLOWABLE FAR		
0.54	1		

*NOTE: MAX. FAR OF 1.0 IS PERMITTED, IF AMENITIES PER SCHEDULE G OF SURREY BYLAW IS PROVIDED

4. BUILDING HEIGHT:

MAXIMUM HEIGHT:	14.00 m (45'-11" 1/4")	VARIANCE REQUIRED
PROPOSED HEIGHT:	18.75 m (61'-4" 1/4")	

5. REQUIRED SETBACKS:

REQUIRED	PROVIDED	VARIANCE REQUIRED
FRONT YARD (SOUTH) 24 AVE:	9.00 m (29'-6" 1/4")	N/A
IF ONLY LANDSCAPE AND NO PARKING	7.50 m (24'-7" 1/4")	10.04 m (32'-9" 1/2")
REAR YARD (NOTING):	7.50 m (24'-7" 1/4")	3.60 m (11'-8" 3/4")
SIDE YARD (WEST) LANE:	16.00 m (52'-6")	39.42 m (129'-4")
SIDE YARD (EAST):	7.50 m (24'-7" 1/4")	3.60 m (11'-8" 3/4")

6. LANDSCAPING REQUIREMENTS:
 LANDSCAPING AREA, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH SECTION 111

7. VEHICLE PARKING AND LOADING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS

LEVEL	PARKING CLASSIFICATION	GROSS AREA	LOCAL BY-LAW REQUIREMENTS	SPACES REQUIRED
		SO M	SO FT	
MAIN FLOOR	INDUSTRIAL	6,283.52	86,908.7	1
MAIN FLOOR	MECH & STAIR	161.28	1,736.0	0
MAIN FLOOR	OFFICE	213.24	2,295.3	2.5
MEZZANINE FLOOR	OFFICE	442.03	4,738.8	3.5
MEZZANINE FLOOR	STAIR	19.86	213.8	0
TOTAL VEHICLE PARKING SPACES REQUIRED:		7,645.93	79,841.7	7.5

TOTAL REQUIRED PARKING STALLS: 7.9
 8% SMALL CARS ALLOWED: 2.7
 2% ACCESSIBLE STALLS REQUIRED: 0.2
 5% OF ACCESSIBLE STALLS SHOULD BE VAN ACCESSIBLE STALLS

VEHICLE PARKING PROVIDED

PARKING TYPE	No. of SPACES
ACCESSIBLE PARKING	2
SMALL CARS	10
STANDARD PARKING	21
TOTAL PARKING SPACES PROVIDED	33

STALL DIMENSIONS:

STANDARD STALL DIMENSIONS:	2.80 m (9'-4" 1/4") W, 5.50 m (18'-0" 1/2") L, *NOTE: 2.9 m WIDE STALL FOR 6.1m DRIVE ABLE
ACCESSIBLE STALL DIMENSIONS:	4.00 m (13'-1" 1/2") W, 6.00 m (19'-8" 1/2") L, 1.50 m (4'-11") SHARED ABLE
VAN ACCESSIBLE STALL DIMENSIONS:	4.80 m (15'-7" 1/4") W, 5.50 m (18'-0" 1/2") L, 1.50 m (4'-11") SHARED ABLE
SMALL CAR STALL DIMENSIONS:	2.80 m (9'-4" 1/4") W, 4.30 m (14'-1" 1/4") L

DRIVE ABLE WIDTH: 7.00 m (22'-11" 1/2") @ 90° (TWO WAY)

LOADING CALCULATION:
 TOTAL LOADING SPACES REQUIRED: 1/PER LOADING DOOR=10
 LOADING SPACES PROVIDED

LOADING DIMENSIONS:
 MANEUVERING ABLE WIDTH: 4.00 m (13'-1" 1/2") W, 8.20 m (26'-11" 1/4") L
 7.50 m (24'-7" 1/4")

8. BICYCLE PARKING OCCUPANCY #:

BICYCLE PARKING REQUIRED:	OFFICE	NOT APPLICABLE
OCCUPANCY #:	WAREHOUSE	
BICYCLE PARKING PROVIDED:		NOT APPLICABLE

PROJECT No. 212116-CT

PROJECT TEAM

ARCHITECT OF RECORD

CTA ARCHITECTURE DESIGN LTD.
 #113 - 280 VIRTUAL WAY
 VANCOUVER, BC, V6M 0C4
 PHONE: 604-736-2554
 EMAIL: info@ctadesign.net
 TECH LEAD: IAN SCANLAN

CIVIL

KM CIVIL LTD.
 400 - 3427 GLADYS AVENUE
 CITY, PROV. POSTAL CODE
 PHONE: 604-833-8511
 EMAIL: STUARTM@KRAHN.COM
 PRINCIPAL IN CHARGE: STUART MCGREGOR
 PROJECT MANAGER: PROJECT MANAGER
 TECH LEAD: TECH LEAD

LANDSCAPE

PROSPECT & REFUGE
 102 - 1861 WEST 2ND AVENUE,
 VANCOUVER, BC, V6J 1H3
 PHONE: 604-691-1900
 EMAIL: i.vielha@prospectrefuge.ca
 PROJECT MANAGER: KRISTINA ZALITE



2 CONTEXT PLAN

SCALE: 1:300



EMAIL: info@ctadesign.net
 TEL: 604.736.2554
 www.ctadesign.net
 #113 - 280 VIRTUAL WAY
 VANCOUVER, BC, V6M 0C4

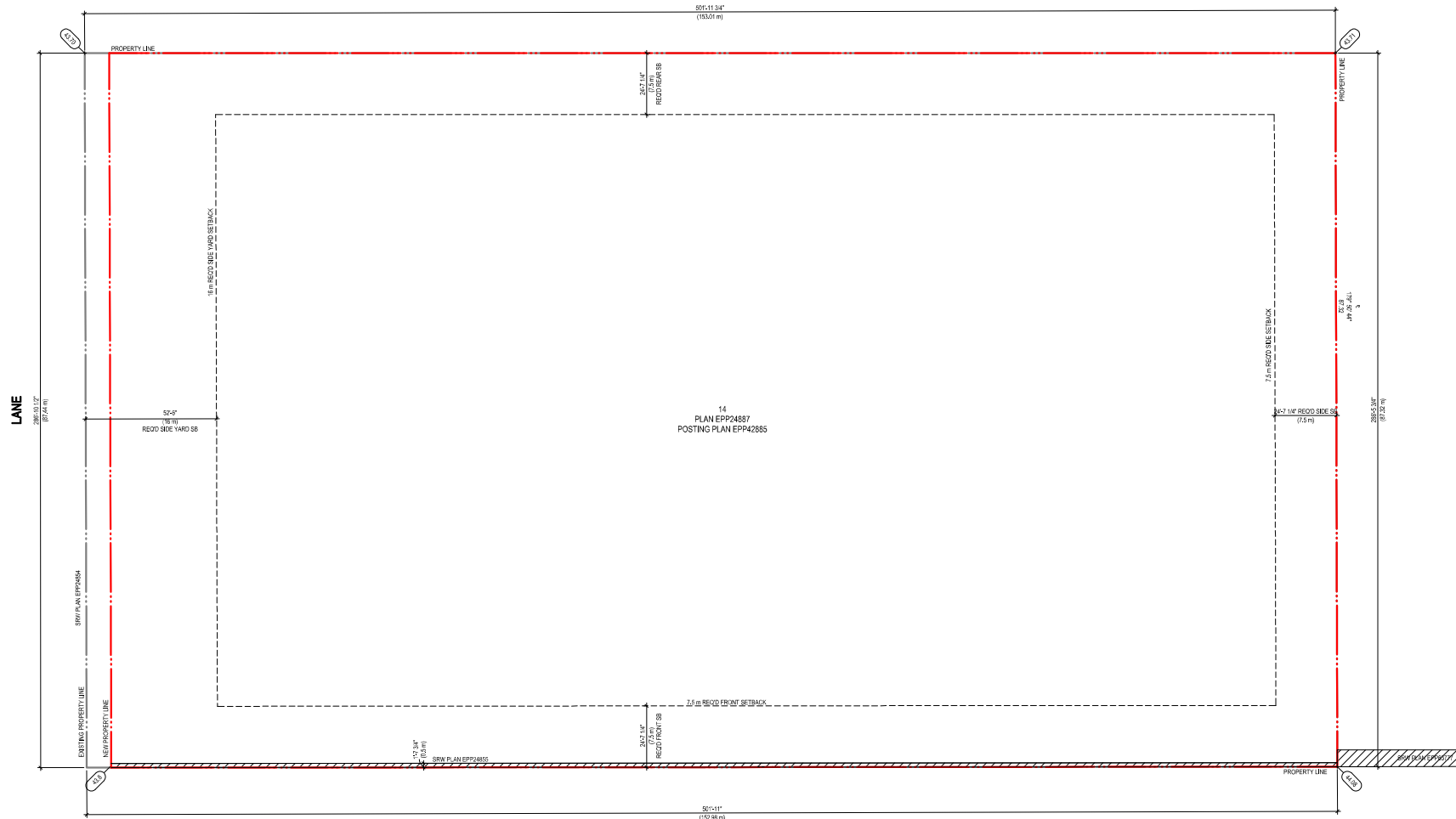


COLDBOX STORAGE WAREHOUSE
 18745 24TH AVENUE
 SURREY, BC V3S 9V2

4 22.06.20 UPDATES FOR DP COMMENTS
 3 22.06.20 REISSUED FOR DP
 2 22.04.20 REISSUED FOR DP

[212116-CT] A01

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24TH AVENUE

1 BASE SITE PLAN
SCALE: 1" = 20'-0"



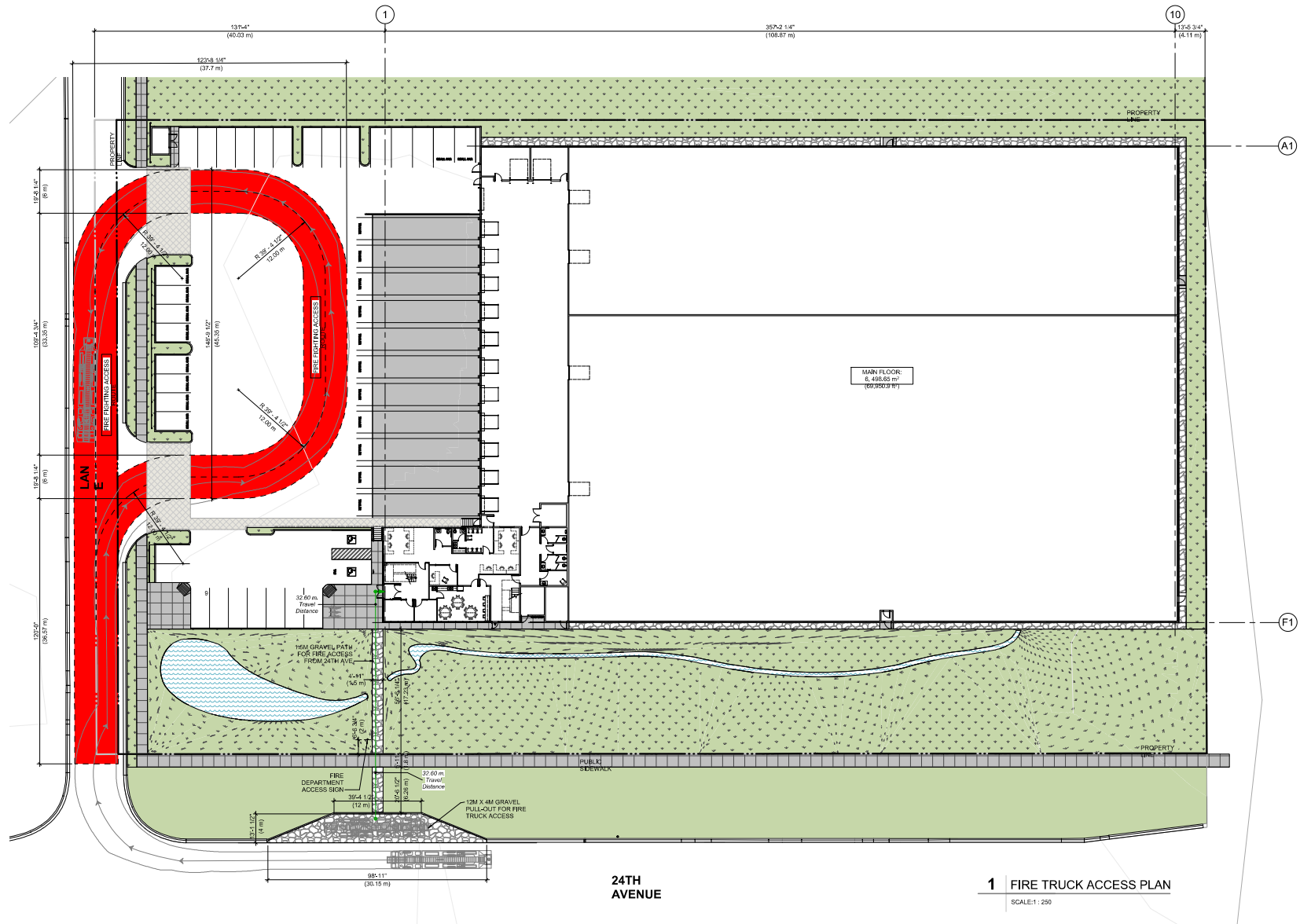
EMAIL: mail@coldbox.ca
TEL: 604.736.2554
www.coldbox.ca
#113-2000 WETLAND WAY,
VANCOUVER, BC, V6M 0C4



COLDBOX STORAGE WAREHOUSE
18745 24TH AVENUE
SURREY, BC V3S 9V2

4 22.06.20 UPDATES PER DP COMMENTS
3 22.08.20 RE-ISSUED FOR DP
2 22.04.20 RE-ISSUED FOR DP
[212116-CT] A10

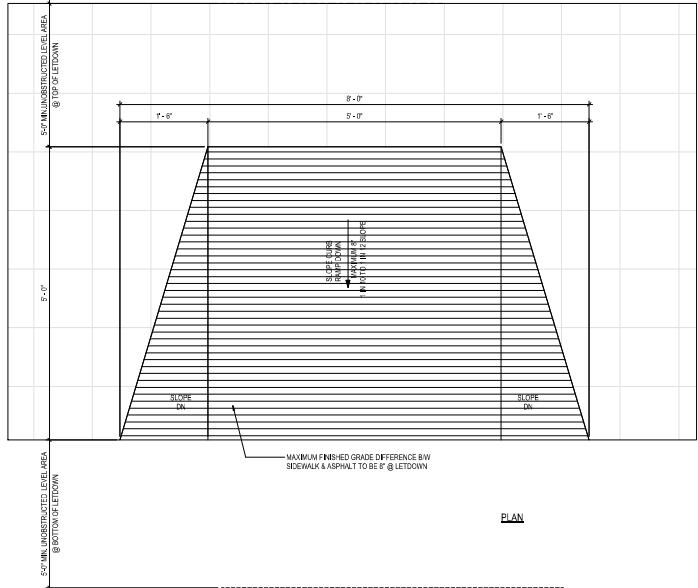
PROJECT NORTH
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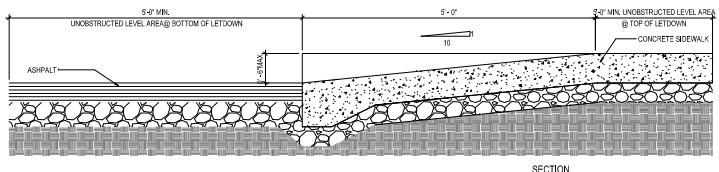
24TH AVENUE

1 FIRE TRUCK ACCESS PLAN
SCALE: 1:250



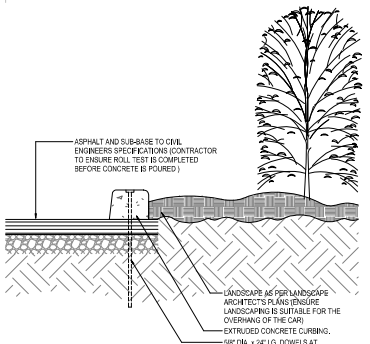


PLAN

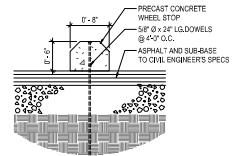


SECTION

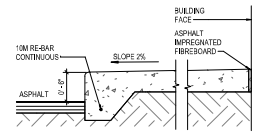
1 HC LETDOWN/BURD RAMP
SCALE: 1" = 1'-0"



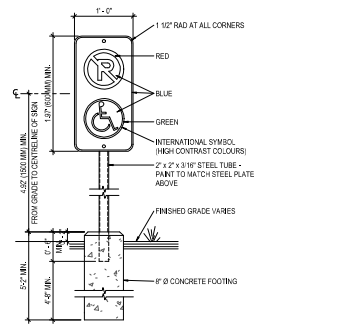
6 CONC. CURB
SCALE: 1" = 1'-0"



7 CONCRETE WHEEL STOP FOR VEHICLE
SCALE: 1" = 1'-0"

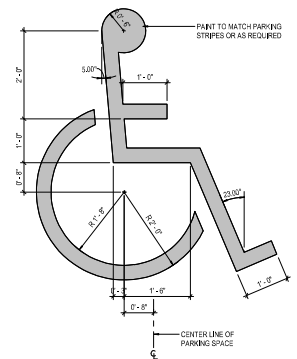


8 SIDEWALK EDGE DETAIL
SCALE: 1" = 1'-0"

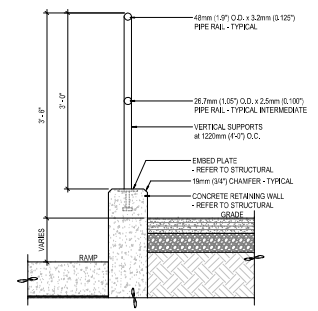


- NOTE**
1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
 2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 6" FROM THE FRONT OF EACH PARKING SPACE WITH A MINIMUM 30" CLEAR.
 3. MOUNT SIGN ON COLUMN OR WALL AT SIM. CONDITION
 4. WHERE SIGNS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

2 ACCESSIBLE POST MOUNTED SIGN
SCALE: 1" = 1'-0"

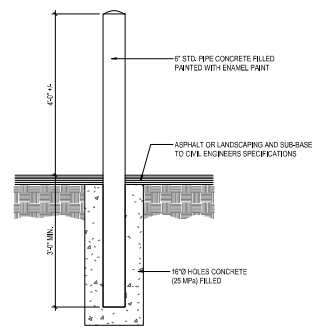


3 ACCESSIBLE PAINTED SYMBOL
SCALE: 3/4" = 1'-0"

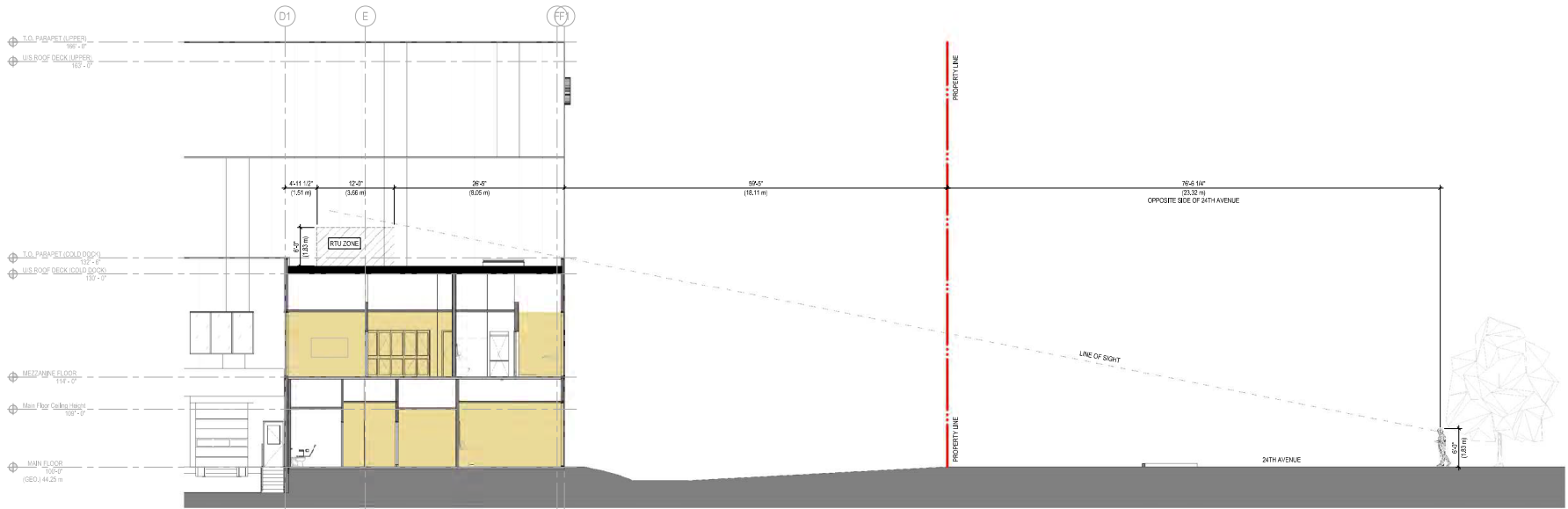


- NOTE**
GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE ELEVATION DIFFERENCE EXCEEDS 60mm (2 1/4")

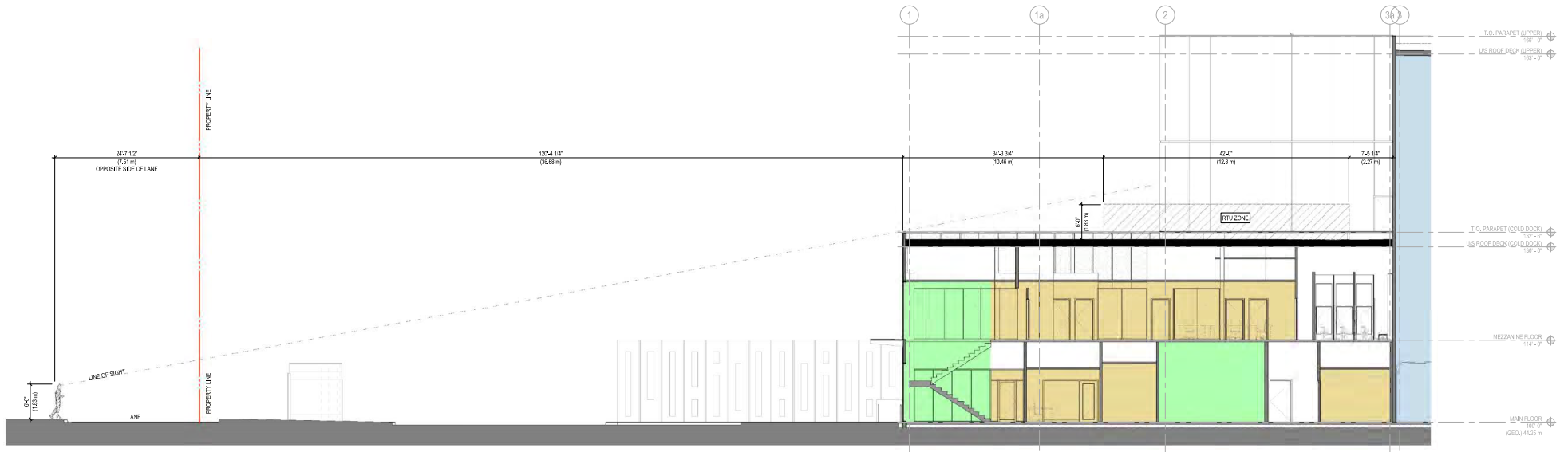
4 RETAINING WALL GUARDRAIL
SCALE: 1" = 1'-0"



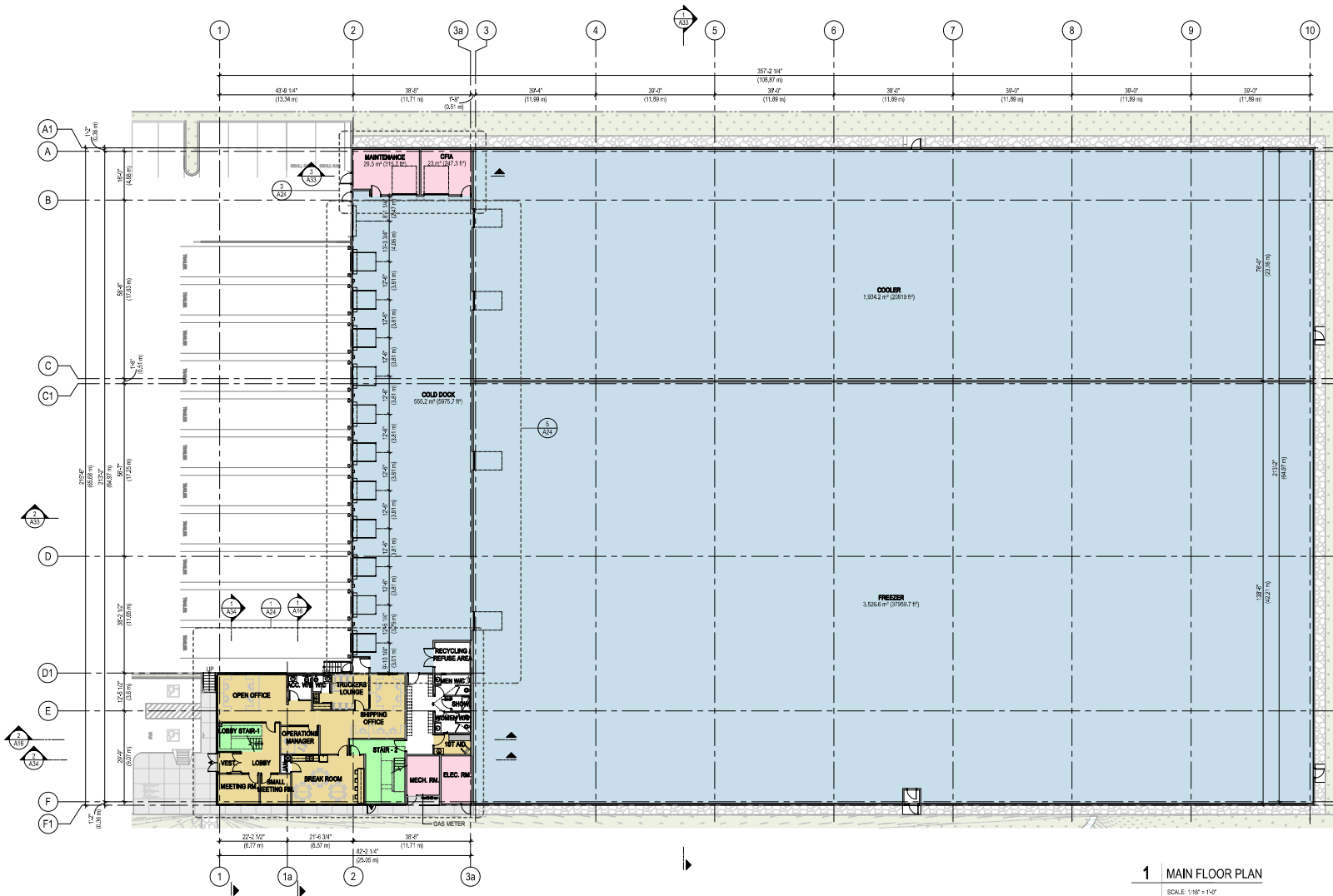
5 EXTERIOR BOLLARD
SCALE: 1 1/2" = 1'-0"



1 SITE SECTION - RTU ZONE - OPPOSITE SIDE OF 24TH AVENUE
SCALE: 1/8" = 1'-0"

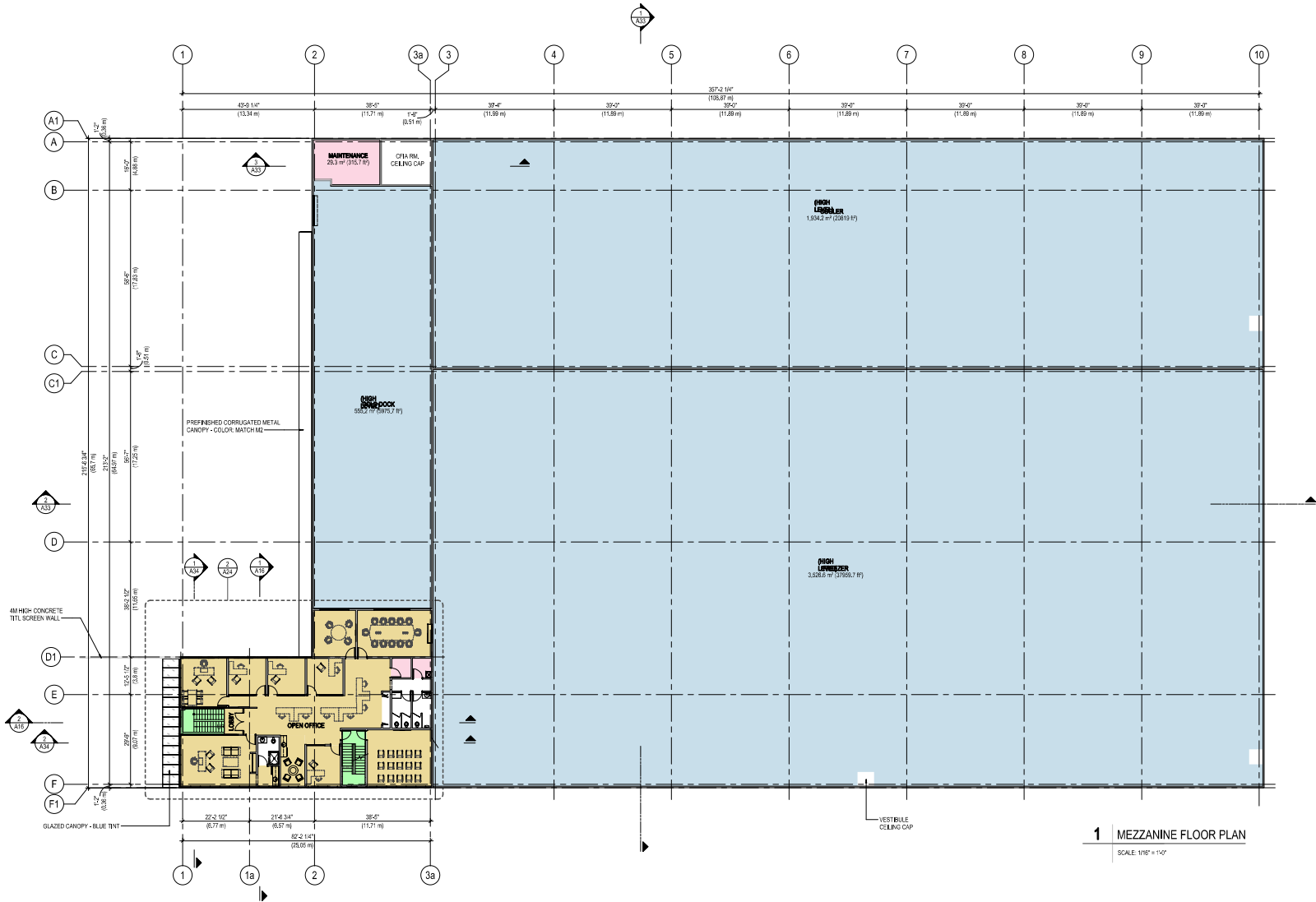


2 SITE SECTION - RTU ZONE - OPPOSITE SIDE OF LANE
SCALE: 1/8" = 1'-0"



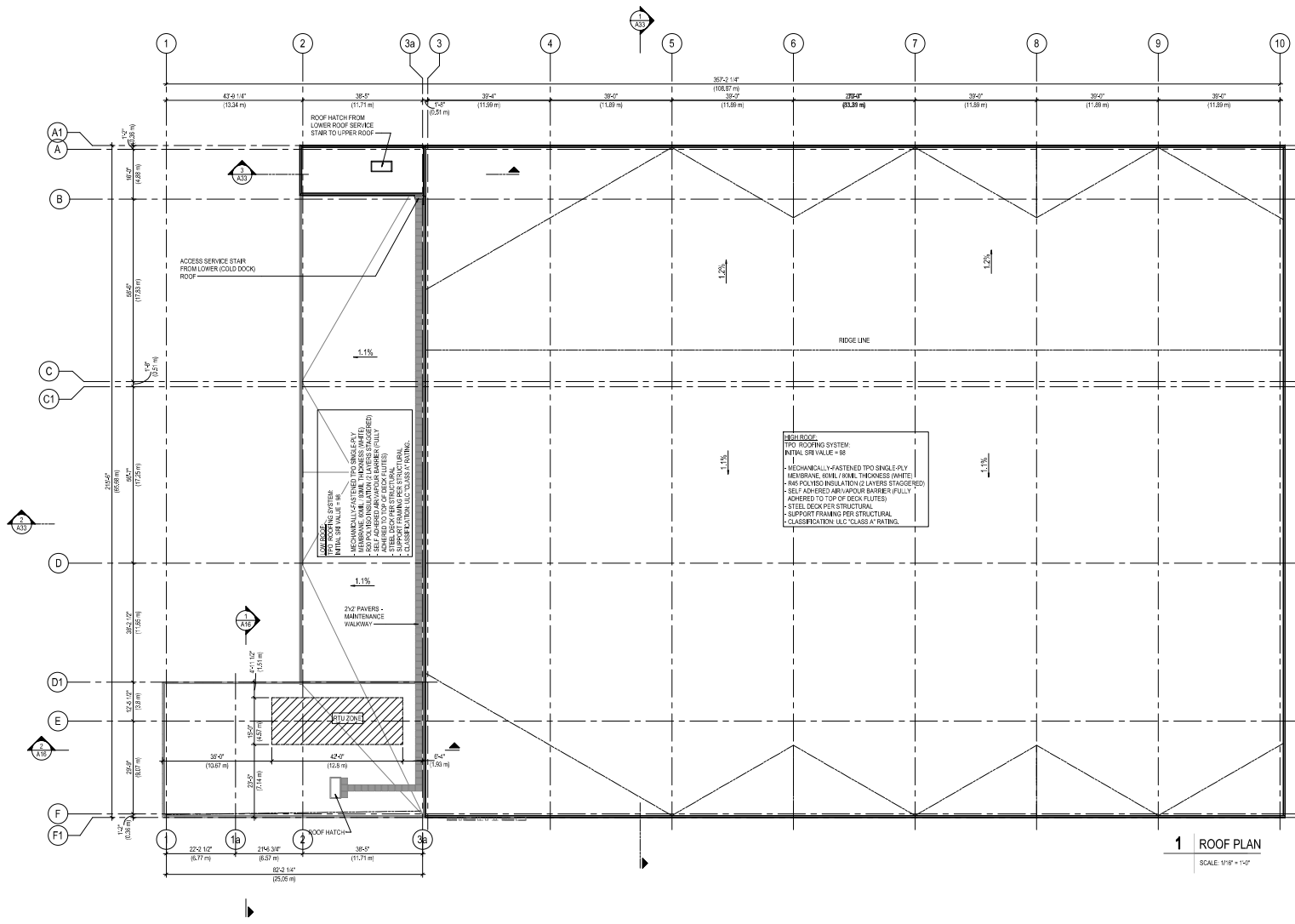
1 MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"





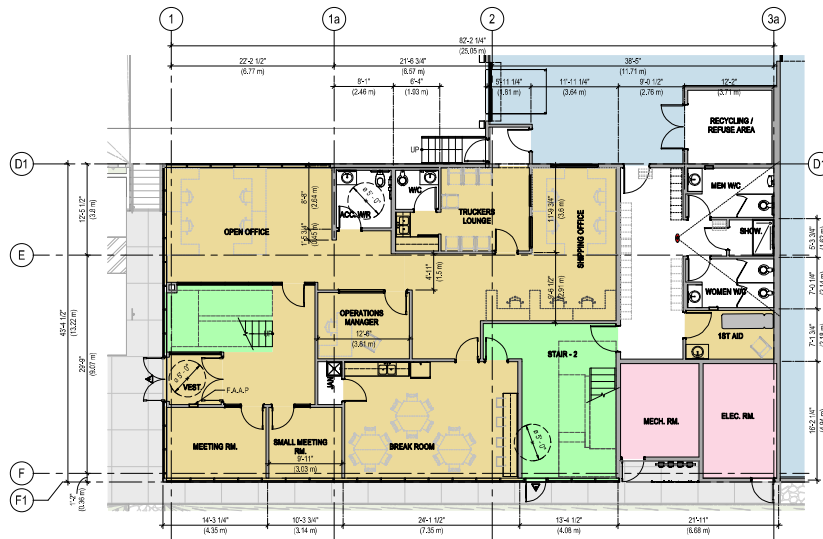
1 MEZZANINE FLOOR PLAN
SCALE: 1/8" = 1'-0"





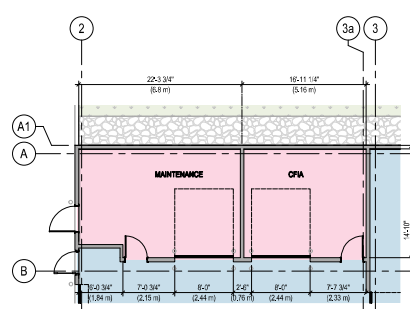
1 ROOF PLAN
SCALE: 1/8" = 1'-0"





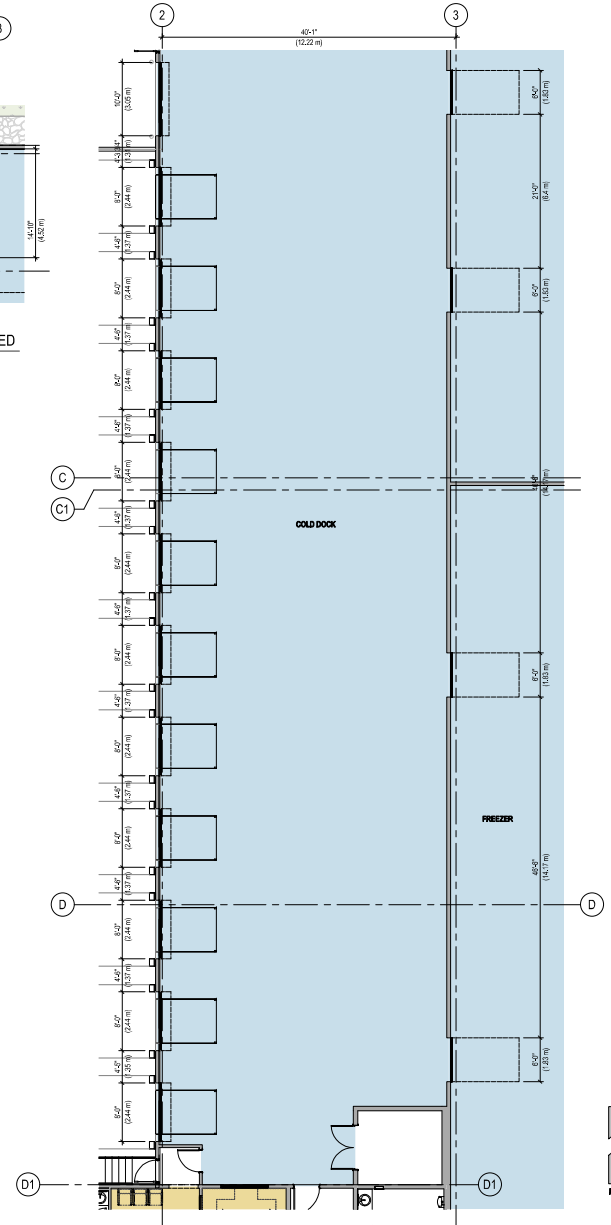
1 MAIN FLOOR OFFICES - ENLARGED

A21 SCALE: 1/8" = 1'-0"



3 MAINTENANCE-CFIA - ENLARGED

SCALE: 1/8" = 1'-0"

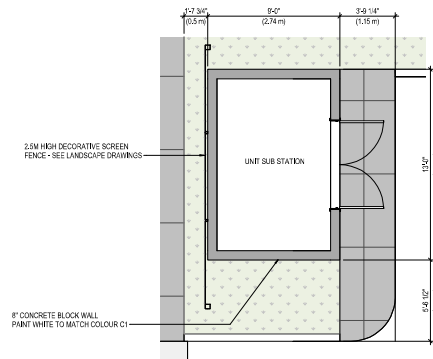


5 COLD DOCK AREA - ENLARGED

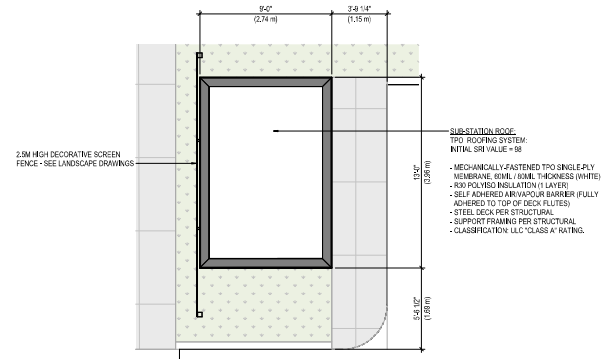
SCALE: 1/8" = 1'-0"



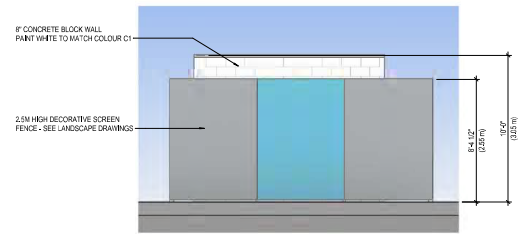
A22 SCALE: 1/8" = 1'-0"



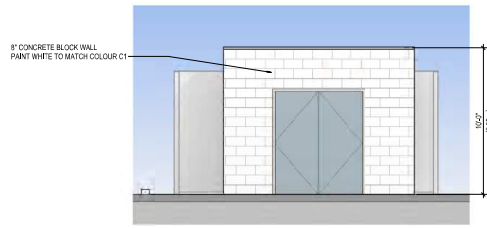
1 UNIT SUB-STATION - FLOOR PLAN
SCALE: 1/4" = 1'-0"



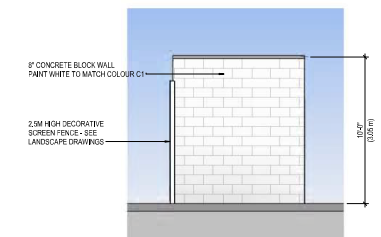
2 UNIT SUB-STATION - ROOF PLAN
SCALE: 1/4" = 1'-0"



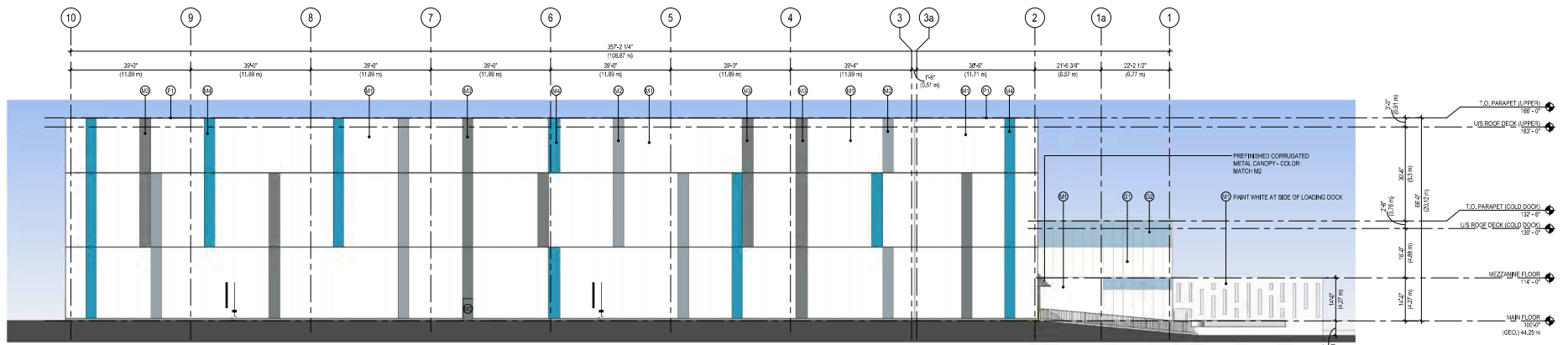
3 SUB STATION ELEVATION - WEST (LANE)
SCALE: 1/4" = 1'-0"



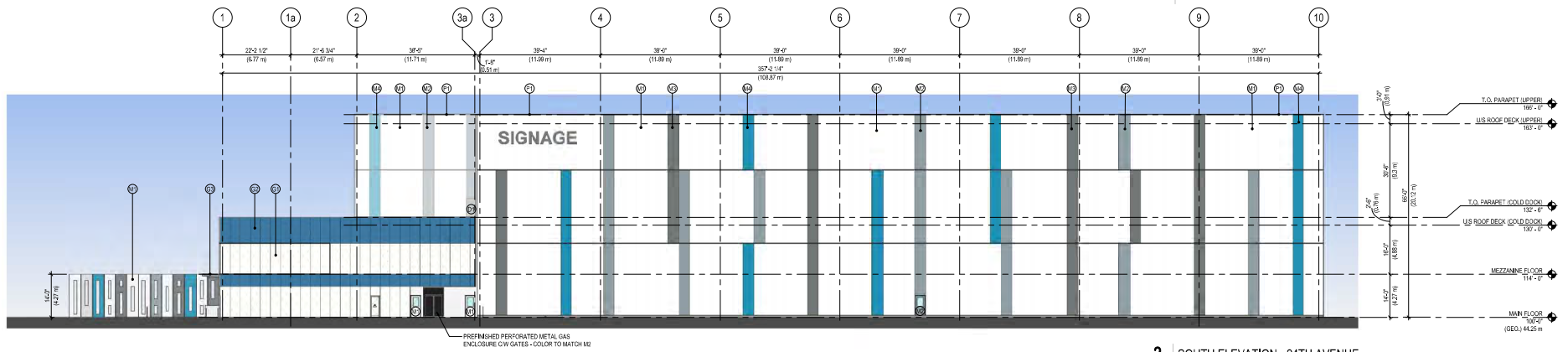
4 SUB STATION ELEVATION - EAST
SCALE: 1/4" = 1'-0"



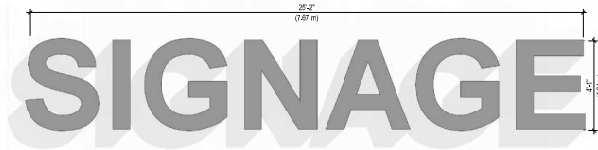
5 SUB STATION ELEVATION - NORTH / SOUTH
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

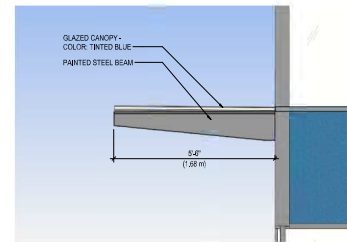


2 SOUTH ELEVATION - 24TH AVENUE
SCALE: 1/16" = 1'-0"



NOTE:
 • SIGNAGE FOR REFERENCE ONLY, SEPARATE PERMIT APPLICATION
 • SIGNAGE CONTRACTOR TO SUBMIT SIGNAGE SHOP DRAWINGS PRIOR TO INSTALLATION.
 • SIGNAGE TO CONFORM TO CORPORATE BRANDING

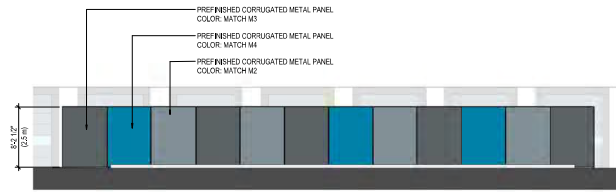
4 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



5 GLAZED CANOPY DETAIL
SCALE: 1/2" = 1'-0"

MATERIAL LEGEND

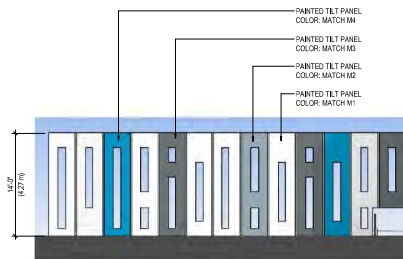
TYPE	DESCRIPTION	
D1	STEEL DOOR - PAINTED - DOOR FRAME COLOR TO MATCH M2	[White Box] BWP M1 - WHITE
D2	OVERHEAD DOOR - COLOR TO MATCH M2	[Grey Box] BWP M2 - ADVENTURA GREY
G1	CURTAIN WALL GLAZING - COLOR: BLUE TINT	[Blue Tint Box] BWP M3 - BASALT GREY
G2	SPANDREL GLAZING - COLOR: 'YOD' BLUEBERRY	[Blue Tint Box] BWP M4 - CORNFLOWER BLUE
G3	GLAZED CANOPY - COLOR: BLUE TINT	[Blue Tint Box] GLAZING - BLUE TINT
M1	MEZZANINE	[Blue Tint Box] SPANDREL - BLUEBERRY BLUE
M2	MEZZANINE	
M3	MEZZANINE	
M4	BWP - COLOR: CORNFLOWER BLUE	
P1	PRE-FINISHED METAL CAP FLASHING - COLOR: WHITE	



NOTE:
PREFINISHED CORRUGATED METAL DECORATIVE SCREEN WALL
ON PAINTED STEEL POSTS AND BEAMS. SEE LANDSCAPE DRAWINGS

4 DECORATIVE SCREEN WALL DETAIL

SCALE: 1/8" = 1'-0"

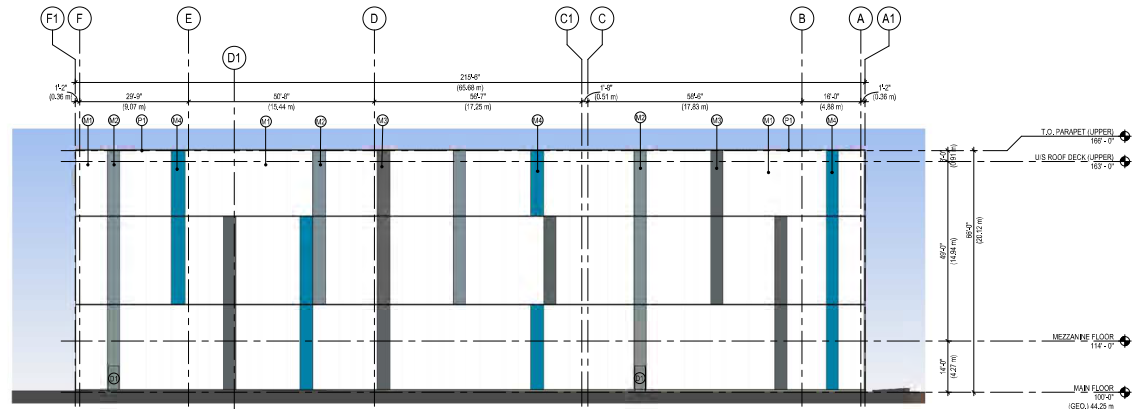


5 DECORATIVE CONCRETE TILT SCREEN WALL

SCALE: 1/8" = 1'-0"

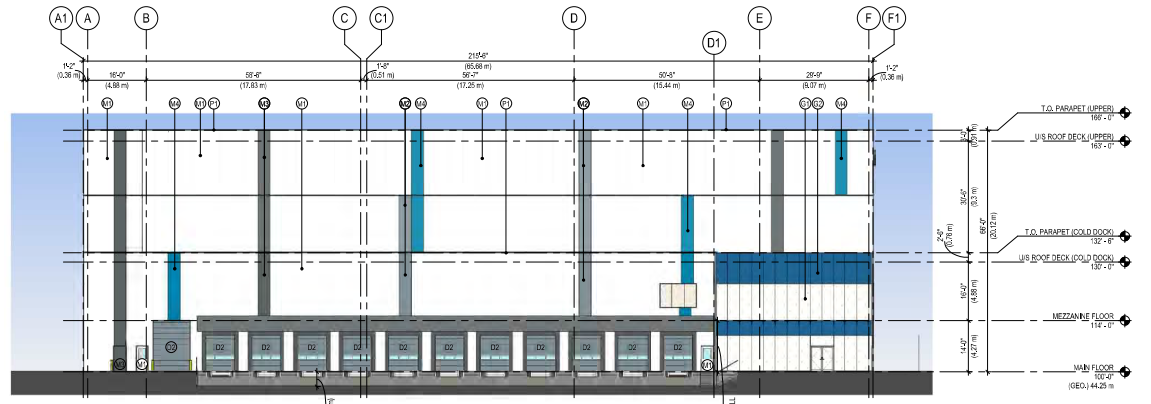
MATERIAL LEGEND

TYPE	DESCRIPTION	
D1	STEEL DOOR - PAINTED - DOOR / FRAME COLOR TO MATCH M2	IMP M1 - WHITE
D2	OVERHEAD DOOR - COLOR TO MATCH M2	IMP M2 - ADVENTURA GREY
G1	CURTAIN WALL GLAZING - COLOR: BLUE TINT	IMP M3 - BASALT GREY
G2	SPANDREL GLAZING - COLOR: "KID" BLUEBERRY	IMP M4 - CORNFLOWER BLUE
G3	GLAZED CANOPY - COLOR: BLUE TINT	GLAZING - BLUE TINT
M1	metal	SPANDREL - BLUEBERRY BLUE
M2	metal	
M3	metal	
M4	IMP - COLOR: CORNFLOWER BLUE	
P1	PREFINISHED METAL GAP FLASHING - COLOR: WHITE	



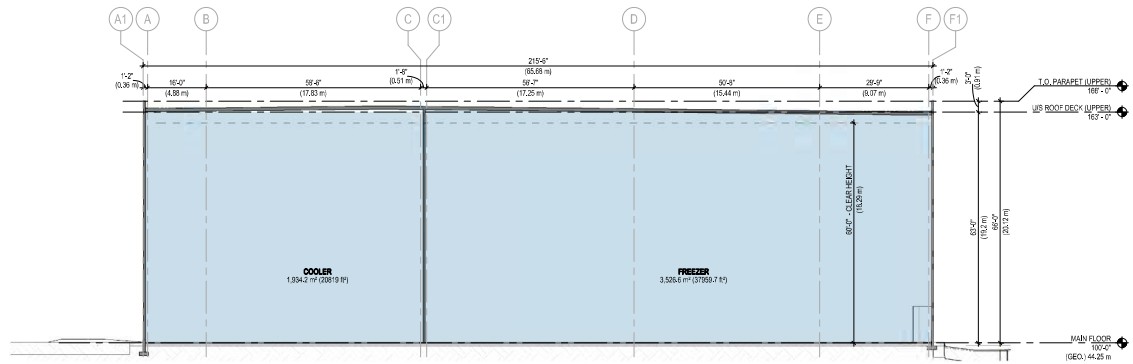
1 EAST ELEVATION

SCALE: 1/16" = 1'-0"

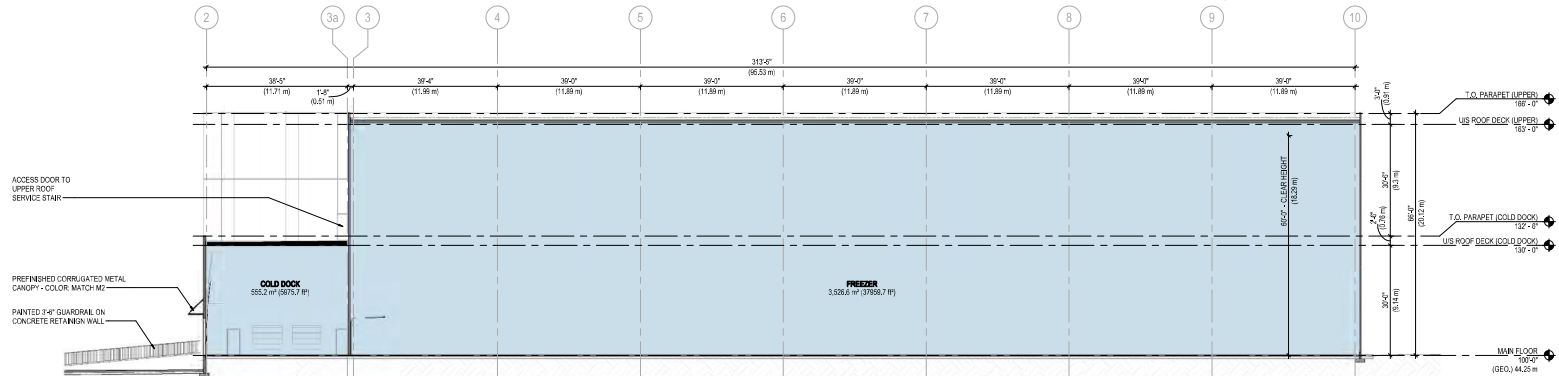


2 WEST ELEVATION - LANE

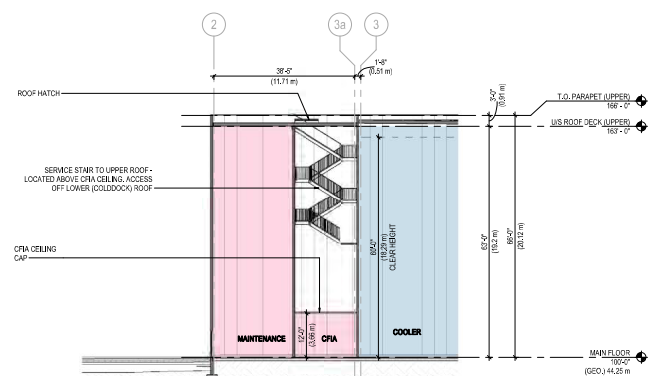
SCALE: 1/16" = 1'-0"



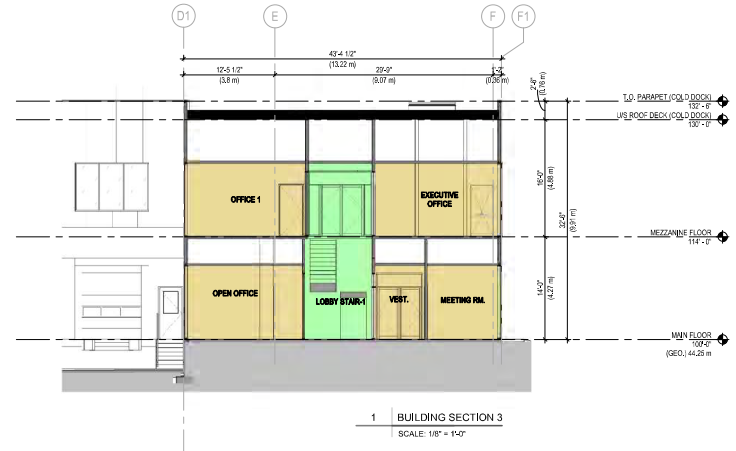
1 BUILDING SECTION 1
SCALE: 1/16" = 1'-0"



2 BUILDING SECTION 2
SCALE: 1/16" = 1'-0"



3 PARTIAL SECTION
SCALE: 1/16" = 1'-0"



GENERAL LANDSCAPE NOTES:

1. All materials and execution of landscape works shall conform to the CLS/BCNTR Landscape standard.
2. Do not construct from these drawings unless marked 'Issued for construction'.
3. All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards (Ontario/Canada), Landscape Standards and related all Municipal Bylaws.
4. The latest edition of the standards and codes referenced in these notes and on the landscape drawings shall apply.
5. The existing conditions were compiled from base plans of the site prepared by others. Although every effort has been made to accurately locate all conditions, actual conditions may vary from those shown. The contractor shall make a full review of all existing conditions of the site and shall report discrepancies to the landscape architect before starting work. The contractor shall assume responsibility for actual conditions as they exist on site.
6. The landscape contractor shall be responsible for visiting the site to determine the extent of demolition, preparation, and removal necessary (whether shown on the drawing or not) to construct the proposed site improvements. The landscape contractor shall report, in writing, any discrepancies between the existing and proposed work to the landscape architect prior to proceeding with construction. Failure to report, or report these discrepancies prior to construction shall not relieve the landscape contractor from their responsibility to perform the necessary operation for the successful operation of the proposed improvements without any changes to fee.
7. The landscape contractor shall verify dimensions shown on the drawings and notify the landscape architect of any discrepancies prior to the start of the final layout prior to construction.
8. Contractor to repair any damage resulting from work on site.
9. The landscape contractor shall refer any questions on materials, finishes, labour and/or products specified herein to the landscape architect.
10. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn drains at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3% slopes. Slope grass areas (without additional erosion protection) along invert minimum 1% and maximum 10% and along side slopes minimum 6:1 slope and maximum 3:1 slope.
11. Protection of existing trees/shrubs to remain: Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
12. All landscaping to have high efficiency irrigation system to IABC standards.



BICYCLE RACK



TRASH RECEPTACLE



WHEELCHAIR ACCESSIBLE PICNIC TABLE



GRAVEL STRIP

LEGEND		DETAIL
HARDSCAPE MATERIALS:		
	PIP Concrete	
	Decorative Round River Rock	
SOFTSCAPE MATERIALS:		
	Planting Shrub Bed	
	Non-netted Sand-based Sod	

DRAWING LEGEND	
L1	MATERIALS & LAYOUT PLAN
L2A	PLANTING PLAN
L2B	GIN REVEGETATION PLAN
L3	DETAILS
L4	DETAILS

P	2022-06-30	Issue for DP Prior To Revisions
O	2022-06-20	Issue for DP Prior To Revisions
N	2022-06-05	GIN Coordination
M	2022-05-26	GIN Coordination
L	2022-05-20	Consultant Coordination
K	2022-05-10	30% DD
J	2022-05-05	Revised for City Comments
I	2022-04-29	For prelim. Planning review (L2A)
H	2022-04-29	Revisions for DP
G	2022-04-09	For coordination
F	2022-02-14	Revisions for DP
E	2022-01-24	For coordination
D	2021-10-14	Issue for DP
C	2021-10-12	For coordination
B	2021-10-06	For coordination
A	2021-09-24	For client review

Date	Issue Notes



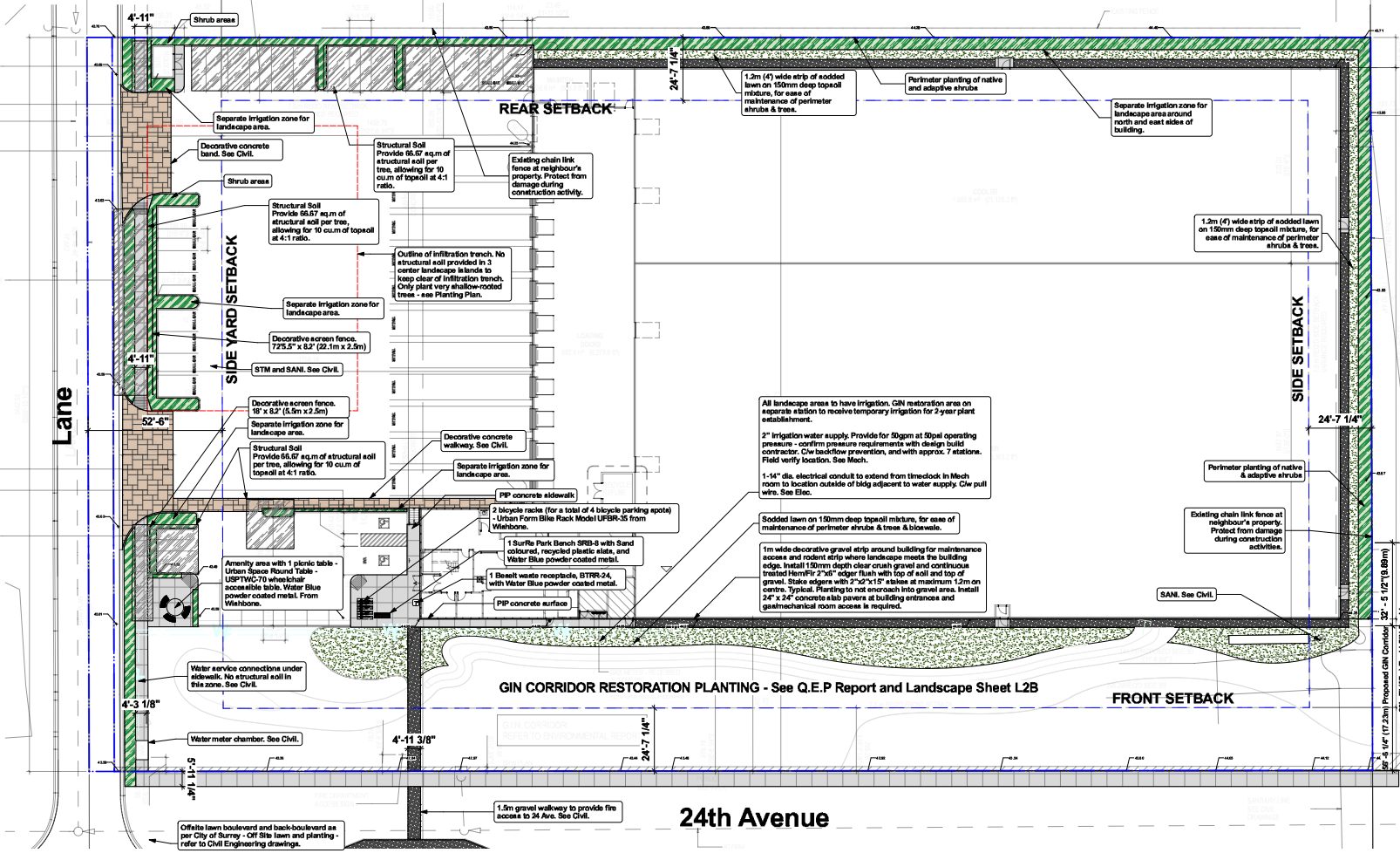
Prospect & Refuge
 LANDSCAPE ARCHITECTS
 18745 24th Avenue, Surrey BC
 604-669-9033 | info@prospectandrefuge.ca

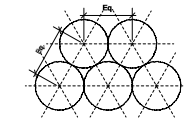
Project Title and Address:
COLD BOX STORAGE WAREHOUSE
 18745 24th Avenue, Surrey BC

Sheet Title:
Landscape Materials and Layout Plan

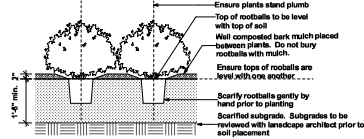
Project Manager: KZ | Project No.: 2021-35
 Designer: KZ | Scale: 1" = 20'
 Reviser: AS | Sheet No.:
 Date: 2020-03-23

L1



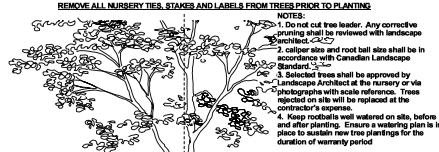


Plan view of typical planting layout. Unless otherwise noted, plants are to be spaced equally in triangular layout pattern, to specified on-centre distance. Refer to planting plan and schedule.



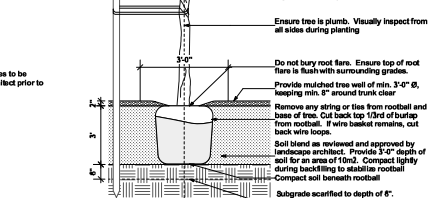
1. Min. container size and root spread to comply with BC Landscape Standard for Nursery Stock - current edition.
2. Prune all damaged, diseased, and dead limbs.
3. Keep roots moist during installation - water container stock well prior to planting and following planting.

1 Shrub and Perennial Planting
Scale: 1/2" = 1'-0"



REMOVE ALL NURSERY TIES, STAKES AND LABELS FROM TREES PRIOR TO PLANTING

NOTES:
1. Do not cut tree leader. Any corrective pruning shall be reviewed with landscape architect.
2. Caliper size and root ball size shall be in accordance with Canadian Landscape Standard.
3. Selected trees shall be approved by Landscape Architect at the nursery or via photographs with scale reference. Trees rejected on site will be replaced at the contractor's expense.
4. Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for the duration of warranty period.



Tree shall only be staked (both sides) if stability issues are present. Review in field with Landscape Architect or submit rationale in writing to L.A. for approval. Tree stakes shall be removed at the end of contractor's 1 year warranty period.

Ensure tree is plumb. Visually inspect from all sides during planting.

Do not bury root flare. Ensure top of root flare is flush with surrounding grades.

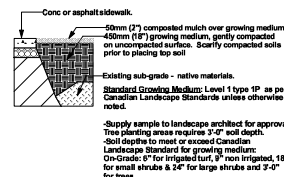
Provide mulched tree well of min. 3'-0" Ø, keeping min. 1" around trunk base.

Remove any string or ties from rootball and base of tree. Cut back top 1/3rd of burial from rootball. If wire basket remains, cut back wire loops.

Soil blend as reviewed and approved by landscape architect. Provide 3'-0" depth of soil for an area of 10m². Compact lightly during backfilling to stabilize rootball. Compact soil beneath rootball.

Subgrade scarified to depth of 6". Subgrade to be reviewed with landscape architect prior to soil placement.

2 Tree Planting
Scale: 1/2" = 1'-0"



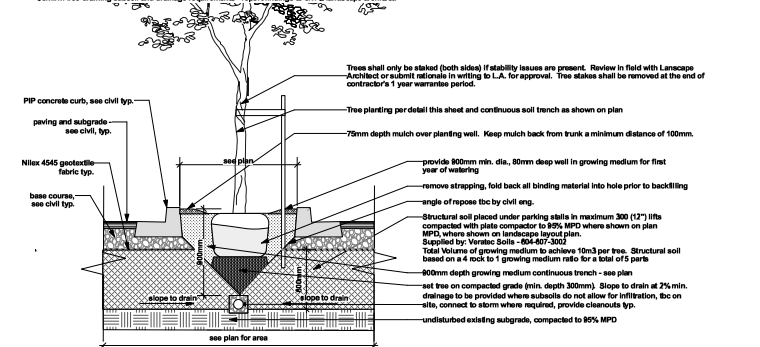
40mm (2") composted mulch over growing medium
40mm (1 1/2") growing medium, gently compacted on uncompacted surface. Scarify compacted soils prior to placing top soil.

Existing sub-grade - native materials.
Standard Growing Medium: Level 1 type 1P as per Canadian Landscape Standards unless otherwise noted.

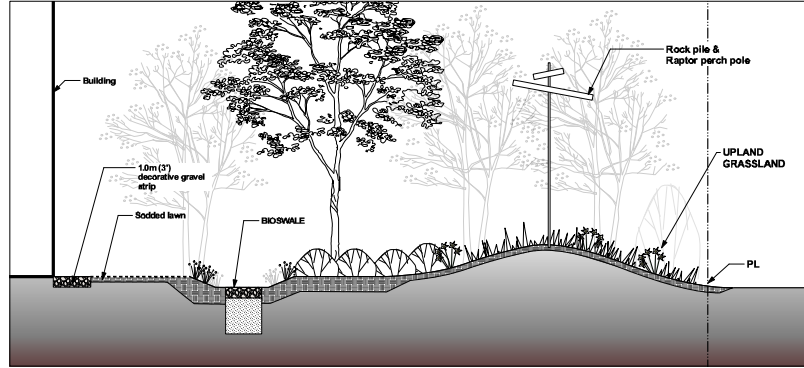
Supply sample to landscape architect for approval. Tree planting areas require 3'-0" soil depth. Soil depths to meet or exceed Canadian Landscape Standard for growing medium:
On-Grade 5" for irrigated turf, 8" non-irrigated, 16" for small shrubs & 24" for large shrubs and 3'-0" for trees.

3 Soil Installation
Scale: 1/2" = 1'-0"

NOTES:
This tree planting detail is for a linear planting channel of structural soil parallel to street tree for use under hard surface in parking lot.
Provides growing medium, aggregate, soil stabilizer cut sheets for review prior to delivery to site for review by landscape architect and civil engineer.
Excavate trenches in accordance with MMCD Section 31.23.01 Excavating, Trenching and Backfilling allowing for width and depth of design. Subgrades to be approved by landscape architect/civil eng. prior to backfilling.
Install as soon as practical after mixing or upon delivery. Any soils stored overnight, whether on site or at source shall be covered with tarpaulin of material approved by contract administrator until installation.
Structural soil shall be moist but not saturated with water when placed. Do not handle or place structural soil mix in rain or freezing conditions. Protect structural soil from weather and accessibility until base layers are installed over top.
Confirm tree location against all required offsets.
Confirm free-draining subsoil and drainage requirements - report findings to civil & landscape architect.



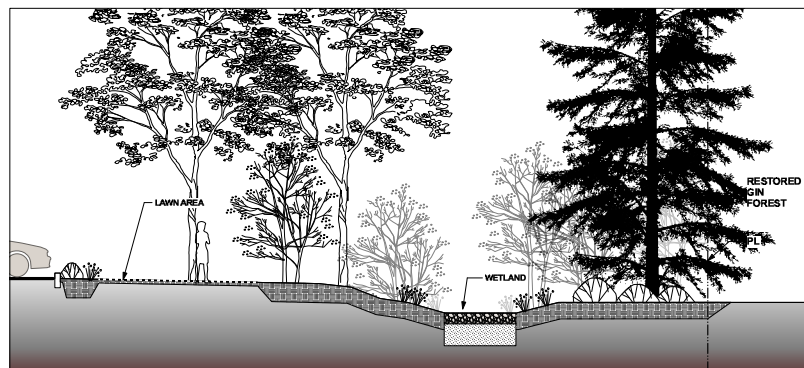
5 Structural Soil Installation
Scale: 1/2" = 1'-0"



1 GIN Planting
Scale: 3/16" = 1'-0"



2 GIN Planting
Scale: 3/16" = 1'-0"



3 GIN Planting
Scale: 3/16" = 1'-0"

DRAWING LEGEND		
L1	MATERIALS & LAYOUT PLAN	
L2A	PLANTING PLAN	
L2B	GIN REVEGETATION PLAN	
L3	DETAILS	
L4	DETAILS	

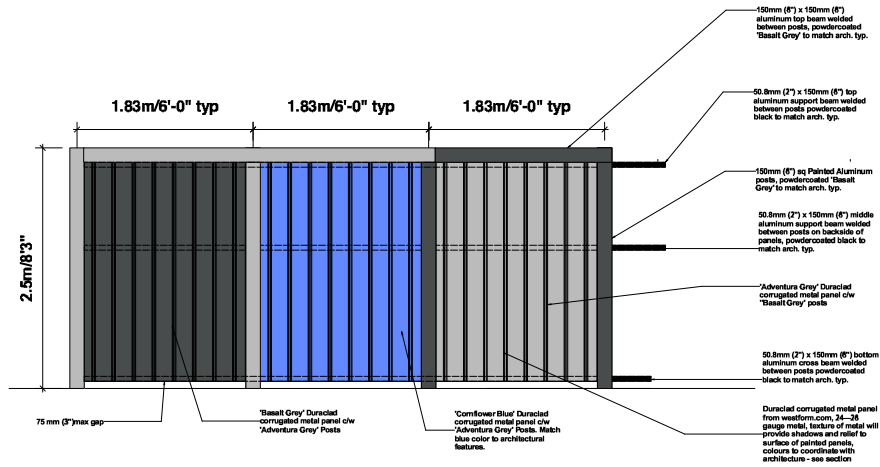
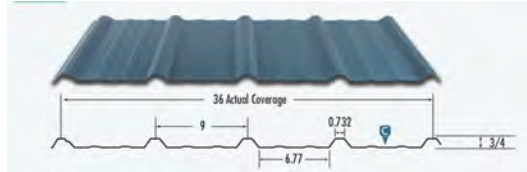
Date	Issue	Notes
P 2022-06-30	Issue for DP Prior to Revisions	
O 2022-06-21	Issue for DP Prior to Revisions	
N 2022-06-05	GIN coordination	
M 2022-05-26	GIN Coordination	
K 2022-05-10	Consultant Coordination	30% DD
J 2022-05-05	Revised for City Comments	
I 2022-04-28	For prelim. Planning review (L2A)	
H 2022-04-28	Release for DP	
G 2022-04-04	For coordination	
F 2022-02-14	Release for DP	
E 2022-01-24	For coordination	
D 2021-10-14	Issue for DP	
C 2021-10-12	For coordination	
B 2021-10-06	For coordination	
A 2021-09-24	For client review	

Prospect & Refuge
LANDSCAPE ARCHITECTS
18745 24th Avenue, Surrey BC
604-699-0013 info@prospectrefuge.ca

Project No. 2021-35	
Project Storage: KZ	Scale:
Drawn By: KZ	Sheet No. L3
Reviewed By: AS	Date: 2020-03-23

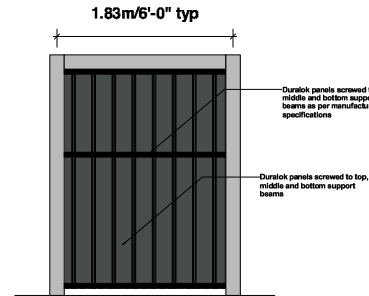


Fence Panel Concept



Front Elevation

1 Decorative Screen Fence
Scale: 1/2" = 1'-0"



Back Elevation

DRAWING LEGEND

L1	MATERIALS & LAYOUT PLAN
L2A	PLANTING PLAN
L2B	GIN REVEGETATION PLAN
L3	DETAILS
L4	DETAILS

P	2022-06-30	Issue for DP Prior To Revisions
O	2022-06-20	Issue for DP Prior To Revisions
N	2022-06-06	GIN coordination
M	2022-05-26	GIN Coordination
L	2022-05-20	Consultant Coordination
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B	2021-10-06	For coordination
A	2021-09-24	For client review

Date	Issue Notes

Prospect & Refuge

LANDSCAPE ARCHITECTS
1875 24th Avenue, Surrey BC V4A 2E2
604-669-9033 info@prospectrefuge.ca

Project Title and Address
COLDBOX STORAGE WAREHOUSE
18745 24th Avenue, Surrey BC

Sheet Title Landscape Details	
Project Manager KZ	Project No. 2021-35
Designer KZ	Scale
Reviewed By AS	Sheet No.
Date 2020-03-23	L4

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 18, 2022** PROJECT FILE: **7821-0354-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18745 24 Ave**

DEVELOPMENT PERMIT

Engineering has no servicing requirements on the proposed Development Permit for a cold storage warehouse other than those listed below.

DEVELOPMENT VARIANCE PERMIT

The following issues are to be addressed as a condition of issuance of the Development Variance Permit for parking:

- Construct 1.8 m sidewalk, at the applicant's cost, along 24 Avenue to existing bus stop as a condition for parking DVP support.
- Restrictive Covenant (RC) to limit on-site uses.
- RC to prohibit access onto 24 Avenue.

A Servicing Agreement is required.



Jeff Pang, P.Eng.
Development Services Manager

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0354-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 028-975-774

Lot 14 Section 21 Township 7 New Westminster District Plan EPP24887

18745 - 24 Avenue

(the "Land")

- (a) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F Yards and Setbacks of Comprehensive Development (CD) Bylaw No. 17536, the minimum north rear yard setback is reduced from 7.5 meters to 3.6 metres.
 - (b) In Section G Height of Buildings of Comprehensive Development (CD) Bylaw No. 17536, the maximum principal building height is increased from 14 metres to 20.2 metres.

- (c) In Part 5 Off-Street Parking and Loading/Unloading, the parking rate for "Industry – Light Impact" in Table D.1 is reduced from 1.0 parking spaces per 100 square metres to 0.26 parking spaces per 100 square metres.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 8. This development variance permit is not a building permit.

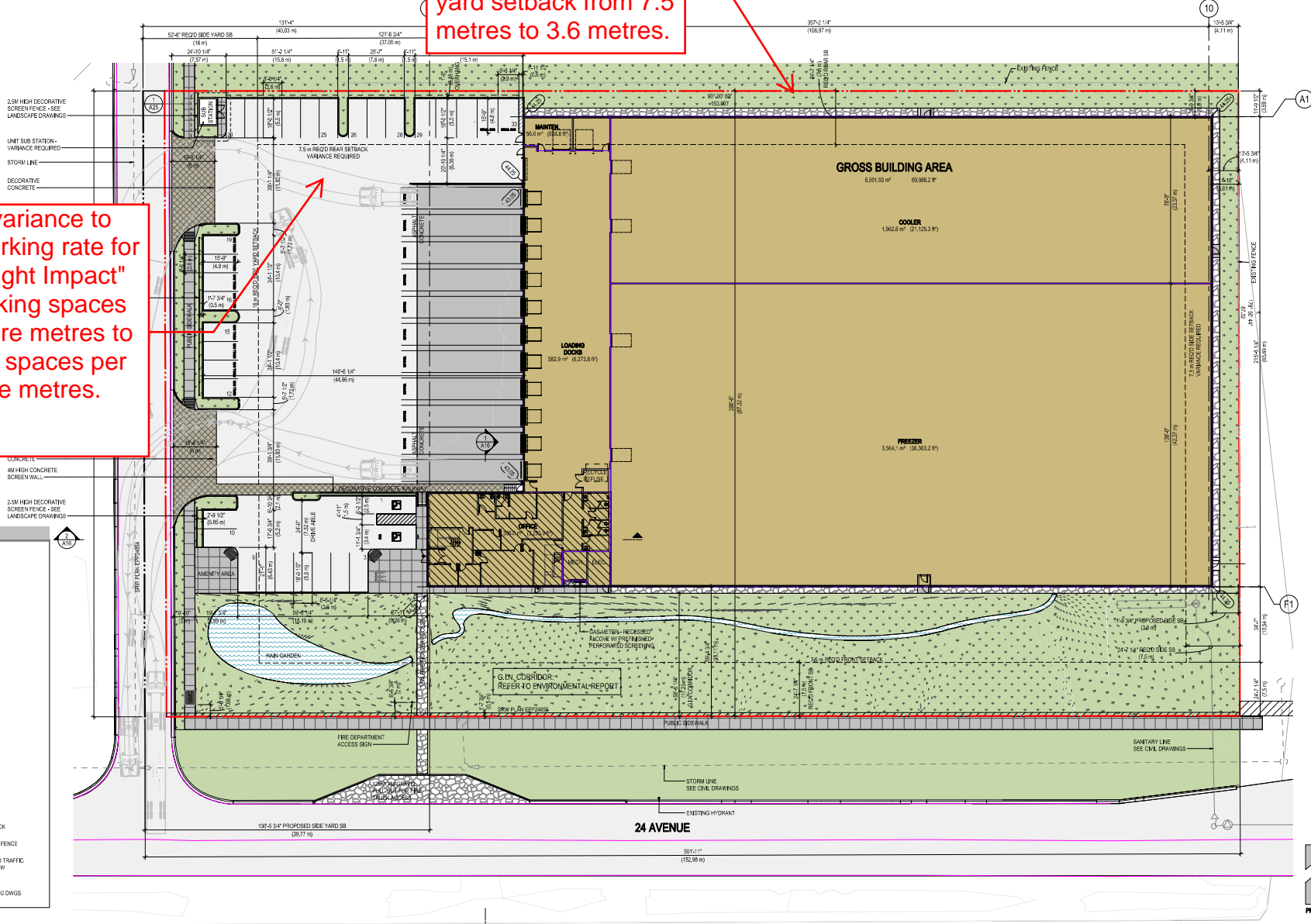
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

Proposed variance to reduce the north rear yard setback from 7.5 metres to 3.6 metres.

Proposed variance to reduce the parking rate for "Industry - Light Impact" from 1.0 parking spaces per 100 square metres to 0.26 parking spaces per 100 square metres.



SITE LEGEND

- PROPOSED BUILDING
- MEZZANINE OVER
- EXISTING BUILDING
- LANDSCAPING
SEE LANDSCAPING DWGS
- BUILDING SIDEWALK
- CONCRETE PAD
- ASPHALT PAVEMENT
SEE CIVIL DWGS
- PERMEABLE ASPHALT PAVEMENT
SEE CIVIL DWGS
- MASONRY PAVEMENT
SEE LANDSCAPING DWGS
- GRAVEL
- PAT CW BOLLARDS
SEE ELEC. DWGS
- FIRE HYDRANT
SEE MECH. DWGS
- PROPERTY LINE
- EASEMENT/RIGHT OF WAY
- BUILDING SETBACK
- CHAIN LINK/FENCE
- VEHICLE PAINTED TRAFFIC
DIRECTION ARROW
- SITE FURNITURE
SEE LANDSCAPING DWGS

1 SITE PLAN
SCALE: 1" = 25'

cta
architecture
+ design ltd.
EMAIL: info@coldbox.ca
TEL: 604.736.2554
www.coldbox.ca
#113-2500 BIRCHALL WAY,
VANCOUVER, BC, V5M 0C4

CLIENT:
coldbox
BRADNER
COLD STORAGE

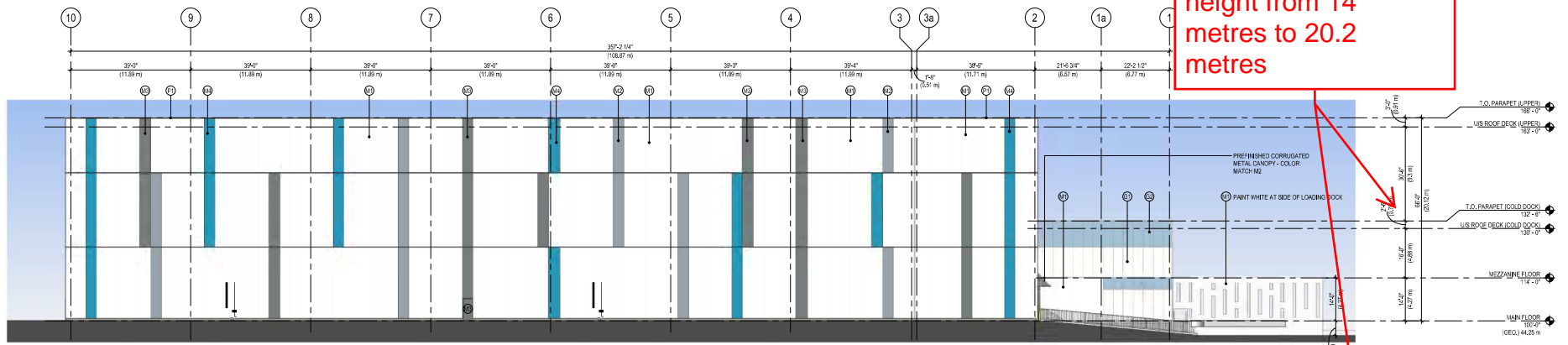


COLDBOX STORAGE WAREHOUSE
18745 24TH AVENUE
SURREY, BC V3S 9V2

4 22.06.20 UPDATES PER DP COMMENTS
3 22.08.20 RE-ISSUED FOR DP
2 22.04.20 RE-ISSUED FOR DP
[212116-CT] A11

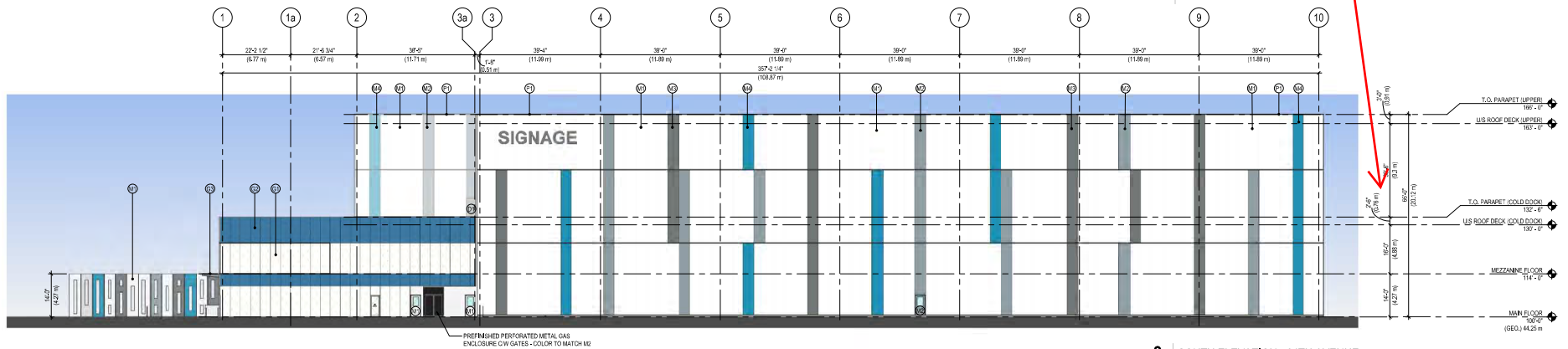


Proposed variance to increase the building height from 14 metres to 20.2 metres



1 NORTH ELEVATION

SCALE: 1/16" = 1'-0"



2 SOUTH ELEVATION - 24TH AVENUE

SCALE: 1/16" = 1'-0"

25'-0" (7.62 m)

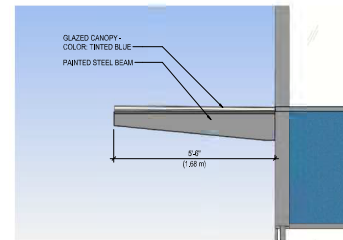
SIGNAGE

6'-0" (1.83 m)

NOTE:
 • SIGNAGE FOR REFERENCE ONLY, SEPARATE PERMIT APPLICATION
 • SIGNAGE CONTRACTOR TO SUBMIT SIGNAGE SHOP DRAWINGS PRIOR TO INSTALLATION.
 • SIGNAGE TO CONFORM TO CORPORATE BRANDING

4 SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



5 GLAZED CANOPY DETAIL

SCALE: 1/2" = 1'-0"

MATERIAL LEGEND

TYPE	DESCRIPTION		
D1	STEEL DOOR - PAINTED - DOOR FRAME COLOR TO MATCH M2		MWP M1 - WHITE
D2	OVERHEAD DOOR - COLOR TO MATCH M2		
G1	CURTAIN WALL GLAZING - COLOR: BLUE TINT		MWP M2 - ADVENTURA GREY
G2	SPANDREL GLAZING - COLOR: 'ICD' BLUEBERRY		MWP M3 - BASALT GREY
G3	GLAZED CANOPY - COLOR: BLUE TINT		MWP M4 - CORNFLOWER BLUE
M1	W/STEEP		
M2	W/STEEP		
M3	W/STEEP		
M4	MWP - COLOR: CORNFLOWER BLUE		
P1	PRE-FINISHED METAL CAP FLASHING - COLOR: WHITE		GLAZING - BLUE TINT
			SPANDREL - BLUEBERRY BLUE