

PROPOSAL:

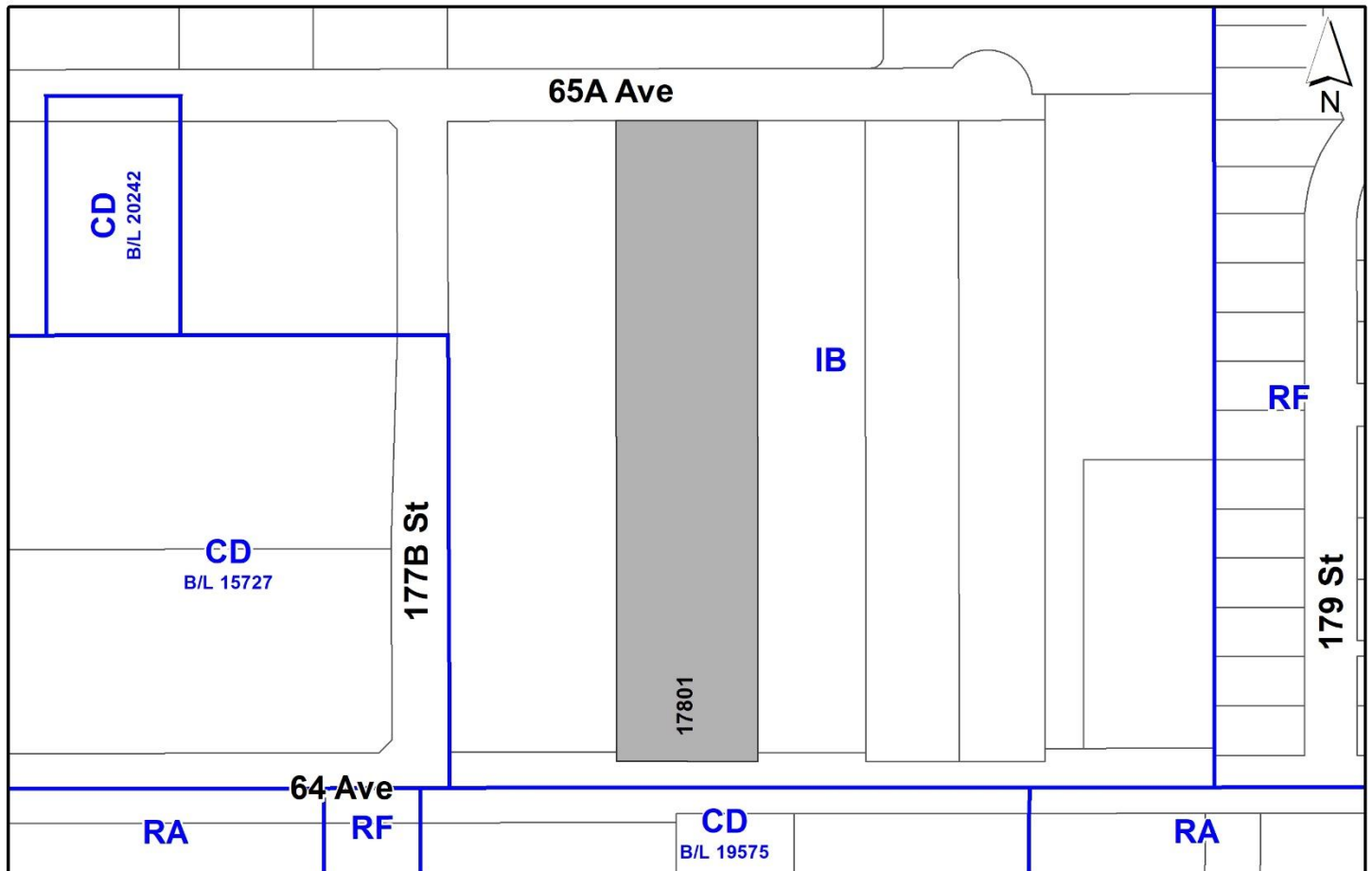
- **Development Permit**
- **Development Variance Permit**

to permit the development of two multi-tenant buildings for warehouse and office uses.

LOCATION: 17801 - 64 Avenue

ZONING: IB

OCP DESIGNATION: Mixed Employment



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the east and west side yard setback requirements of the IB Zone from 7.5 metres to 0.0 metres.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Cloverdale. Adjacent properties east and west of the subject property have developed into compatible uses with the proposed development.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed buildings and the public realm.
- The proposed reduced setbacks will eliminate undesirable gaps between buildings. The proposed siting of the north building along the west side of the property will eliminate the blank wall exposure of the existing buildings to the west. The proposed siting of the south building along the east side of the property will maximize the driveway separation between the subject site and the site to the east.
- The proposed side yard setback relaxation to 0.0 metre is consistent with side yard setbacks in industrial zones in close proximity to the subject site.
- The proposed development will provide jobs in an appropriate location consistent with the Employment Lands Strategy.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7921-0338-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7921-0338-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the east and west side yard setback requirements of the IB Zone from 7.5 metres to 0.0 metres.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) approval from the Ministry of Environment and Climate Change Strategy;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (h) registration of an 8.6 metre statutory right-of-way (SRW) for public rights of passage, with or without vehicles, to align with existing SRWs on the east and west properties and to protect for future full movement ability via 177B Street;
 - (i) registration of a Section 219 Restrictive Covenant for Right-in/Right-out access onto 64 Avenue that may be removed at the City's discretion;
 - (j) registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space;
 - (k) final inspection of Demolition Permit No. 2022-031611-000-00 to the satisfaction of the Building Division;
 - (l) approval from Ministry of Transportation and Infrastructure;

- m) submission of an acoustical report for the units in the south building adjacent to 64 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
- (n) the applicant satisfy the requirements of the Fire Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/LAP Designation	Existing Zone
Subject Site	Gravel, soil storage and sales operation	Mixed Employment	IB
North (Across 65A Avenue):	Multi-tenant industrial buildings	Mixed Employment	IB
East:	Multi-tenant industrial buildings	Mixed Employment	IB
South (Across 64 Avenue):	Future Cloverdale Sports & Ice Complex	Urban	CD Bylaw 19575
West:	Multi-tenant industrial buildings	Mixed Employment	IB

Context & Background

- The subject site is a through lot that abuts 64 Avenue to the south and 65A Avenue to the north. It is 13,438 square metres in size and located at 17801 - 64 Avenue. The property is designated as Mixed Employment in both the Official Community Plan (OCP) and Regional Growth Strategy.
- The property is zoned Business Park Zone (IB). The applicant is proposing to build two concrete tilt-up buildings north and south on the property for warehouse and office uses. All of the 19 proposed units will have front and rear mezzanines.
- Adjacent properties east and west of the subject property have developed into business park buildings compatible with the proposed development.
- The Concept Plan (Appendix II) for the area indicates a proposed east-west road network that starts at 17767 - 64 Avenue and culminates at a future cul-de-sac bulb at 17861 - 64 Avenue and 17848 - 65A Avenue, parallel to 64 Avenue. This road is intended to provide access to adjoining properties in the area without putting additional traffic pressures on 64 Avenue. The plan submitted by the applicant includes a provision for a statutory right-of-way (SRW) through the property, consistent with the approach taken across the existing industrial developments to the east and the west, in order to provide legal access instead of road dedication. The SRW meets the requirements of the Engineering Department.
- Among the row of IB-zoned, Mixed Employment-designated properties along 64 Avenue, only three properties to the east remain undeveloped. One is under application (7920-0042-00) and is likely to develop as business park development similar to the western properties, including the subject site. Development of all IB-zoned, Mixed Employment properties along

64 Avenue will complete the east-west internal lane network providing an alternative access to 64 Avenue.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Development Permit for Form and Character to allow the development of two concrete tilt-up buildings for warehouse and office uses. The north building will have 13 units (6,304 square metres) and the south building will have 6 units (2,851 square metres).
- The applicant is also proposing a Development Variance Permit for reduced east and west side yard setbacks.

	Proposed
Lot Area	
Gross Site Area:	13,479 sq. m.
Road Dedication:	n/a
Undevelopable Area:	n/a
Net Site Area:	13,208 sq. m.
Number of Lots:	1
Building Height:	11 m.
Floor Area Ratio (FAR):	0.68
Floor Area	
Offices:	2,050 sq. m.
Warehouses:	7,058 sq. m.
Mechanical/Electrical Rooms	47 sq. m.
Total:	9,155 sq. m.

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirement as outlined in Appendix III.
Parks, Recreation & Culture:	Parks accepts the removal of some City trees as recommended by the project arborist. A tree compensation of 2:1 will be included in Trees and Landscaping fees. Boulevard trees shown to be retained in the arborist report but removed or damaged during construction will require compensation at full appraised value of the trees.
Ministry of Transportation & Infrastructure (MOTI):	Preliminary approval is granted for one year.

- Surrey Fire Department: The internal roadway between the proposed two buildings may require slight re-alignment to meet Fire Department access requirements. The applicant acknowledges the concern and will work with City staff to resolve the issue prior to Final Approval of the Development Permit.
- Ministry of Environment: The application has been referred to the Ministry for their review and approval due to site contamination. The site was formerly a landscaping equipment maintenance operation.

Transportation Considerations

- The site will be accessed from both 64 and 65A Avenue with 9-metre wide driveways. An internal lane within the property will be constructed for public access that will align to existing lanes east and west of the site. This will also allow full movement activity via 177B Street, which is parallel to both 64 and 65A Avenue. A 1.8 metre sidewalk is required to be constructed along 64 Avenue.
- No road dedication is required along 64 Avenue as part of this development proposal. A special setback of 4.946 metres is required along 64 Avenue as a provision for future road widening since the arterial road standard has changed from the time properties east and west of the subject site developed.
- The site is along 64 Avenue, which is an arterial road and transit route. It is 2 minutes' walking distance to bus stops north and south of 64 Avenue. Bus number 364 services this route westbound to Scottsdale and eastbound to Langley Centre while bus number 395 services this route eastbound to Langley Centre and westbound to King George SkyTrain station.
- Although 64 Avenue is also a bicycle route, this stretch of 64 Avenue does not have dedicated bicycle lanes. The closest dedicated bicycle lane starts at 179 Street on the north side of 64 Avenue.
- The Bose Greenway (multi-use pathway) and sidewalk is located on the south side of 64 Avenue.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional Crime Prevention Through Environmental Design (CPTED) principles:
 - Clear sight lines have been designed from the unit windows to the parking areas.
 - Exterior lighting provides adequate visibility of the parking areas and front entrances.
 - Buildings are facing neighbours for added visual security.
 - The landscape design allows clear sight lines across the site.
 - The building entrances are designed to provide clear mobility and visibility.
 - The buildings are visible from the public roads.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “Mixed Employment” designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the “Mixed Employment” designation in the OCP.

Themes/Policies

The proposed development is supported by the following policies of the OCP.

- B6.4 – Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The proposed building has a modern, linear appearance, similar to the buildings constructed east and west of the subject property.)

- E1.3 – Identify lands that may be suitable for future employment uses and that are located in areas that provide suitable access to major transportation corridors.

(The proposed site is identified as one of the Major Employment Areas in Surrey. It is along a transit and bicycle route. 64 Avenue is serviced by two bus routes that go east to Langley and west to Scott Road, King George SkyTrain Station and Guildford.)

- E1.8 – Ensure a positive interface between employment lands and accompanying industrial activities and surrounding uses.

(Robust landscaping is provided along the north and south property lines. Trees and shrub planting also help buffer the truck loading bays in front of the buildings.)

Employment Lands Strategy

- The proposal complies with the Employment Lands Strategy to develop employment lands in Surrey and support planning that will directly provide for jobs in the most appropriate locations.

Zoning By-law

- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park Zone (IB)" and parking requirements.

IB Zone (Part 47)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.68
Lot Coverage:	60%	50%
Yards and Setbacks		
North:	7.5 m.	7.5 m.
East:	7.5 m.	0.0 m.*
South:	7.5 m.	7.5 m.
West:	7.5 m.	0.0 m.*
Height of Buildings		
Principal buildings:	12 m.	11 m.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Warehouses:	71	--
Offices:	51	--
Total:	122	127

*Variance requested

- Two accessible parking spaces are provided on the site, meeting the requirements of the Zoning Bylaw.

Setback Variances

- The following variances are being requested:
 - The applicant is proposing to reduce the side yard setback requirements of the IB Zone from 7.5 m. to 0.0 m. along the east and west property lines.
- The proposed side yard setback relaxation to 0.0 metre is consistent with side yard setbacks in industrial zones in close proximity to the subject site.
- The side yard setback reduction increases the depth of the proposed buildings and eliminates the blank wall exposure of the existing building west of the subject site.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- The Development Proposal Sign were installed on February 17, 2022. Staff did not receive any responses from neighbouring properties.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to allow access/egress from 64 Avenue, to site the south building east of the property to maximize the driveway separation with the development to the east, and to site the north building west of the property to eliminate the blank wall exposure of the building west of the property. An 8.6 metre wide SRW providing vehicle access to the adjacent sites will bisect the property.
- As a condition of Final Issuance of the Development Permit, City staff will continue to work with the applicant to enhance the articulation and visual interest of the development, in particular along the east elevation of the south building.
- The north and south elevations fronting City streets will be softened and screened with landscaping.
- The building is proposed to have a modern, linear appearance. The proposed unit entrances are enhanced with low 'E' sunguard NP-61, gray reflective with clear anodized aluminum mullions and tilt-up painted concrete panels with manufactured fieldstone facade.
- Black enameled flashing is proposed above the second storey windows.

Site Layout, Access and Parking

- Primary access to the site is achieved from 64 Avenue and 65A Avenue through 9-metre wide driveways. A third access will be from 177B Street, through the public access statutory right-of-way (SRW) for vehicles through the property to the west.
- Each business park unit has a loading bay in the front. As the proposed warehouse/office units are modestly sized, it is anticipated that small-sized vans (e.g. cube vans) will primarily be used by the businesses.
- The applicant proposes 127 parking spaces in total. Based on the proposed floor area and uses, a total of 122 parking spaces are required, in accordance with Part 5 Off-Street Loading/Unloading of the Zoning Bylaw. The current proposal exceeds parking requirements by 5 parking spaces.

Mezzanine Space

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-story mezzanine space. The applicant is proposing front and rear mezzanine spaces in all of the proposed units. A Section 219 Restrictive Covenant will be registered on title to restrict the maximum amount of mezzanine space, in order for the development to comply with the parking requirements of the Zoning Bylaw.

Signage

- Given that tenants are not immediately known at this phase of development, conceptual signage locations are illustrated on the Development Permit drawings (Appendix I). The

drawings will be annotated to indicate that future signs will be in compliance with the Sign Bylaw at the time of sign permit submission.

Landscaping

- The proposed landscaping consists of a variety of trees including: Crimson Sentry Maple, Serbian Spruce, Red Oak and Halka Honey Locust. The proposed tree plantings will be located along the north and south entrances and the trees will be complemented by a variety of shrubs and ground cover.
- The applicant reconfigured the parking plan in order to meet the requirement of one tree for every six parking stalls.
- Three-metre wide landscaping strips are provided along 64 Avenue and 65A Avenue. A low landscape berm will be installed within the landscaping strip along 64 Avenue to help screen the loading/unloading area.
- The parking islands will be planted with trees and shrubs. The building façades facing the north and south property lines will be complemented with trees and landscaping in order to screen the loading areas.

Outdoor Amenity Space

- Patios for employees are proposed along the north and south elevations as outdoor amenity areas. These areas total 52 sq. m. in size and include Frances Andrew benches that are made of wood and metal for seating. The benches will be bolted to the concrete pavement.

Outstanding Items

- The applicant is required to resolve all outstanding urban design and landscaping issues prior to Development Permit issuance.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Elm, Brandon	6	1	5
Maple, Japanese	1	1	0
Oak, Pin	4	4	0
Willow	1	1	0
Coniferous Trees			
Cedar, Deodar	1	0	1

Total	13	7	6
<hr/>			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	30		
Total Retained and Replacement Trees	36		

- The Arborist Assessment states that there are a total of 13 mature trees on the site, excluding Alder and Cottonwood trees. It was determined that 6 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all other trees. This will require a total of 14 replacement trees on the site. The applicant is proposing 30 replacement trees, exceeding City requirements.
- Tree number 2378 in the Arborist Report is proposed for removal due to conflict with road improvement works. Planning and Development staff are working with Transportation staff to explore options to retain the tree.
- Tree number 2377 is proposed for retention, however, the tree protection zone encroaches into a proposed drainage swale. Planning and Development staff continue to work with Drainage Engineering staff to explore options to relocate the drainage swale and retain this tree.
- Resolution of these two tree issues may affect the numbers currently indicated in the Tree Preservation Summary, which will be resolved as a condition of Final Issuance of the Development Permit.
- The new trees on the site will consist of a variety of trees including Crimson Sentry Maple, Serbian Spruce, Red Oak and Halka Honey Locust.
- In summary, a total of 36 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

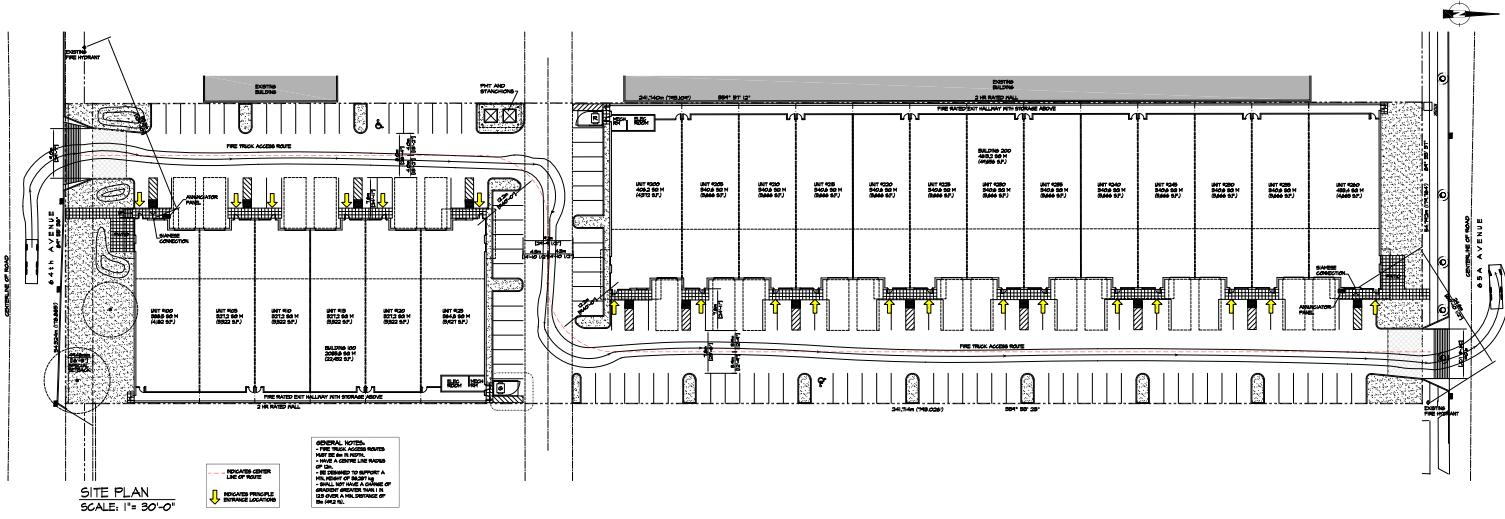
The following information is attached to this Report:

Appendix I.	Architectural Drawings and Landscape Plan
Appendix II.	Concept Plan
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Development Variance Permit No. 7921-0338-00
Appendix VI.	Aerial Photo

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

DQ/ar



SITE PLAN
SCALE: 1" = 30'-0"

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REV	DATE	DESCRIPTION
01	13 NOV 21	ISSUED FOR CP APPLICATION
02	28 MAR 22	RE-ISSUED FOR CP APPLICATION
03	22 FEB 23	RE-ISSUED FOR CP APPLICATION
04	14 MAR 23	RE-ISSUED FOR CP APPLICATION

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WWW.ATAARCHITECTURA.COM



PROJECT
NORTH CLOVERDALE STRATA

17801 - 64th AVENUE
Surrey, B.C.

CONSULTANTS

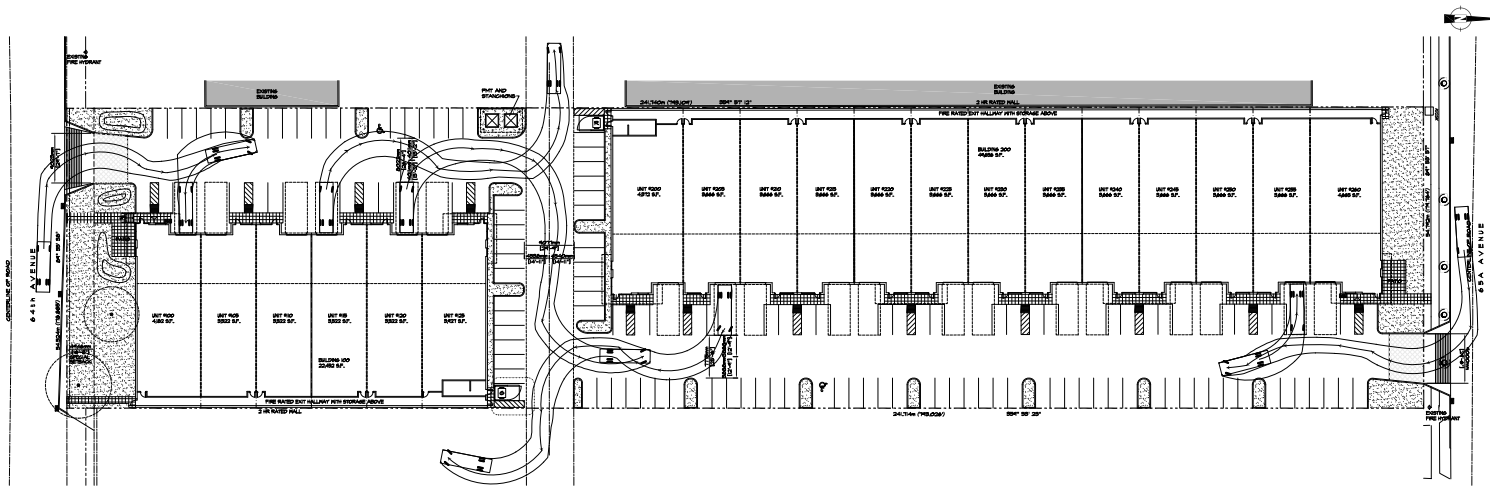
TECK CONSTRUCTION LTD.
5137-216th STREET
LANGLEY B.C.

PROJECT NUMBER

SHEET TITLE FIRE DEPT. SITE PLAN

SCALE 1" = 30'-0"
DATE 28 OCT 23
CHK'D BY
DR'N. BY TDH

SHEET No. A3
OF 3



TRUCK TURNING SITE PLAN
SCALE: 1" = 30'-0"

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REVISIONS

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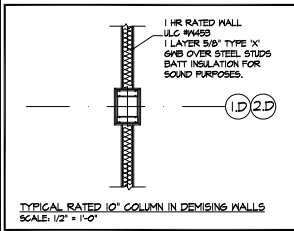
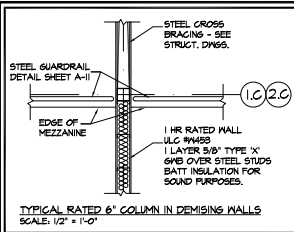
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PROJECT NUMBER

SHEET TITLE SITE PLAN

SCALE 1" = 30'-0"
DATE 28 OCT. 23
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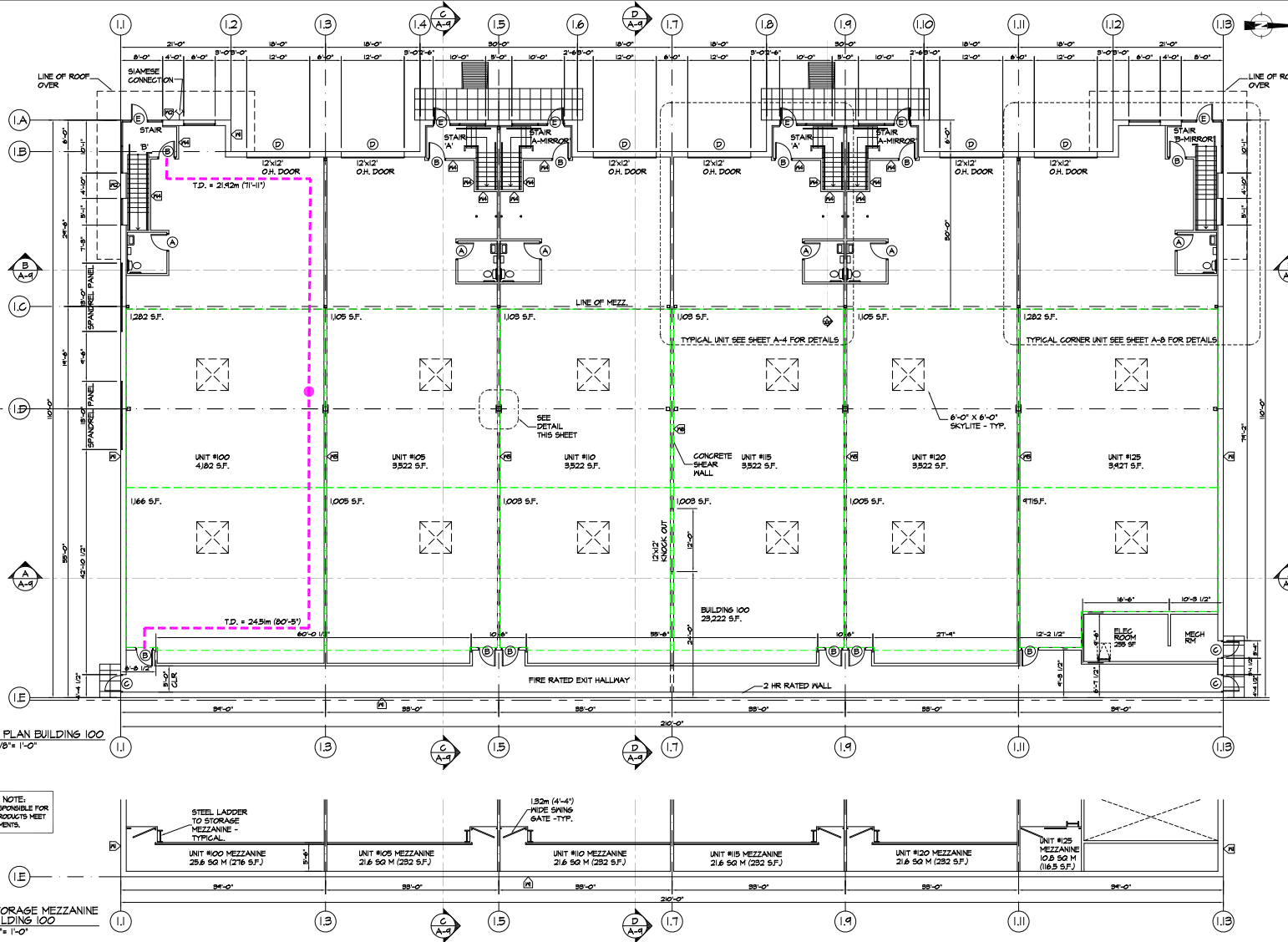
SHEET No. A4
OF 4



- DOOR SCHEDULE**
- A** UNISEK ULC HAMBROOK
8070 SOLID CORE, FIBREGLASS HARDBOARD, PAINT GRADE OR BR
MINOR, 2 1/2\"/>
 - B** INTERIOR EXIT DOORS AND FRAMES
30 MIN RATED DOOR AND FRAMES
8070 STEEL, HOLLOW CORE, PAINT GRADE, C.A. BR MINOR, STEEL STEPPING,
FRAMES, PAINT GRADE, CLOSER, PAINT HARDWARE, WEATHER STRIPPING.
 - C** EXTERIOR EXIT DOORS AND ELECTRICAL ROOMS
8070 STEEL, HOLLOW CORE, PAINT GRADE, C.A. BR MINOR, CLOSER, CRIB
LOCKSET AND DEADBOLT, 1\"/>
 - D** OVERHEAD DOORS
1000 STEEL, SECTIONAL, INSULATED PANELS (R=10),
GRADE LEVEL, 1\"/>
 - E** UNIT ENTRY DOORS
8070 GLASS STRENGTH, ALUMINUM MEDIUM STYLE, BACK TO BACK
ANGLED OFFSET PULLS, OVERHEAD CONCEALED CLOSURES,
8070 FULL LENGTH PULLS, MEDIUM SECURITY LOCK, DOOR
SWEEPS, FULL LENGTH ASTRAHAL AND THRESHOLD.

- WALL SCHEDULE**
- M** EXTERIOR REINFORCED SANDWICH PANELS
WITH GASKETS AT JOINTS, RATED WHERE
REQUIRED, THICKNESS VARIES SEE STRUCTURAL,
PAINT EXTERIOR AS SPECIFIED.
 - N** INTERIOR STRAPPING TO SANDWICH
PANELS, 3/4\"/>
 - O** INTERIOR PARTITION WALLS
2 1/2\"/>
 - P** INTERIOR 1 HR RATED PARTITION WALLS
2 1/2\"/>
 - Q** INTERIOR 1 HR RATED DEMISING WALLS
2 1/2\"/>
 - R** INTERIOR REINFORCED TILT-UP PANELS
WITH GASKETS AT JOINTS, RATED WHERE
REQUIRED, THICKNESS VARIES SEE STRUCTURAL.

GENERAL NOTE:
TRADES RESPONSIBLE FOR
INSURING PRODUCTS MEET
ULC REQUIREMENTS.



FLOOR PLAN BUILDING 100
SCALE: 1/8" = 1'-0"

**REAR STORAGE MEZZANINE
PLAN BUILDING 100**
SCALE: 1/8" = 1'-0"

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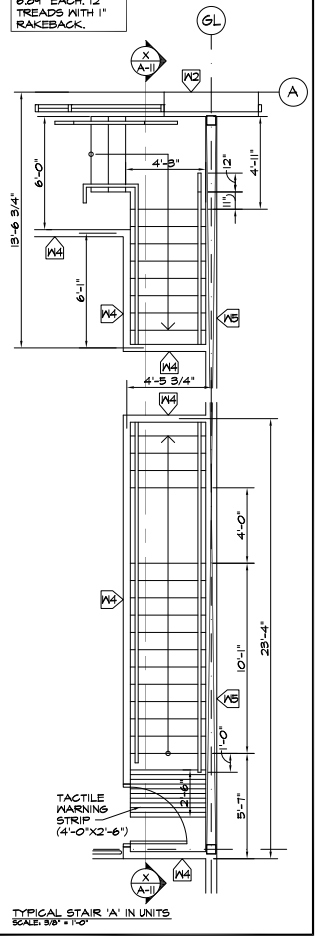


PROJECT
NORTH CLOVERDALE
STRATA

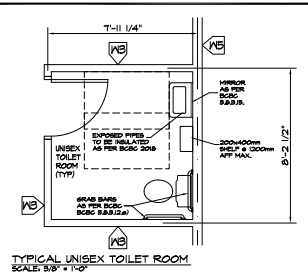
17801 - 64th AVENUE
Surrey, B.C.
CONSULTANTS

TECX CONSTRUCTION LTD.
5111-216th STREET
LANGLEY, B.C.
PROJECT NUMBER
SHEET BLDG 100 - FLOOR
TITLE PLAN & REAR MEZZ
SCALE 1/8" = 1'-0"
DATE: 28 OCT 23
DWG'D BY: TDM
SHEET NO. A5 OF -

NOTE:
ALL STAIRS TO
HAVE 27 RISERS @
6.24" EACH, 12"
TREADS WITH 1"
RAKEBACK.



TYPICAL STAIR 'A' IN UNITS
SCALE: 3/8" = 1'-0"



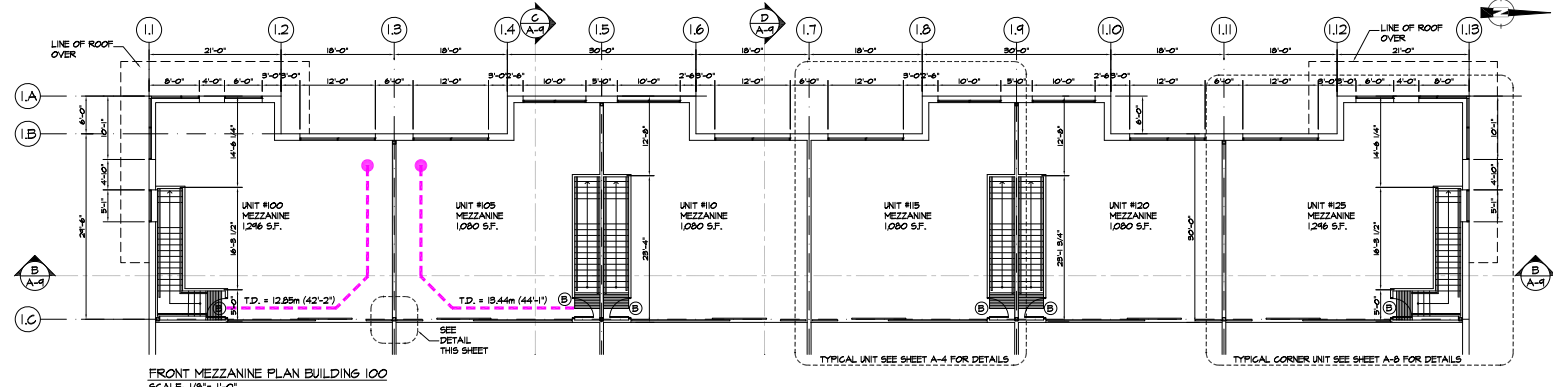
TYPICAL UNISEX TOILET ROOM
SCALE: 3/8" = 1'-0"

**SKYLITE CALCULATIONS
BUILDING 100:**

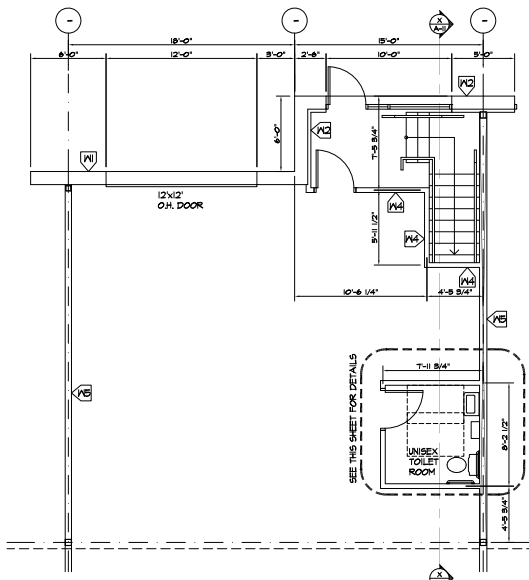
SIZE OF SKYLITE = 6'-0" X 6'-0"
CLEAR HEIGHT TO DECK =
26'-6" X 70% = 18'-6"
THEREFORE
6'-0" + 18'-6" + 18'-6" = 43'-0"
DAYLIGHT COVERAGE =
43'-0" X 43'-0" = 1,849 S.F. /SKYLITE

FOOTPRINT = 22,452 S.F.
MINIMUM COVERAGE = 1/2 OF
FOOTPRINT = 22,452 / 2 = 11,226 S.F.

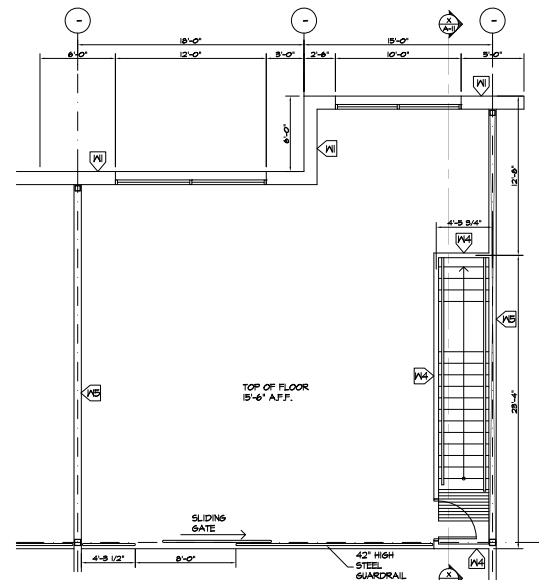
REQUIRED NUMBER OF SKYLITES =
7 WITH 12,443 S.F. COVERAGE
PROVIDED NUMBER OF SKYLITES =
12 WITH 22,188 S.F. COVERAGE
ACTUAL COVERAGE AFTER OVERLAPS =
13,133 S.F. TOTAL COVERAGE



FRONT MEZZANINE PLAN BUILDING 100
SCALE: 1/8" = 1'-0"



MAIN FLOOR TYP
SCALE: 1/4" = 1'-0"



STORAGE MEZZANINE
SCALE: 1/4" = 1'-0"

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PRECEDENCE OVER SCALED DIMENSIONS.

REVISIONS

REV.	DATE	DESCRIPTION
1.	28 OCT/21	ISSUED FOR APPLICATION
2.	28 OCT/21	RE-DESIGNED FOR APPLICATION
3.	14 MAR/23	RE-DESIGNED FOR APPLICATION
4.	14 MAR/23	RE-DESIGNED FOR APPLICATION

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PROJECT
**NORTH
CLOVERDALE
STRATA**

17801 - 64th AVENUE
Surrey, B.C.

CONSULTANTS



TECK CONSTRUCTION LTD.
5187-216th STREET
LANGLEY, B.C.

PROJECT NUMBER

SHEET BLDG 100 - FRONT
TITLE MEZZANINE PLAN

SCALE AS NOTED
DATE: 28 OCT/21
CHK'D BY: DMN
DRN' BY: TDM

SHEET No.
A6
OF
-

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REVISIONS	NO.	DATE	DESCRIPTION
1.	3 NOV 21		ISSUED FOR OF APPLICATION
2.	28 MAR 22		RE-ISSUED FOR OF APPLICATION
3.	22 FEB 23		RE-ISSUED FOR OF APPLICATION
4.	14 MAR 23		RE-ISSUED FOR OF APPLICATION

ATA
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 NORTH VANCOUVER, B.C.
 V7R 2Z6
 TEL: 604-759-5759
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PROJECT
 NORTH CLOVERDALE STRATA

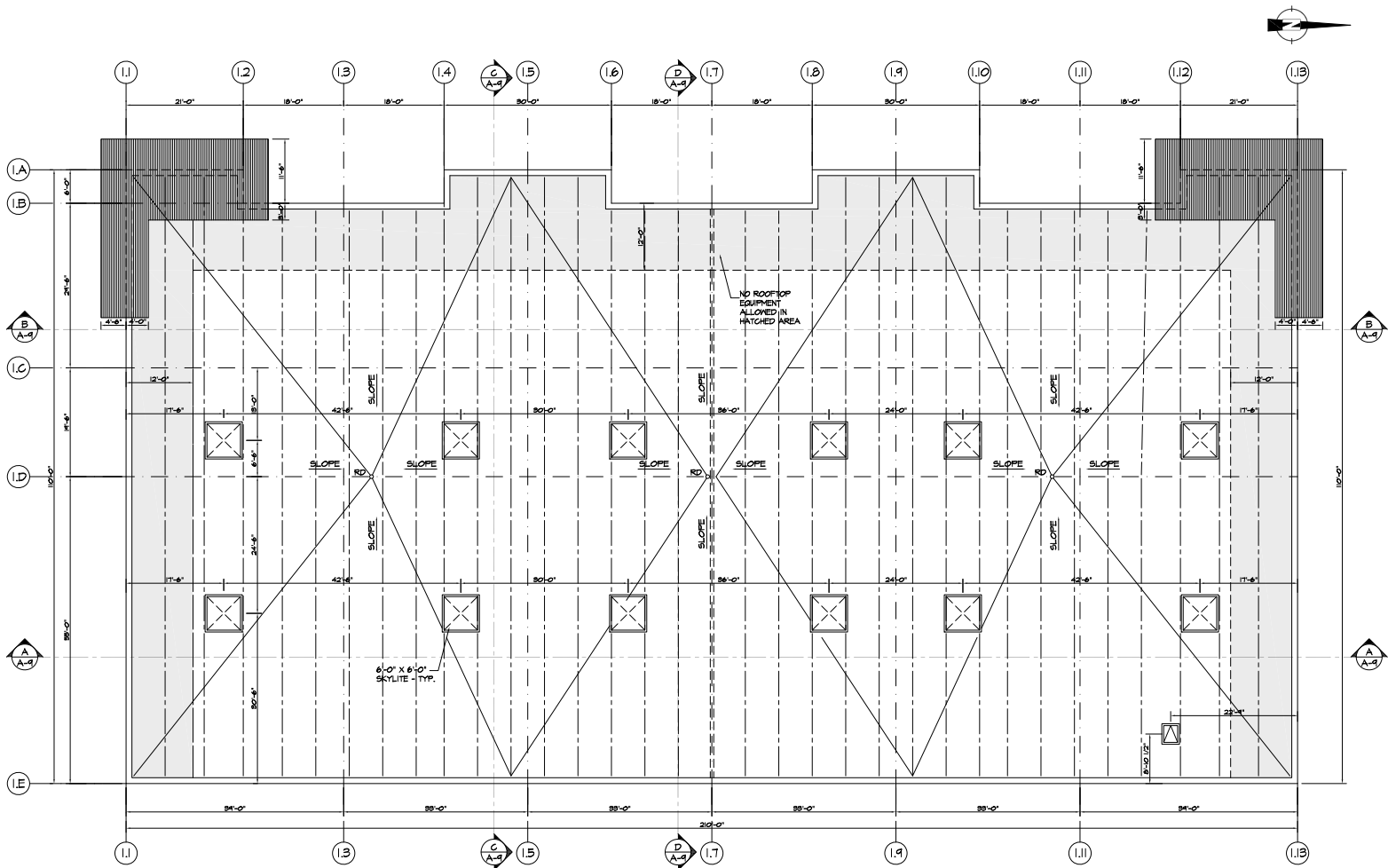
17801 - 64th AVENUE
 Surrey, B.C.

CONSULTANTS

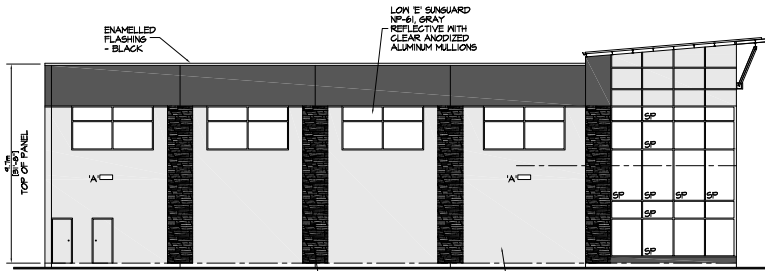
TECK CONSTRUCTION LTD.
 5197 - 216th STREET
 LANGLEY B.C.

PROJECT NUMBER
 SHEET BUILDING 100
 TITLE ROOF PLAN
 SCALE 1/8" = 1'-0"
 DATE 28 OCT 23
 CHK'D BY
 DR'N. BY TDH

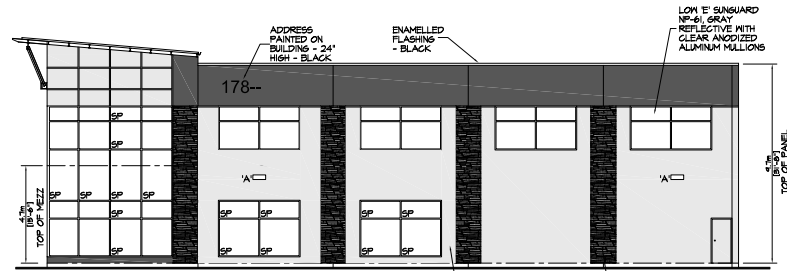
SHEET No.
 A7
 OF -



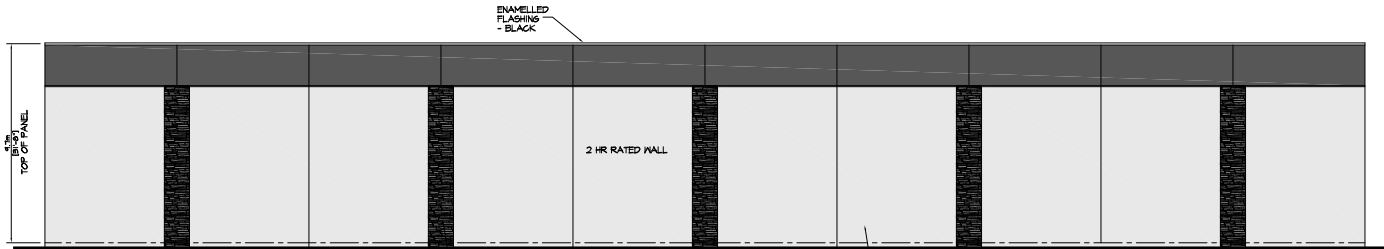
ROOF PLAN BUILDING 100
 SCALE: 1/8" = 1'-0"



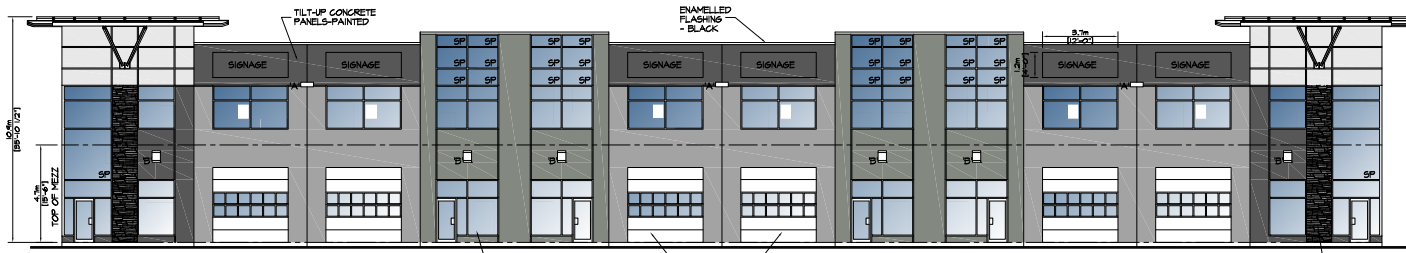
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



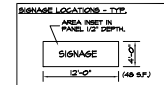
SOUTH ELEVATION - 64th AVENUE
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

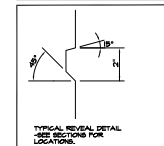


WEST ELEVATION
SCALE: 1/8" = 1'-0"



ALL SIGNAGE MUST BE INSTALLED IN THE AREAS INDICATED UNLESS OTHERWISE APPROVED BY CITY OF SURREY.
ONLY HIGH QUALITY SUB MATERIALS AND ATTACHMENTS SHALL BE CONSIDERED AS REVIEWED BY CITY OF SURREY PRIOR TO INSTALLATION.
SIGNAGE MUST BE COMPOSED OF DIMENSIONED LETTERS AND LOGOS (SHADE, HEIGHT, FONT ETC.)

EXTERIOR LIGHT FIXTURES
A □ MOUNTED AT 20' ABOVE FINISHED FLOOR
B □ RECURVING FIXTURE MOUNTED AT 2'-6" ABOVE FINISHED FLOOR
ALL LIGHTS SPECIFIED ARE FULL GUT OFF AND DARK SKY COMPATIBLE.



PAINT COLOURS	
	PAINT #1 DALIX - PETER GREY SOYTY 47/059
	PAINT #2 DALIX - LOAM SOYTY 12/045
	PAINT #3 DALIX - GREY TWEED SOYTY 22/054
	PAINT #4 DALIX - FOREST BLACK SOYTY 10/036

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REVISIONS	NO.	DATE	DESCRIPTION
1.	28 MAR'23		RE-ISSUED FOR SP APPLICATION
2.	30 MAR'23		RE-ISSUED FOR SP APPLICATION
3.	30 MAR'23		RE-ISSUED FOR SP APPLICATION
4.	14 MAR'23		RE-ISSUED FOR SP APPLICATION

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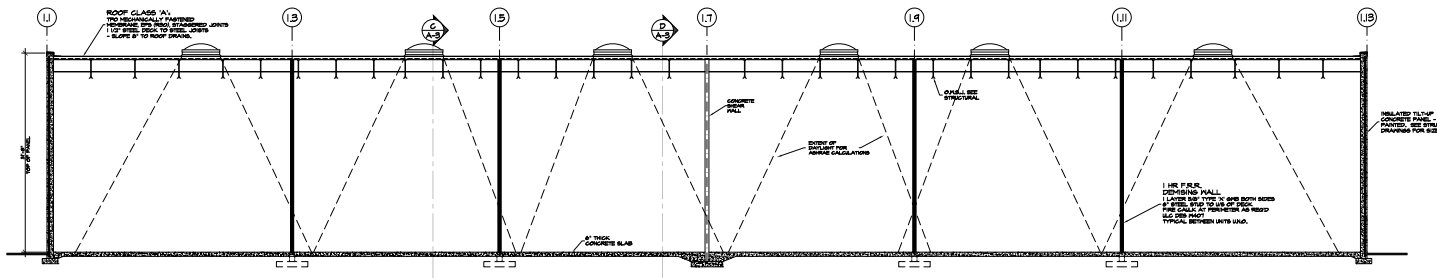
PROJECT
NORTH CLOVERDALE STRATA

17801 - 64th AVENUE
Surrey, B.C.

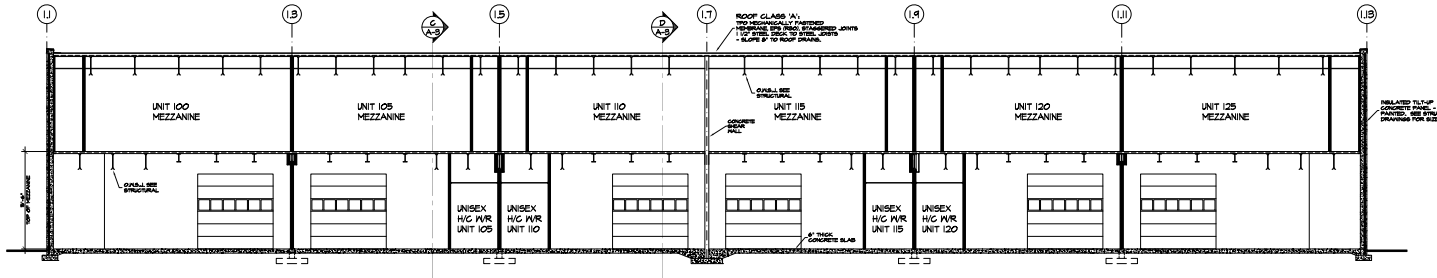
CONSULTANTS

TECX CONSTRUCTION LTD.
5187-216th STREET
LANGLEY, B.C.

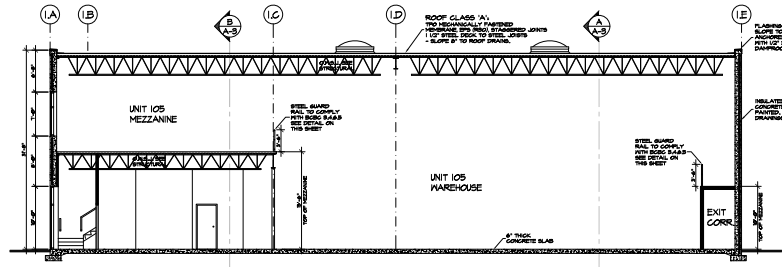
PROJECT NUMBER
BUILDING 100
TITLE ELEVATIONS
SCALE: 1/8" = 1'-0"
SHEET No. **A8**
DATE: 28 OCT '23
DRAWN BY: TDM



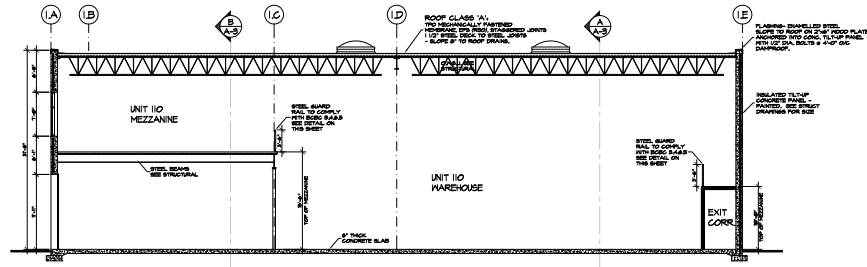
SECTION A-A
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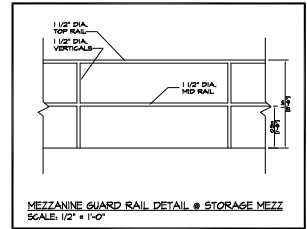
SECTION B-B
SCALE: 1/8" = 1'-0"



SECTION C-C
SCALE: 1/8" = 1'-0"



SECTION D-D
SCALE: 1/8" = 1'-0"



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REV	DATE	DESCRIPTION
1.	28 MAR/23	ISSUED FOR OF APPLICATION
2.	30 MAR/23	RE-ISSUED FOR OF APPLICATION
3.	14 MAR/23	RE-ISSUED FOR OF APPLICATION

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PROJECT
NORTH CLOVERDALE STRATA

17801 - 64th AVENUE
Surrey, B.C.

CONSULTANTS

TECX CONSTRUCTION LTD.
5137-216th STREET
LANGLEY, B.C.

PROJECT NUMBER
BUILDING 100
TITLE SECTIONS
SCALE: 1/8" = 1'-0"
DATE: 28 OCT 23
DRAWN BY: TDH

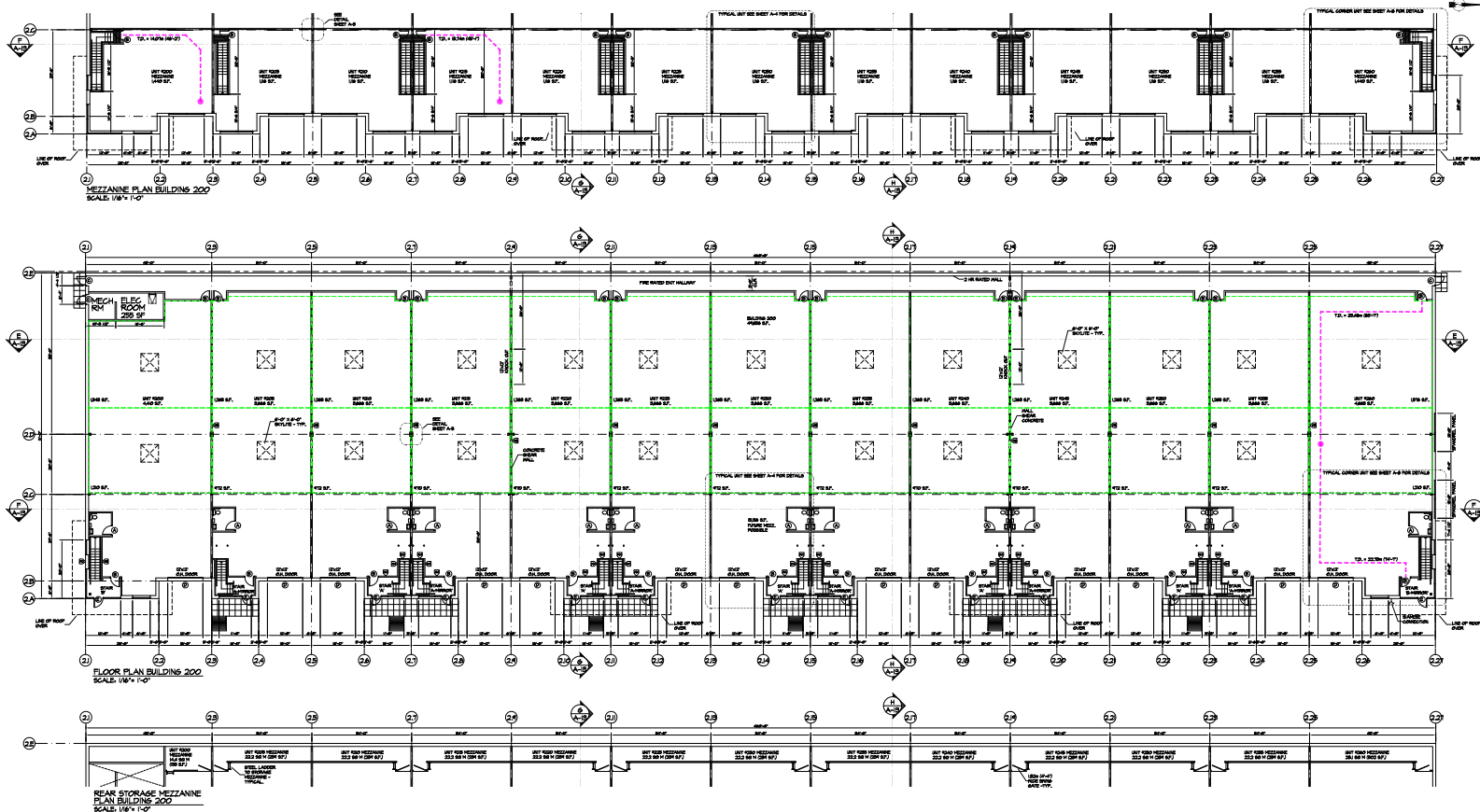
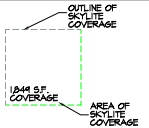
SHEET No.
A9
OF
9

WALL SCHEDULE

- M1** - EXTERIOR REINFORCED SANDWICH PANELS WITH CAULKING AT JOINTS, RATED WHERE REQUIRED, THICKNESS VARIES SEE STRUCTURAL. PAINT EXTERIOR AS SPECIFIED.
- M2** - INTERIOR STRAPPING TO SANDWICH PANELS, 3/4" RIGID INSULATION, 2"x2" @ 16" O/C STEEL STUDS, 6 MIL POLY VAPOUR BARRIER, 1/2" BATT INSULATION, EXTEND TO INSIDE OF STEEL DECK. PAINT AS SPECIFIED.
- M3** - INTERIOR PARTITION WALLS 2"x3 5/8" @ 16" O/C STEEL STUDS, 1/2" 6#B EACH SIDE, PAINT BOTH SIDES AS SPECIFIED, 3 1/2" BATT INSULATION.
- M4** - INTERIOR 1 HR RATED PARTITION WALLS 2"x3 5/8" @ 16" O/C STEEL STUDS, 1 LAYER 5/8" TYPE 'X' 6#B EACH SIDE, 3 1/2" BATT INSULATION, PAINT BOTH SIDES AS SPECIFIED, ULC M414 - 1 HR WALL ONLY 45 MIN REQUIRED.
- M5** - INTERIOR 1 HR RATED DEMISING WALLS 2"x5 1/2" @ 16" O/C STEEL STUDS, 1 LAYER 5/8" TYPE 'X' 6#B EACH SIDE, 3 1/2" BATT INSULATION, PAINT BOTH SIDES AS SPECIFIED, ULC M401 - 1 HR WALL.
- M6** - EXTERIOR REINFORCED TILT-UP PANELS WITH CAULKING AT JOINTS, RATED WHERE REQUIRED, THICKNESS VARIES SEE STRUCTURAL.

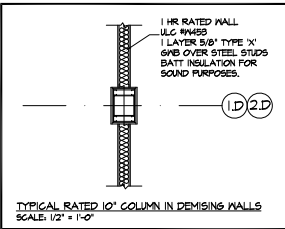
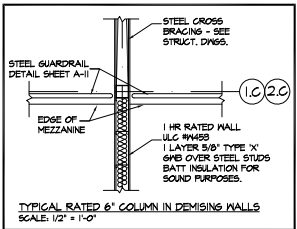
SKYLITE CALCULATIONS BUILDING 200:

SIZE OF SKYLITE = 6'-0" X 6'-0"
 CLEAR HEIGHT TO DECK = 26'-6" X 10% = 18'-6"
 THEREFORE :
 6'-0" + 18'-6" + 18'-6" = 43'-0"
 DAYLIGHT COVERAGE = 43'-0" X 43'-0" = 1844 S.F./SKYLITE
 FOOTPRINT = 44,656 S.F.
 MINIMUM COVERAGE = 1/2 OF FOOTPRINT = 22,328 S.F.
 REQUIRED NUMBER OF SKYLITES = 14 WITH 25,000 S.F. COVERAGE
 PROVIDED NUMBER OF SKYLITES = 26 WITH 48,074 S.F. COVERAGE
 ACTUAL COVERAGE AFTER OVERLAPS = 24,950 S.F. TOTAL COVERAGE



DOOR SCHEDULE

- (A) UNISEX 1/2" WASHROOMS:**
 2010 SOLID CORE, PRE-HUNG HARDBOARD, PAINT GRADE, C/W BB HINGES, BURLAP STYLE CASINGS, 3/8"x2-1/4" X 8'-0" LENGTH, 5 PER DOOR, PRIMED / MDF, PRIVACY SET, CLOSER.
- (B) INTERIOR EXIT DOORS:**
 20 MIN RATED DOOR AND FRAMES, 20 MIN STEEL, HOLLOW CORE PAINT GRADE, C/W BB HINGES, STEEL FRAMES, PAINT GRADE, CLOSER, FANIC HARDWARE, WEATHER STRIPPINGS.
- (C) EXTERIOR EXIT DOORS AND ELECTRICAL ROOMS:**
 2010 HMD 4 STEEL FRAME, C/W 1/2 PR. BUTTS, CLOSER, ORBIT LOCKSET AND DEADBOLT, 5" ALUMINUM THRESHOLD - SLOPED OUTWARDS, WEATHER-STRIPPING 3 SIDES + BOTTOM GUESS, PROVIDE WELDED SECURITY PLATE OVER LATCH, DRIP FLASHING + TOP OF DOOR FILLER, EXIT DOORS.
- (D) OVERHEAD DOORS:**
 2010 STEEL SECTIONAL INSULATED PANELS (R-14), GRADE LEVEL, 5" ANGLE MOUNT, STANDARD HIGH LIFT, FACTORY PAINTED - WHITE, CHAIN HOIST OPERATION, ONE ROW OF VISION GLAZING.
- (E) UNIT ENTRY DOORS:**
 2010 GLASS STOREFRONT, ALUMINUM MEDIUM STILE, BACK TO BACK ANODIZED OFFSET 2 PULLS, OVERHEAD CONCEALED CLOSURES, ROTON FULL LENGTH PIVOTS, MAXIMUM SECURITY LOCK, DOOR SWEEPS, FULL LENGTH ASTRAGAL AND THRESHOLD.



REVISIONS

REV.	DATE	DESCRIPTION
1.	28 FEB/23	ISSUED FOR CP APPLICATION
2.	28 FEB/23	RE-ISSUED FOR CP APPLICATION
3.	28 FEB/23	RE-ISSUED FOR CP APPLICATION
4.	14 MAR/23	RE-ISSUED FOR CP APPLICATION

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PROJECT
 NORTH CLOVERDALE STRATA

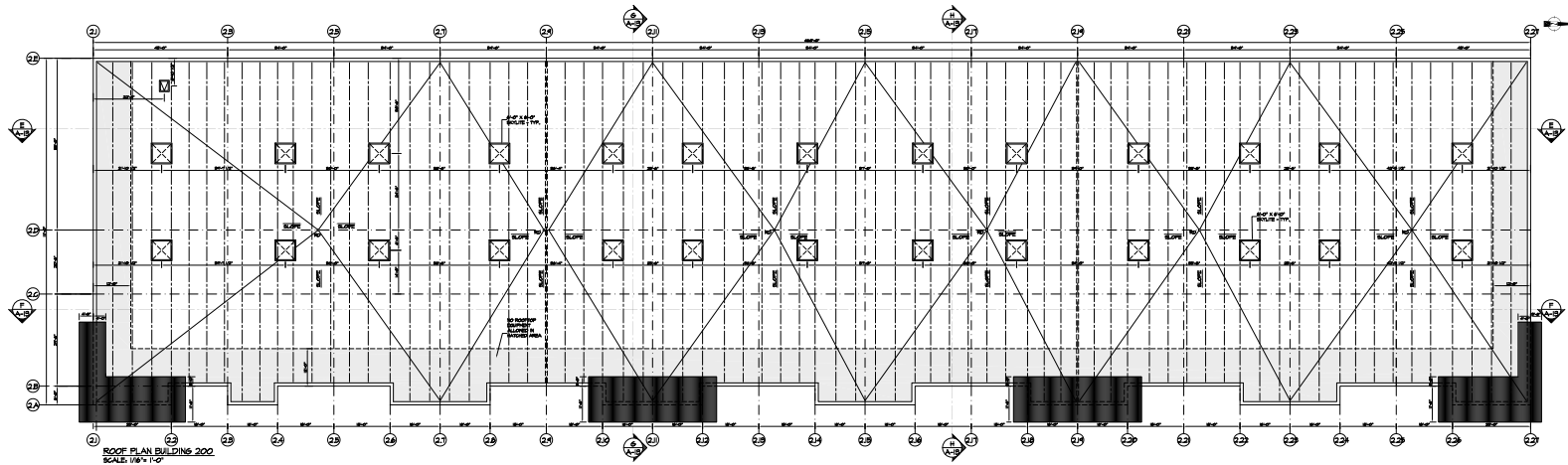
17801 - 64th AVENUE
 Surrey, B.C.
 CONSULTANTS

TECX CONSTRUCTION LTD.
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 LANGLEY, B.C.

PROJECT NUMBER
 BUILDING 200

SHEET NUMBER
 TITLE FLOOR PLANS
 SCALE AS NOTED
 DATE: 28 OCT 23
 DRAWN BY: TCH

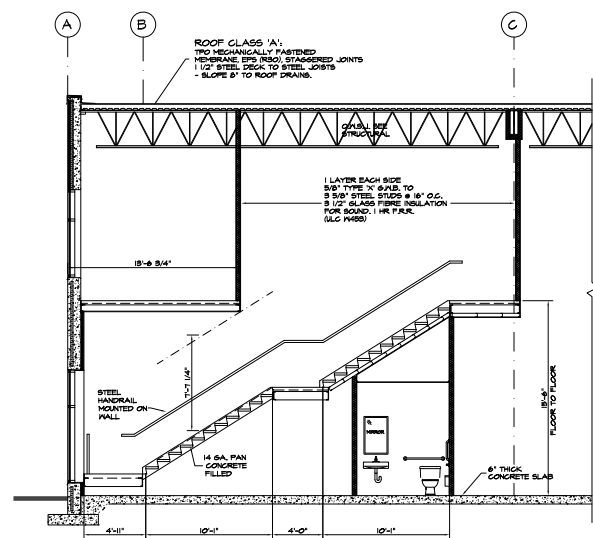
SHEET No.
 A10 OF 10



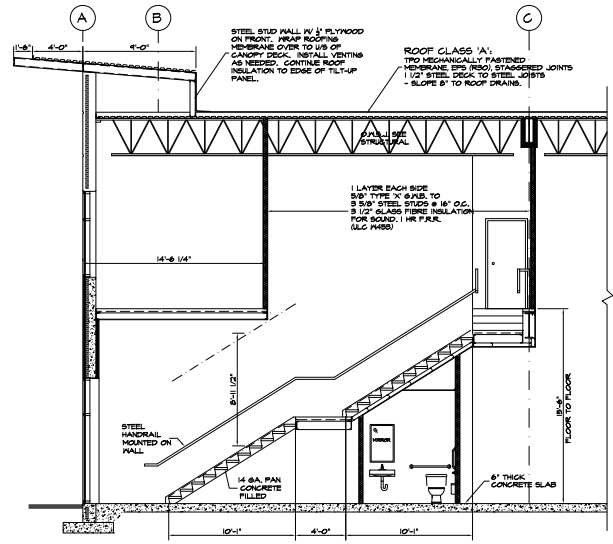
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REV.	DATE	DESCRIPTION
0.	3 NOV/21	ISSUED FOR OF APPLICATION
1.	28 MAR/22	RE-ISSUED FOR OF APPLICATION
2.	22 FEB/23	RE-ISSUED FOR OF APPLICATION
3.	14 MAR/23	RE-ISSUED FOR OF APPLICATION

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STAIR 'A' SECTION - X
SCALE: 1/4" = 1'-0"



STAIR 'B' SECTION - Y
SCALE: 1/4" = 1'-0"

PROJECT
NORTH
CLOVERDALE
STRATA

17801 - 64th AVENUE
Surrey, B.C.

CONSULTANTS

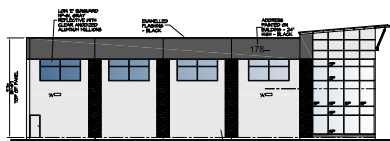
TECX CONSTRUCTION LTD.
51337-216th STREET
LANGLEY, B.C.

PROJECT
NUMBER

SHEET BUILDING 200
TITLE ROOF PLAN

SHEET No.
DATE: 28 OCT 23
DRAWN BY: TDH
CHK'D BY: TDH

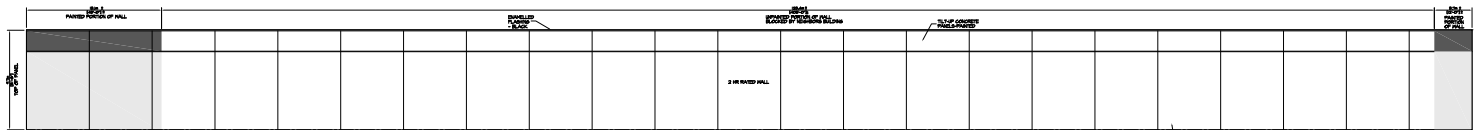
A11
OF 1



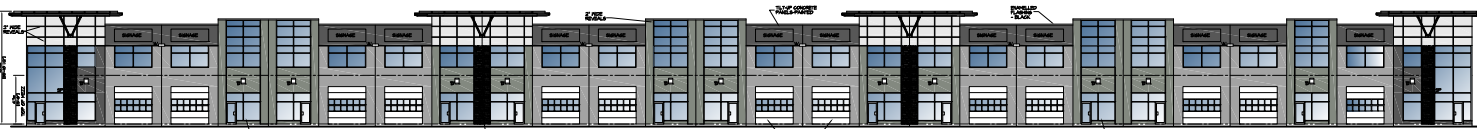
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - 65A AVENUE
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

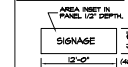
LOW 'E' SINGUARD
NF-61 GRAY
REFLECTIVE WITH
CLEAR ANODIZED
ALUMINUM MULLIONS

MANUFACTURED
FIELDSTONE

PAIN COLOURS

	PAIN #1 DULLX - PENTER GREY 50TY 4100S
	PAIN #2 DULLX - LOWM 50TY 1204S
	PAIN #3 DULLX - GREY TNEED 50TY 2200H
	PAIN #4 DULLX - FOREST BLACK 50TY 1000S

SIGNAGE LOCATIONS - TYP.



NOTE: NO SIGNAGE TO BE INSTALLED WITHOUT A SEPARATE SIGN PERMIT ISSUED BY CITY OF SURREY.

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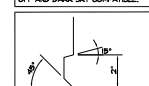
BOMB MUST BE COMPOSED OF ENGINEERED LETTERS AND LOGOS (CHANNEL, ROUTED, FOAM ETC.)

EXTERIOR LIGHT FIXTURES

A LOCATED AT 2'-0\"/>

B LOCATED AT 12'-0\"/>

*ALL LIGHTS SPECIFIED ARE FULL CUT OFF AND DARK SKY COMPATIBLE.



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REVISIONS

REV.	DATE	DESCRIPTION
1.	28 MAR'23	RE-ISSUED FOR IF APPLICATION
2.	30 MAR'23	RE-ISSUED FOR IF APPLICATION
3.	30 MAR'23	RE-ISSUED FOR IF APPLICATION
3.	14 MAR'23	RE-ISSUED FOR IF APPLICATION

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PROJECT
NORTH CLOVERDALE STRATA

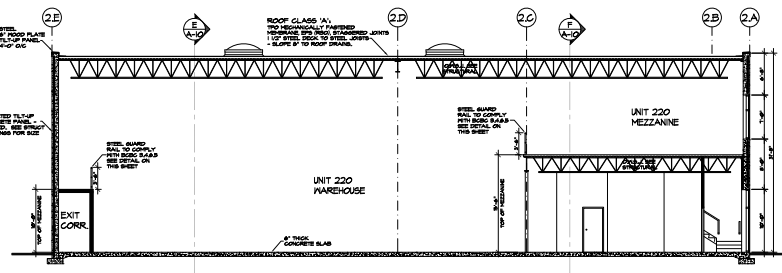
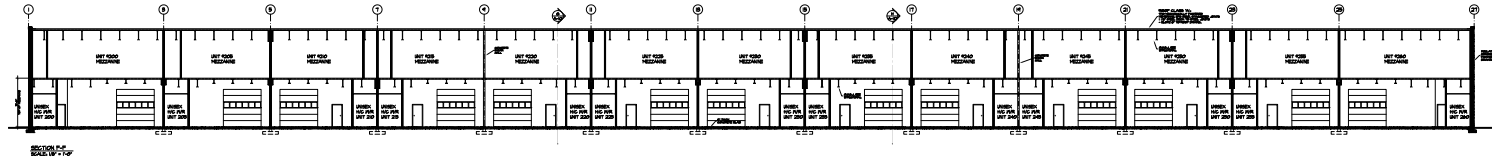
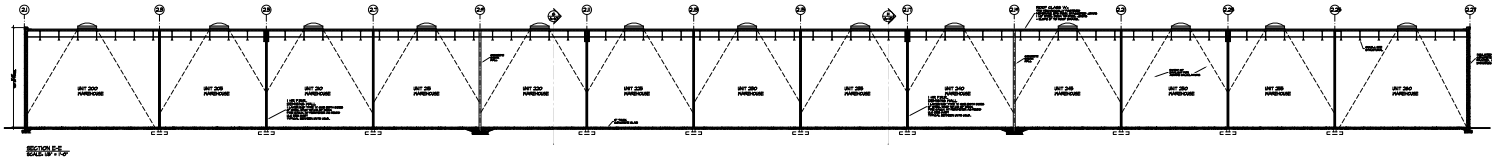
17801 - 64th AVENUE
Surrey, B.C.

CONSULTANTS

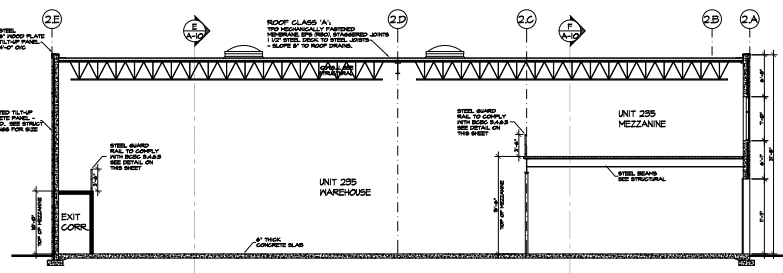
TECK CONSTRUCTION LTD.
5187 - 216th STREET
LANGLEY, B.C.

PROJECT NUMBER

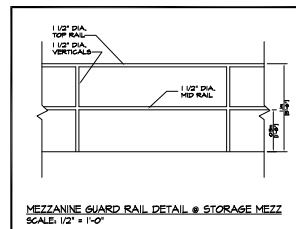
SHEET BUILDING 200
TITLE ELEVATIONS
DATE: 28 OCT '23
DRAWN BY: TDH
SHEET No. A12
OF 1



SECTION G-G
SCALE: 1/8" = 1'-0"



SECTION H-H
SCALE: 1/8" = 1'-0"



MEZZANINE GUARD RAIL DETAIL @ STORAGE MEZZ
SCALE: 1/2" = 1'-0"

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REV.	DATE	DESCRIPTION
0.	13 NOV/21	ISSUED FOR OF APPLICATION
1.	28 MAR/22	RE-ISSUED FOR OF APPLICATION
2.	22 FEB/23	RE-ISSUED FOR OF APPLICATION
3.	14 MAR/23	RE-ISSUED FOR OF APPLICATION

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V7N 2J6
TEL: 604-759-5759
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PROJECT
NORTH CLOVERDALE STRATA

17801 - 64th AVENUE
Surrey, B.C.

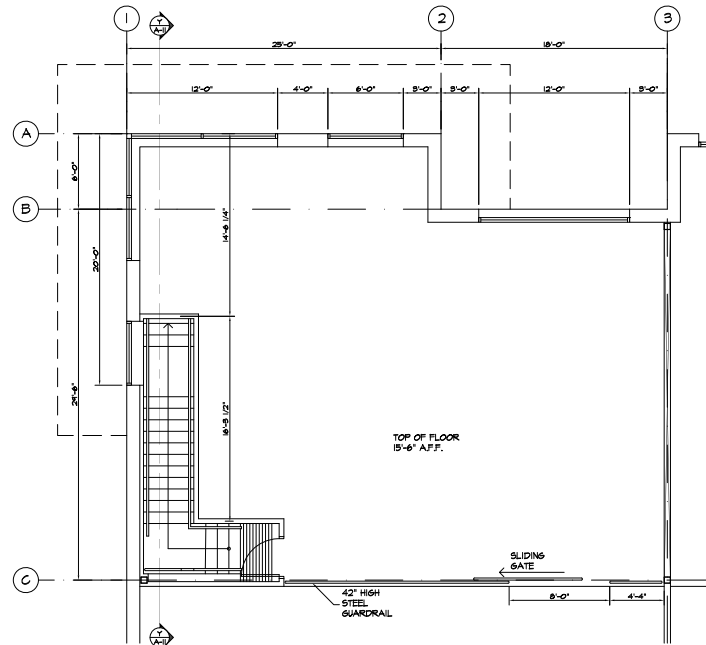
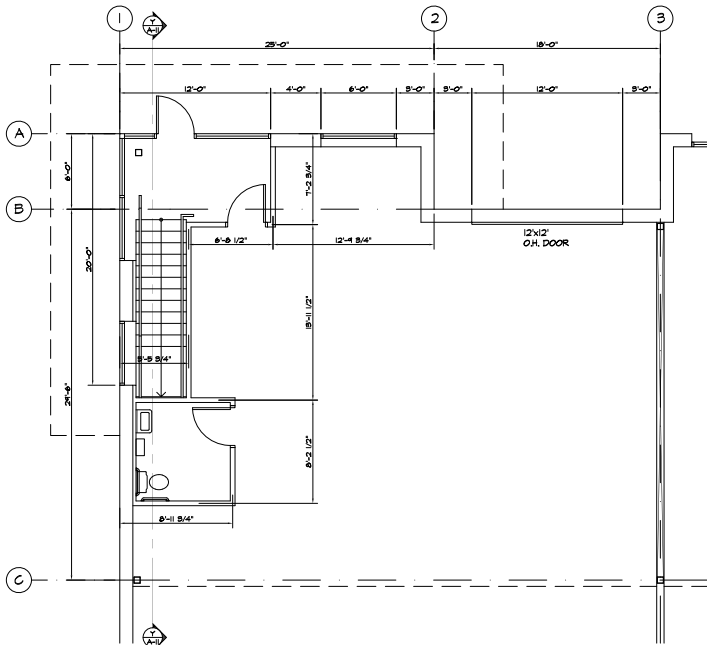
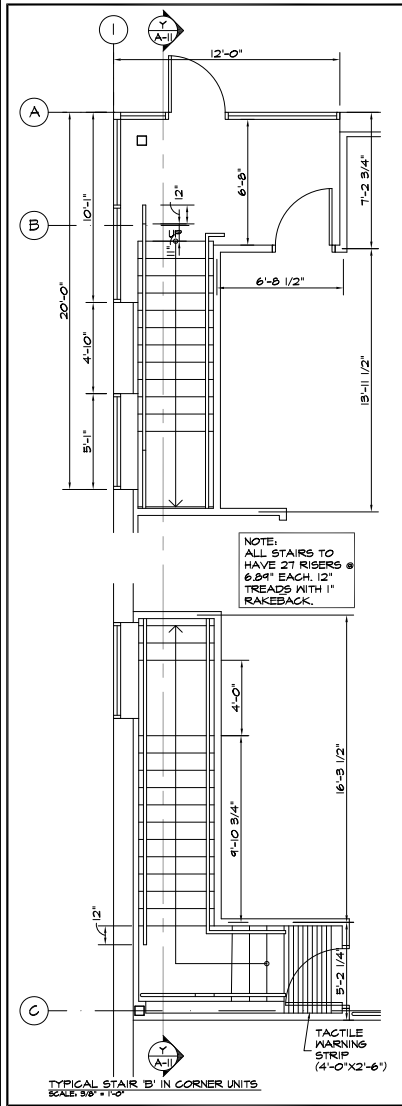
CONSULTANTS

TECX CONSTRUCTION LTD.
5187-216th STREET
LANGLEY, B.C.

PROJECT NUMBER
BUILDING 200

TITLE SECTIONS
SHEET No. **A13** OF **13**

SCALE: 1/8" = 1'-0" SHEET No. **A13** OF **13**
DATE: 28 OCT/21
CHK'D BY: TDH
DRN. BY: TDH



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REVISIONS	DATE	DESCRIPTION
1.	10 NOV'21	ISSUED FOR O.P. APPLICATION
2.	28 MAR'22	RE-ISSUED FOR O.P. APPLICATION
3.	22 FEB'23	RE-ISSUED FOR O.P. APPLICATION
4.	14 MAR'23	RE-ISSUED FOR O.P. APPLICATION

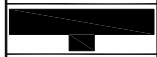
ATA
ATA ARCHITECTURAL DESIGN LTD.
78 DONMIGAL PLACE
NORTH VANCOUVER, B.C.
V7R 2J6
TEL: 604-795-5726
WWW.ATAARCHITECTURA.CA



PROJECT
NORTH CLOVERDALE STRATA

17801 - 64th AVENUE
Surrey, B.C.

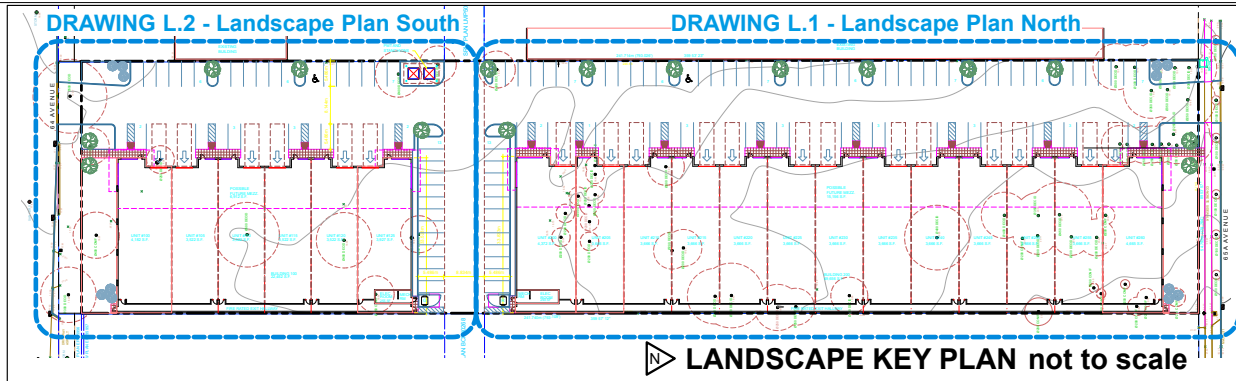
CONSULTANTS



TECK CONSTRUCTION LTD.
51187-2316th STREET
LANGLEY, B.C.

PROJECT NUMBER
SHEET BUILDING 100 & 200
TITLE STAIRS CORNER UNITS
SCALE AS NOTED
DATE 28 OCT '23
CHK'D BY
DR'N. BY TDH

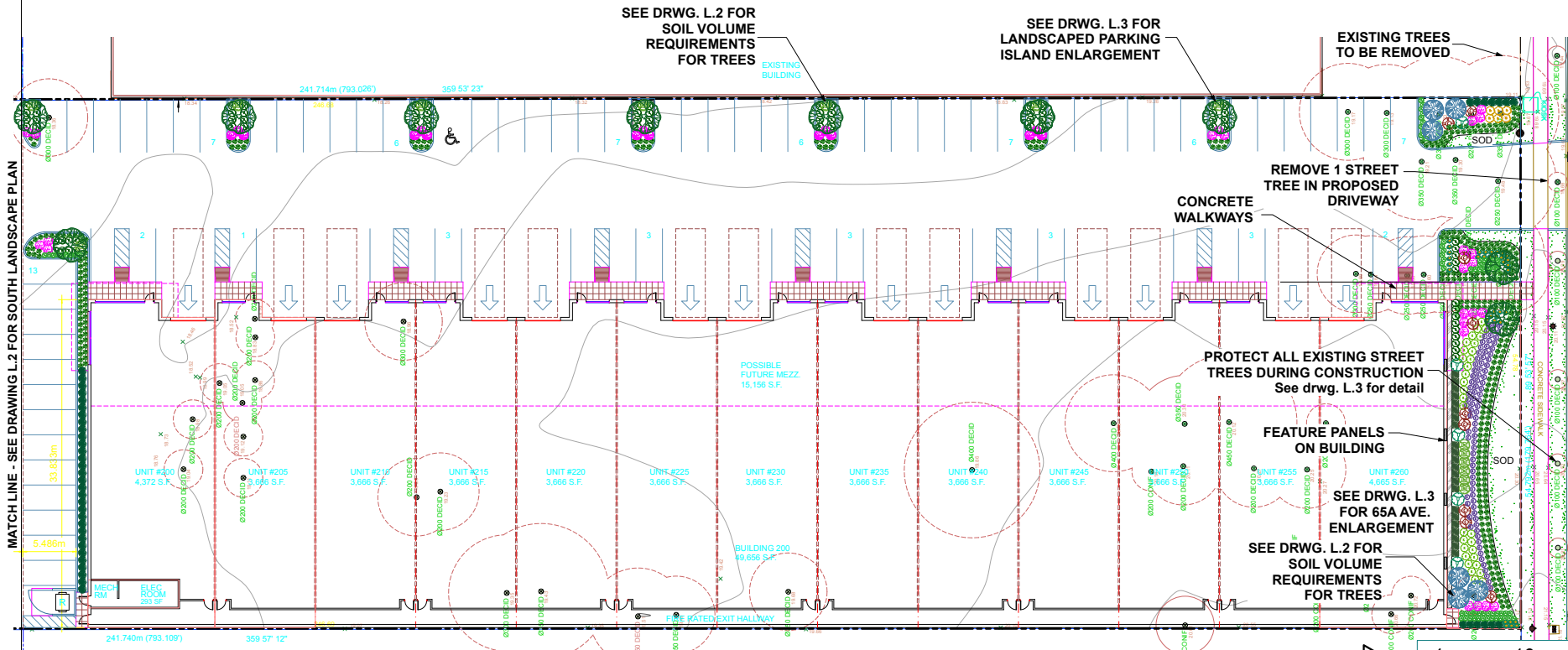
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Notes
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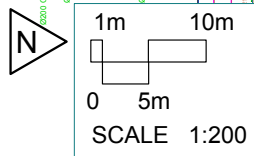
REVISIONS

REV	DATE	DESCRIPTION



SEE DRAWING L.2 FOR PLANT LIST

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LANDSCAPE PLAN NORTH SCALE= 1:200

PROJECT
CLOVERDALE STRATA

17801 - 64th Avenue
 Surrey, B.C.



SHEET TITLE
 LANDSCAPE PLAN - NORTH

SCALE 1:200 SHEET No.
 DATE OCT. 26/21
 CHK'D BY RD
 DRN. BY RD

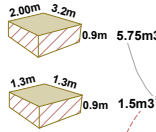
L1 of 4

REV. -

TREE SOIL VOLUMES CALCULATIONS CALCULATED PER METRO VANCOUVER URBAN FOREST CLIMATE ADAPTATION FRAMEWORK (0.6m3 GROWING MEDIUM PER m2 OF ESTIMATED CANOPY AREA)			
TREE TYPE	ESTIMATED CANOPY SIZE (diameter in m)	ESTIMATED CANOPY AREA (m2)	SOIL VOLUME REQUIRED AT 0.6m3 PER m2 OF CANOPY
Quercus robur 'fastigiata'	3.5m	9.6m ²	9.6 X 0.6=5.75m ³
Picea omorika	1.8m	2.5m ²	2.5 X 0.6= 1.5m ³

NOTE: SOIL VOLUMES FOR TREE PITS ARE IN ADDITION TO 30cm DEPTH GROWING MEDIUM CONTINUOUS THROUGHOUT ALL LAWN AREAS AND 45cm DEPTH THROUGHOUT ALL PLANTING BEDS.

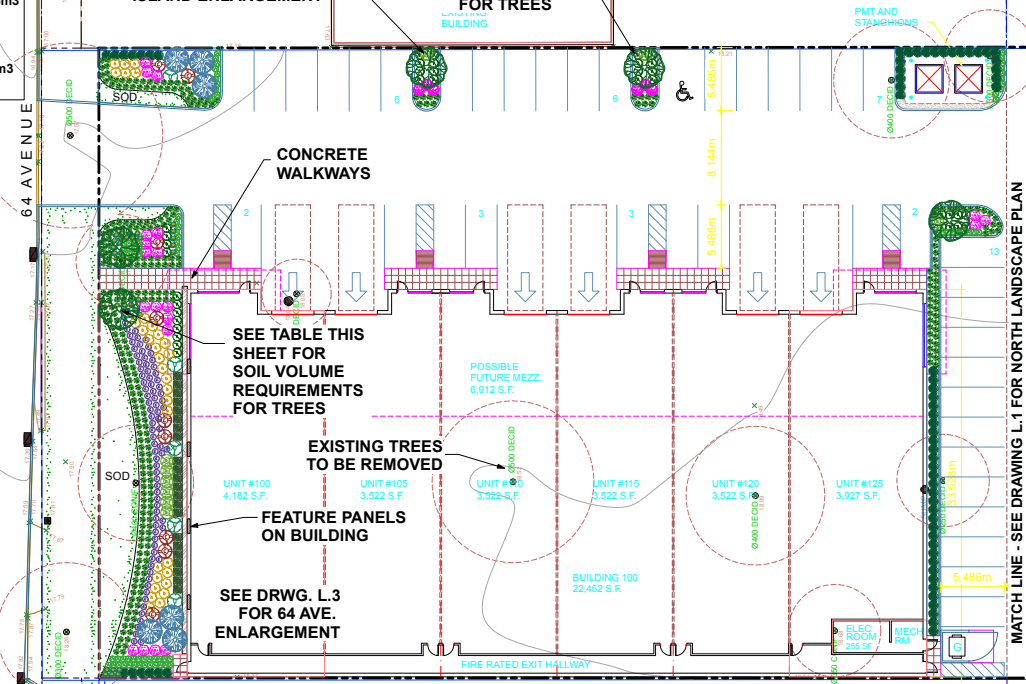
TREE PLANTING PIT
MINIMUM DIMENSIONS
(not to scale)



****NOTE:**
CONTACT LANDSCAPE ARCHITECT
FOR MANDATORY INSPECTION OF
EXCAVATED TREE PITS AND PLANTING
BED SUBGRADE PRIOR TO
INSTALLING ANY GROWING MEDIUM

SEE DRWG. L.3 FOR
LANDSCAPED PARKING
ISLAND ENLARGEMENT

SEE TABLE THIS
SHEET FOR
SOIL VOLUME
REQUIREMENTS
FOR TREES



Notes
THIS LANDSCAPE PLAN FORMS AN INTEGRAL PART OF THE DEVELOPMENT AND BUILDING PERMITS AND MUST BE REFERRED TO FOR RELEASE OF THE LANDSCAPING LETTER OF CREDIT.
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REVISIONS		
REV.	DATE	DESCRIPTION
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2		

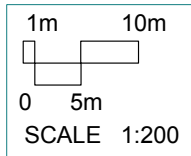
NOTES:
ALL WORK & MATERIALS TO CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD AND IN ACCORDANCE WITH THE CITY OF SURREY STANDARDS, UNLESS OTHERWISE NOTED.
ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.
PLANT SPACINGS ARE GIVEN AS MAXIMUMS. IN SOME INSTANCES PLANTS ARE SPACED CLOSER THAN MAXIMUM SPACING. IN THE EVENT OF DISCREPANCY, A MANUAL COUNT OF PHYSICAL SYMBOLS IN THE LANDSCAPE PLAN TAKES PRECEDENT.
GROWING MEDIUM
PROVIDE FERTILITY & PARTICLE SIZE ANALYSIS TEST FOR GROWING MEDIUM PRIOR TO STARTING WORK.
GROWING MEDIUM TO BE WEED FREE AND COMPOSTED, CONFORMING TO BCNTA STANDARD FOR 'LEVEL 2 SOILS'.
PROVIDE GROWING MEDIUM FERTILITY AND PARTICLE SIZE TEST ANALYSIS TO LANDSCAPE ARCHITECT PRIOR TO DELIVERING ANY SOIL TO THE SITE. SOIL TEST TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY SOIL BEING DELIVERED TO THE SITE.
PROVIDE GROWING MEDIUM DEPTHS AS FOLLOWS:
TREES-REFER TO TABLE ON DRWG. L.2 FOR REQUIRED TREE PIT SIZES.
CONTACT LANDSCAPE ARCHITECT FOR MANDATORY TREE PIT EXCAVATION REVIEW, PRIOR TO INSTALLATION OF ANY GROWING MEDIUM.
SHRUB & GROUND COVER BEDS:18" DEPTH CONTINUOUS.
LAWN AREAS-Min. 12" DEPTH CONTINUOUS.
MULCH
PROVIDE 5CM DEPTH (2") COMPOSTED BARK MULCH IN ALL PLANTING BEDS.
STREET TREES
STREET TREES IN CITY BOULEVARD ARE NOT IN CONTRACT AND ARE TO BE INSTALLED BY CITY OF SURREY.
DAMAGE TO EXISTING
CONTRACTOR TO MAKE GOOD ANY DAMAGE TO EXISTING BOULEVARDS TO SATISFACTION OF THE LANDSCAPE ARCHITECT AND THE CITY OF SURREY.
IRRIGATION
PROVISION OF A LOW FLOW / RAIN SENSING AUTOMATED IRRIGATION SYSTEM IS RECOMMENDED (BY DESIGN/BUILD).

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
	12	Picea omorika	Serbian Spruce	3.0m ht., B&B	
	16	Quercus robur 'fastigiata'	Pyramidal English Oak	6cm. cal. B&B	
SHRUBS & GROUNDCOVERS					
	44	Arctostaphylos Uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnickinnick	10cm Cont.	0.45m O.C.
	58	Azalea 'Hino White'	Hino White Azalea	#2 Cont.	90cm O.C.
	18	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#2 Cont.	75cm O.C.
	165	Cornus alba 'Elegantissima'	Silverleaf Dogwood	#3 Cont.	90cm O.C.
	69	Erica carnea 'Springwood White'	Springwood White Heather	#1 Cont.	0.60m O.C.
	31	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Cont.	0.60m O.C.
	574	Kerria japonica	Japanese kerria	#2 Cont.	90cm O.C.
	10	Nassella tenuissima	Mexican Feather Grass	#1 Cont.	60cm O.C.
	37	Osmanthus delavayii	Osmanthus	#3 Cont.	
	16	Potentilla fruticosa 'Goldfinger'	Goldfinger Shrubby Cinquefoil	#2 Cont.	90cm O.C.
	44	Ribes sanguineum	Fragrant Currant	#3 Cont.	90cm O.C.
	109	Taxus media 'Hicksii'	Hick's Yew	#3 Cont.	75cm O.C.
		Thuja occidentalis 'Smaragd'	Smaragd Cedar	1.5m ht.	0.75m O.C.

LANDSCAPE PLAN SOUTH SCALE= 1:200

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PROJECT
CLOVERDALE STRATA

17801 - 64th Avenue
Surrey, B.C.



SHEET TITLE	LANDSCAPE PLAN-SOUTH
SCALE	1:200
DATE	OCT. 26/21
CHKD BY	RD
DRN. BY	RD
REV.	

SHEET No.
L2 of 4

ESTABLISHMENT MAINTENANCE SPECIFICATION

SUPPLEMENTARY CONTRACT SPECIFICATIONS

ESTABLISHMENT MAINTENANCE

Section 029705
Page 1

SUPPLEMENTARY CONTRACT SPECIFICATIONS

ESTABLISHMENT MAINTENANCE

PAGE 2

1. PART 1 - GENERAL

1.1 INTENT

- .1 The intent of "establishment" maintenance is to define sufficient care to newly installed plant material for a relatively short period of time to ensure or increase the long-term success of the planting. The objective is the adaptation of plants to a new site in order to obtain the desired effect from the planting while reducing the rate of failure and unnecessary work associated with improper establishment. Establishment maintenance procedures apply to all vegetation, including the following:
 - .1 New trees and shrubs.
 - .2 New grass and sod.

1.2 SEPARATE PRICE

- .1 Provide a Separate Price for the work of this section.
- .2 Provide a Unit Price per trip for the cost of watering to the requirements of this section.

1.3 REFERENCE STANDARDS AND LEGISLATION

- .1 B.C. Landscape Standard latest Edition, jointly published by the B.C. Society of Landscape Architects and the B.C. Landscape and Nursery Association, all Sections.
- .2 Related Standards and Legislation as listed in B.C. Landscape Standard latest Edition, Section 14.1, Maintenance, General.
- .3 All Contract Documents and Drawings.

1.4 SITE REVIEW

- .1 Maintain a logbook recording all procedures and operations at each visit and any comments regarding conditions. Submit a monthly report to the Owner's Representative using Form 14.5 Landscape Maintenance Monthly Report – summarizing the operations and comments noted in the logbook.

1.5 SCHEDULING

- .1 Prepare a schedule of anticipated visits and submit to designated representative at start-up. The schedule shall be based on the B.C. Landscape Standard Table 14-10; RECOMMENDED MAINTENANCE PROCEDURES & FREQUENCIES- MAINTENANCE: *Level 3, Moderate*.
- .2 Maintenance operations shall be carried out predominately during the growing season between March 1 and November 30, however visits at other times of the year are required.

1.6 MAINTENANCE PERIOD

- .1 Provide maintenance of installed landscaping for 12 months following declaration of Substantial Performance of the Contract Work.

1.7 MAINTENANCE LEVEL

- .1 Maintain the landscape according to the B.C. Landscape Standard, Section 13, Table 7, Maintenance Level "3" Moderate.

2. PART 2 – PRODUCTS

2.1 MATERIALS

- .1 As specified in the Construction Contract Documents.

2.2 FERTILIZERS

- .1 Comply with the requirements of the B.C. Landscape Standard. Formulations and application rates as required by soil testing.

3. PART 3 - EXECUTION

3.1 PLANT MATERIAL ESTABLISHMENT

- .1 Watering
 - .1 During the first growing season, water new plants at least every ten (10) days between April 1st and July 31st, and every twenty (20) days between August 1st and September 15th. Minimum 25 gallons per tree per application. All tanks, hoses, probes or other necessary equipment shall be free of deleterious substances that can cause injury or harm to plants or pose a residual environmental risk in the soil.
 - .2 During the second growing season, water new plants at least every twenty days between April 1 and July 31 and once between August 1 and September.
 - .3 Apply water at an application rate and duration such that the water content reaches field capacity to the full depth of the growing medium. The next application shall take place when the water content reaches 25% of field capacity.
 - .4 Monitor soil moisture during the growing season. Scheduled applications of water shall be missed only when rainfall has penetrated the soil fully as required.

SUPPLEMENTARY CONTRACT SPECIFICATIONS

ESTABLISHMENT MAINTENANCE

PAGE 3

2. Mulching

- .1 Maintain mulches in the original areas and to the original depths.

3. Weed Control

- .1 Comply with B.C. Landscape Standards Table 14-7 for the Maintenance Level specified.
- .2 Minimum Standard: Comply with B.C. Landscape Standards Table 14-7, Maintenance Level 3, Moderate.
 - .1 Weed when isolated weed patches have a width of 150 mm (6").
 - .2 Weeding shall kill or remove 90% of weeds.
- .3 Frequency: Comply with B.C. Landscape Standards Table 14-10: Remove all weeds from all areas at least once per month throughout the year, every two weeks during the growing season and more frequently in the spring, as required, by hoeing or cultivation to a maximum depth of 80mm or by hand-pulling.

4. Pest and Disease Control

- .1 Inspect all planted areas for pests and diseases periodically and at least every two months during the growing season by an experienced person. Carry out treatment for pests or diseases promptly and consistently for maximum effectiveness. Comply with all B.C. Pesticide Control Act and municipal requirements.

5. Tree Support

- .1 Maintain stakes, guy wires and ties as shown in "Tree Planting Detail"
 - Check ties at least every two months to ensure that they are not causing a depression in the bark, loosen, repair or replace as necessary. All flagging of guy wires shall be visible and in good repair.
- .2 Newly planted replacement trees shall be supported as follows:
 - .1 Use two 2" diameter x 7' stakes. Set stakes minimum 2' in soil. Do not drive stake through root ball.
 - .2 Maintain tree in a vertical position.
 - .3 Tie with Pre-approved, commercial flat woven fabric belt, minimum width 50 mm (2.0").
- .3 All tree plantings to be as shown in "Tree Planting Detail"

6. Pruning

- .1 Comply with BC Landscape Standard 14.3.11
- .2 Limit pruning to that necessary to remove dead or injured branches and to correct structural weakness.
- .3 Maintain the natural shape of the plant.

SUPPLEMENTARY CONTRACT SPECIFICATIONS

ESTABLISHMENT MAINTENANCE

PAGE 4

7. Fertilizing

- .1 Once during the twelve-month period of establishment maintenance fertilize shrubs, trees and groundcovers according to soil or foliar tissue analysis requirements.

8. Litter and Debris

- .1 Remove all litter and debris from all areas during each site visit.

3.2 ESTABLISHMENT MAINTENANCE OF GRASS AREAS

1. Repairs

- .1 Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas.

2. Mowing

- .1 Mow all grass areas with a sharp mower when the grass reaches a height of 65mm. Mow to a height of 38mm. Edge with a proper edging tool. Use of a string line trimmer as an edger is not permitted. Remove clippings after each cut.

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REVISIONS		
REV.	DATE	DESCRIPTION

PROJECT
CLOVERDALE STRATA

17801 - 64th Avenue
Surrey, B.C.



11276 Ethuan Street
Surrey, British Columbia
V2X 1P3
Office & Mobile: (604) 460-0800

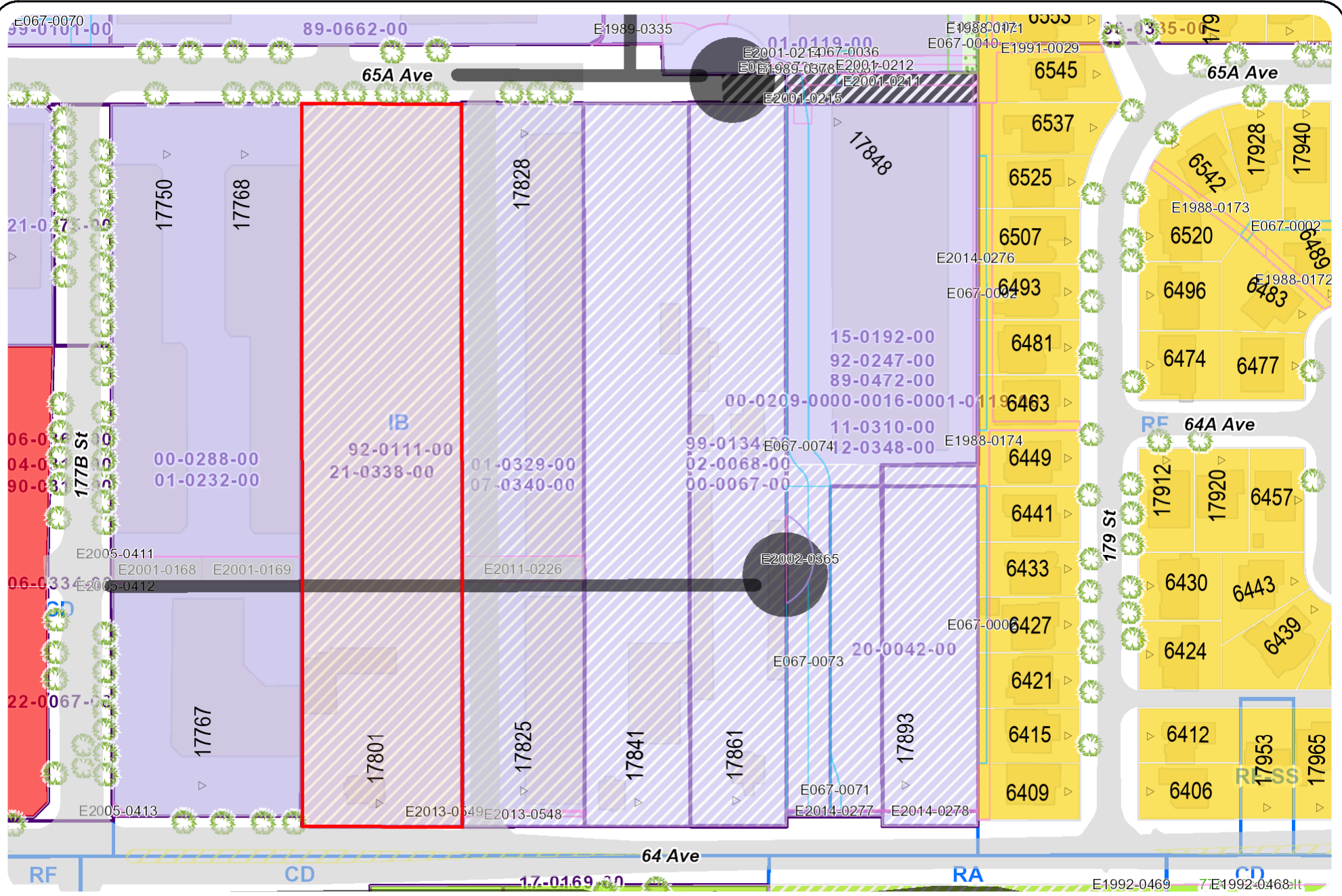
PROJECT
CLOVERDALE STRATA

17801 - 64th Avenue
Surrey, B.C.

RORY DAVEO
LANDSCAPE ARCHITECT
11276 Ethuan Street
Surrey, British Columbia
V2X 1P3
Office & Mobile: (604) 460-0800

SHEET LANDSCAPE
TITLE
MAINTENANCE SPECIFICATIONS

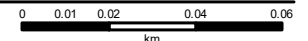
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Enter Map Description

Scale: 1:1,745

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Map created on: 2023-03-27

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **February 16, 2023** PROJECT FILE: **7821-0338-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 17801 64 Ave**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to the issuance of the Development Permit and Development Variance Permit.

BUILDING PERMIT

The following are required as a condition of the subsequent Building Permit issuance:

Property and Right-of-Way Requirements

- Register 8.611 m SRW to align with the existing east-west lane;
- Register a 0.50 m SRW along the north side of 64 Avenue.
- Register Restrictive Covenant for Right-in/Right-out access onto 64 Avenue.

Works and Services

- Construct north side of 64 Avenue;
- Construct laneway within SRW;
- Construct adequately-sized water, storm, and sanitary service connections, complete with inspection chambers, water meter, and backflow preventor to the lot. Abandonment of surplus connection(s), if any, is also required.

A Servicing Agreement is required as a condition of Building Permit.



Jeff Pang, P.Eng.
Development Services Manager
MS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Elm, Brandon	6	1	5
Maple, Japanese	1	1	0
Oak, Pin	4	4	0
Willow	1	1	0
Coniferous Trees			
Cedar, Deodar	1	0	1
Total	13	7	6
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		30	
Total Retained and Replacement Trees		36	



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0338-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-587-951
Lot 1 Section 17 Township 8 New Westminster District Plan BCP3644
17801 64 Ave

(the "Land")

3. (a) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

(a) In Section F. Yard and Setbacks of Part 47 "Business Park Zone (IB)", the minimum side yard setback is reduced from 7.5 metres to 0.0 metres.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

