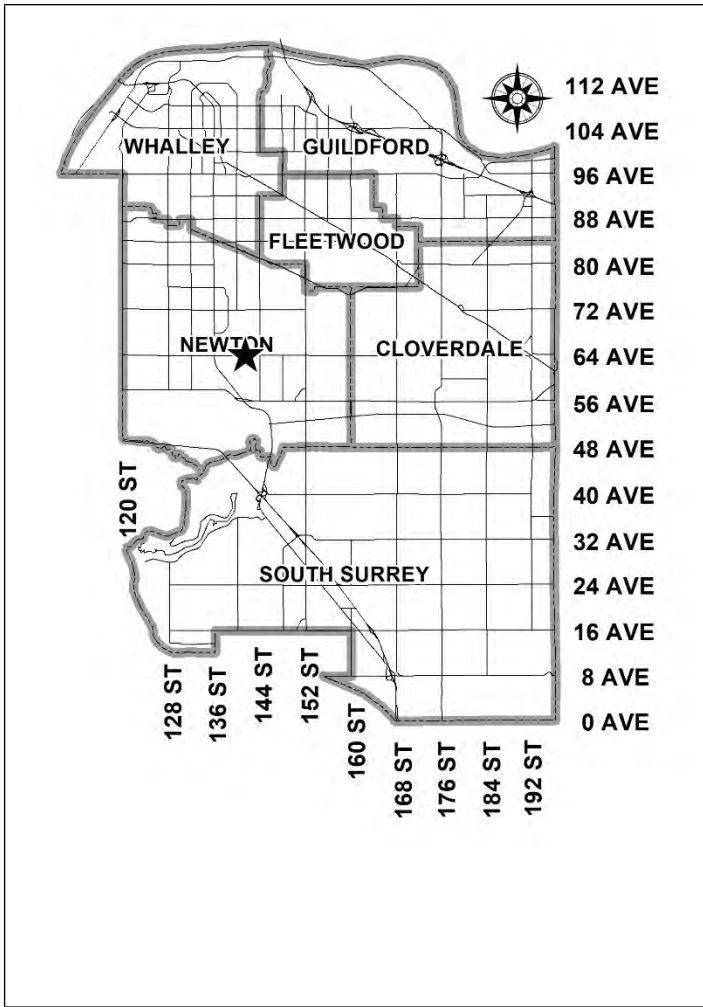


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7921-0310-00

Planning Report Date: May 01, 2023



PROPOSAL:

- **NCP Amendment** for a portion of the site from Townhouses (15 upa max) to Townhouses (25 upa max)
- **Rezoning** from RA and CD Bylaw No. 16604 to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 46 Townhouse units

LOCATION:

14174 - 64 Avenue

14118 - 64 Avenue

ZONING:

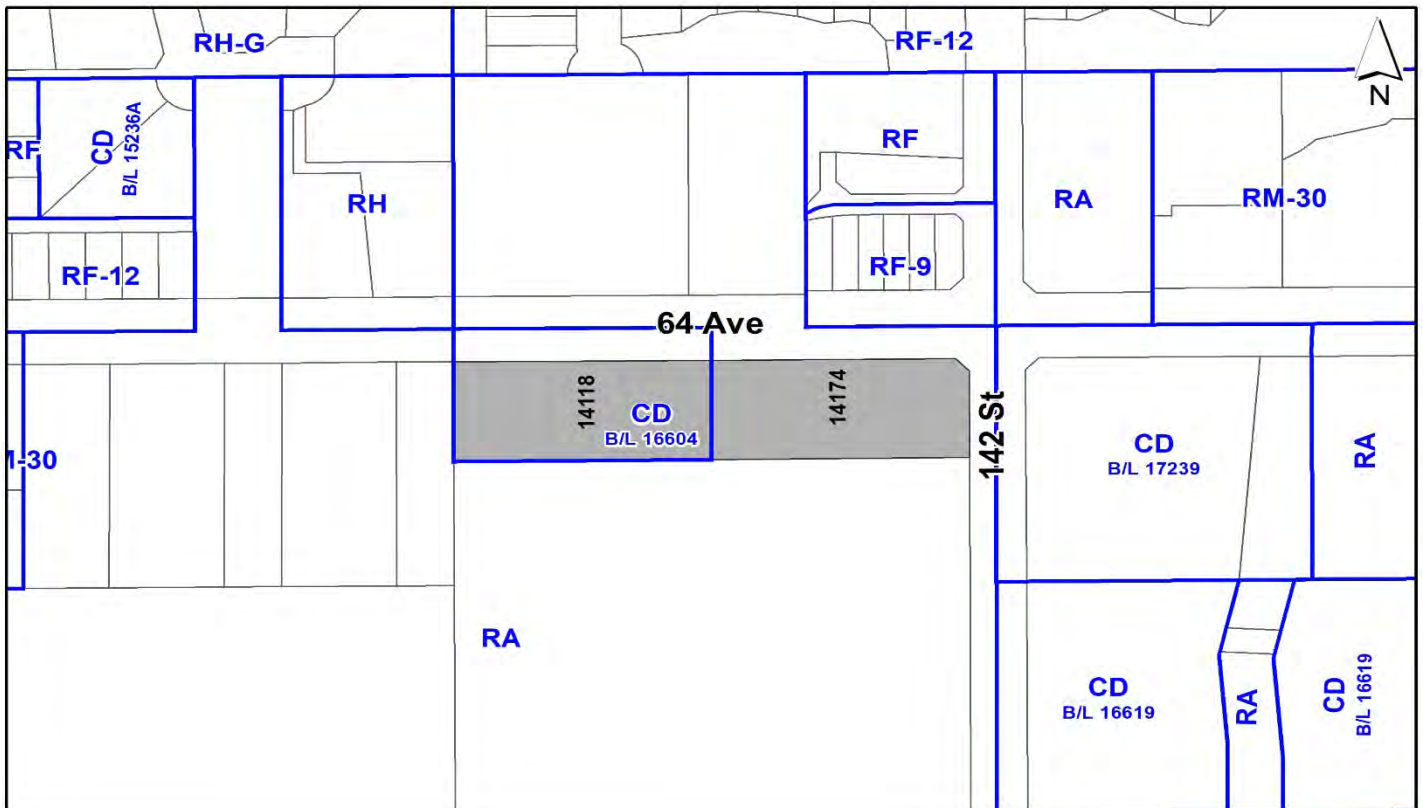
RA and CD Bylaw No. 16604

OCP DESIGNATION:

Urban

NCP DESIGNATION:

Townhouses (15 upa max),
Townhouses (25 upa max) and
Utility R/W / Greenway.



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) from Townhouses (15 upa max) to Townhouses (25 upa max) for a portion of the site.
- Proposing to reduce the side (south) yard setback requirements of the RM-30 Zone.
- Proposing to vary regulations in the Sign By-law.

RATIONALE OF RECOMMENDATION

- The proposal complies with the “Urban” designation in the Official Community Plan (OCP).
- The proposal complies with the “General Urban” designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of South Newton.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- As the site is narrow, the proposed reduction to the side (south) yard setback helps achieve a functional unit layout with minimal impacts to the school property to the south. The proposed buffer along the south property line will provide screening between the two land uses.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Development Permit No. 7905-0331-00.
2. A By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (Bylaw No. 16604) and "One-Acre Residential Zone (RA)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7921-0310-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
4. Council approve Development Variance Permit No. 7921-0310-00 (Appendix VII) varying the following to proceed to Public Notification:
 - (a) to reduce the minimum side (south) yard setback of the "Multiple Residential 30 Zone (RM-30)" from 6 metres to 4.6 metres for the second and third storey of buildings 6, 7, 8 and 9; and
 - (b) to vary the Sign By-law as described in Appendix VI.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;

- (i) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-30 Zone, at the rate in effect at the time of Final Adoption;
 - (j) submission of an acoustical report for the units adjacent to 64 Avenue and 142 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (k) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (l) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City’s Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department;
 - (m) registration of a Section 219 Restrictive Covenant for installation and maintenance of a landscape buffer in accordance with the Ecosystem Development Plan;
 - (n) discharge conditional access easement BB1269486; and
 - (o) registration of an access easement to provide future access to 64 Avenue for 14044, 14060, 14070, and 14090 – 64 Avenue.
6. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate a portion of the land from "Townhouses (15 upa max)" to "Townhouses (25 u.p.a max)" when the project is considered for final adoption (Appendix V).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant	Townhouses (15 upa max), Townhouses (25 upa max) and Utility R/W / Greenway.	CD (Bylaw No. 16604) and RA
North (Across 64 Avenue):	Single Family Small Lot and Archibald Creek	Single Family Small Lots, Townhouses (15 upa max) and Creeks and Riparian Setbacks	RA and RF-9

Direction	Existing Use	NCP Designation	Existing Zone
East (Across 142 Street):	Townhouses	Townhouses (25 upa max)	CD (Bylaw No. 17239)
South:	School	Existing and Future School	RA
West:	Single Family and Archibald Creek	Townhouse (15 upa max) and Creeks and Riparian Setbacks	RA

Context & Background

- The subject site consists of parcels at 14174 and 14118 – 64 Avenue, which total 7,878.6 square metres in area.
- The site is designated “Urban” in the Official Community Plan.
- 14118 – 64 avenue is designated “Townhouses (25 upa max)” and “Utility R/W and Greenway” in the South Newton Neighbourhood Concept Plan (NCP) and is zoned “Comprehensive Development Zone (CD Bylaw No. 16604)”.
- 14174 – 64 Avenue is designated “Townhouses (15 upa max)” and zoned “One-Acre Residential Zone (RA)”.
- BC Hydro transmission lines, located within a statutory right of way, occupy a 24.3 metre wide area at the western extent of the property. This right of way corresponds to the portion of the site designated “Utility R/W and Greenway” in the South Newton NCP. This land is no longer required for a greenway since an alternative alignment for the greenway, located to the west of the site, was previously established.
- A portion of a 60 metre wide Green Infrastructure Corridor associated with Archibald Creek is located on the northwest portion of the property and is mostly under the BC Hydro right of way. The streamside protection area for Archibald creek is not located on the property.
- Development Application No. 7905-0331-00 was given Final Adoption by Council on December 15, 2008, which rezoned the site from the RA Zone to CD Zone (Bylaw No. 16604), redesignated the site from “Townhouses (15 upa max)” to “Townhouses (25 upa max)” in the South Newton NCP, and issued a Development Permit to allow the development of 15 townhouse units on 14118 – 64 Avenue.
- The development under that application was never constructed and the site was held by the applicant until they gained ownership of the abutting property 14174 – 64 Avenue. The applicant is now pursuing redevelopment of the combined site at densities that are consistent with current market conditions.

School District: The School District has advised that there will be approximately 40 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

22 Elementary students at Goldstone Park Elementary School
11 Secondary students at Sullivan Heights Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed in two phases and ready for occupancy as follows:

Phase 1: Fall 2025

Phase 2: Spring 2026.

BC Hydro BC Hydro has reviewed the proposal and has no concerns. BC Hydro has stated that the visitor parking stalls, drive aisle, outdoor amenity, and planting are generally acceptable uses within the right of way as per the “BC Hydro Rights of way Guidelines”. Final approval from BC Hydro is required prior to construction.

Surrey Fire Department: The Surrey Fire Department has no concerns with the proposal.

Parks, Recreation & Culture: Sullivan Heights Park is the closest active park with amenities including, rugby field, cricket pitch, mini-soccer field, and a kabbadi field, and is 450 metres walking distance from the development. 62P - Greenbelt is the closest park with natural area and is across 64 Avenue from the development.

Transportation Considerations

- Two driveways are proposed to the site, one on 142 Street to the east and the other at the northwest corner on 64 Avenue adjacent to the BC Hydro right of way. Together the two driveways will facilitate vehicle circulation to and from the site and will provide functional fire access.
- As part of Development Application No. 7905-0331-00, a conditional access easement was registered against 14118 – 64 Avenue to grant access to the project’s 64 Avenue driveway to the following properties: 14044, 14060, 14070, 14090 and 14174 – 64 Avenue.
- To avoid multiple driveways along 64 Avenue, it will be necessary for the site to grant the lands to the west access from the 64 Avenue driveway proposed as part of the subject application. However, the existing easement configuration is not reflective of the current layout.

- As part of the subject application, the applicant will be required to discharge the existing easement and register a new easement granting the lots to the west: 14044, 14060, 14070, and 14090 – 64 Avenue, access to the site's 64 Avenue driveway.
- The applicant is required to provide 1.442 metres width of road dedication along 64 avenue to help achieve the ultimate 30 metre road width and 1.942 metres width along 142 street to help achieve the ultimate 24 metre road width.
- Bus stops for bus route 364 are located at the adjacent intersection of 64 Avenue and 142 Street. Route 364 provides service between Scottsdale Exchange and Langley Centre every 20 – 30 minute.
- There are painted bike lanes on 64 Avenue and on 142 Street south of 64 Avenue.
- There is a planned multi-use pathway on the north side of 64 Avenue, which once constructed will form part of a larger active transportation network in South Newton.

Parkland and/or Natural Area Considerations

- Archibald Creek is located over 30 metres to the west of the site, as well as to the north of the site across 64 Avenue. Archibald Creek flows northwest and drains into Hyland Creek west of 144 Street. The creek runs diagonally under 64 Avenue via a culvert. The site falls outside of the Riparian Assessment Area for Archibald Creek and is not subject to review and protection as part of this application through the Sensitive Ecosystems Development Permit.
- There is a 60 metre wide Green Infrastructure Corridor centered along Archibald Creek. The Green Infrastructure Corridor falls onto the subject site based on how the Creek is culverted under 64 Avenue. The portion of the corridor impacting the site is largely located within the BC Hydro Corridor. The Green Infrastructure Corridor is subject to remediation and protection as part of the proposal through a Development Permit for Sensitive Ecosystems.
- There is a mapped Class C ditch located on the shared property boundary of 14118 and 14174 – 64 Avenue and an unmapped depression along the southern boundary of the site. These features were investigated by EBB Environmental Consulting Inc. and confirmed as unprotected features under the applicable environmental regulations.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated "General Urban" in the Regional Growth Strategy (RGS) and the proposal complies with this designation.

Official Community Plan

Land Use Designation

- The subject site is designated "Urban" in the Official Community Plan (OCP) and the proposed townhouse project comply with the "Urban" designation.

Themes/Policies

- A3.2 Encourage the development of remaining vacant lands in urban neighbourhoods to utilize existing infrastructure and amenities and to enhance existing neighbourhood character and viability.

(The proposed development is located on an under-developed piece of land, that is designated Urban in the OCP, and is well served by bus and bike routes.)

- A4.2 Encourage the full and efficient build-out of existing planned urban areas in order to:
 - achieve planned capacities;
 - use infrastructure efficiently;
 - provide housing options; and
 - provide amenities for residents.

(The proposed development helps achieve the build-out of the South Newton NCP area.)

- B6.4 Ensure new development responds to the existing character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

(The proposed townhomes are well situated at corner of an arterial and collector road and appropriately buffered from the school site to the south. The proposal responded to the existing development context by considering the setbacks of the existing townhouse complex across 142 Street.)

Secondary Plans

Land Use Designation

- A portion of the subject site (14174 – 64 Avenue) is designated "Townhouses (15 upa max)" and the remaining portion of the site (14118 – 64 Avenue) is designated "Townhouses (25 upa max)" and "Utility R/W / Greenway" in in the South Newton Neighbourhood Concept Plan (NCP).
- The applicant proposes to amend the South Newton NCP designation of 14174 – 64 Avenue to "Townhouses (25 upa max)".

Amendment Rationale

- 14118 – 64 Avenue was redesignated from "Townhouses (15 upa max)" to "Townhouses (25 upa max)" through Development Application No. 7905-0331-00 to permit the development of 15 townhouses units at a net site density of 21 units per acre. The NCP amendment was supported because the Zoning Bylaw does not permit the BC Hydro right of way area to be

included in density calculation, reducing the amount of developable area on the site. The proposal achieved the same building form that was original intended under NCP and complied to the NCP design guidelines.

- 14118 – 64 Avenue was never developed under the prior approvals gained through Development Application No. 7905-0331-00. As the current development application includes both 14118 and 14174 – 64 Avenue, an amendment to the South Newton NCP designation for 14174 – 64 Avenue is warranted to ensure both properties are being developed in a comprehensive manner.
- The BC Hydro right of way is considered undevelopable land in the Zoning Bylaw and is not permitted to be included in the calculation of unit density. As a result, the net unit density of the proposed townhouse development is 26.7 units per acre (66 units per hectare), which results in three units above the plan density.
- When considering the right of way as part of the site area, the proposed development would have a unit density of 24.7 units per acre (61 units per hectare).
- Unlike other forms of undevelopable area, (i.e. watercourses and ravines), the BC Hydro right of way is not completely unusable. The applicant is proposing to use the site for vehicle circulation, visitor parking and outdoor amenity in the form of planter boxes, which are compatible uses in the BC Hydro right of way.
- The applicant has proposed 254 square metres of outdoor amenity area, 116 square metres above the requirements of the Zoning Bylaw.
- The use of the right of way allows that area to be a functional portion of the site, even though it is not considered developable area as defined by the Zoning Bylaw.
- The South Newton NCP was adopted by Council in June 1999 and is reflective of the form of development that was appropriate at that time. Since 1999, densities have steadily increased due to increased cost of land, changing market conditions including housing affordability, and to reflect the form of housing that is appropriate in an urbanizing City.
- For these reasons, staff find that it is reasonable to amend the NCP land use designation and that the proposal meets the intent of the “Townhouses (25 upa max)” designation.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

Themes/Objectives

- Provide a mix of housing densities and types ranging from small lot, compact single family lots to well-designed townhouses and multi-storey apartments, to accommodate a range of needs.

(The proposed development will add townhouses to the mix of different housing options in South Newton, which range from single family small lots and semi-detached residential, to townhouses and apartment units.)

- 1.9 To improve the quality of the streetscape and reinforce the street oriented residential character of South Newton.
- 1.10 To promote high visual quality in the treatment of yards abutting the public streets.

(The proposed development has units facing the streets with individual entrances on both 142 Street and 64 Avenue. Street facing patios, front yard landscaping, and traditional design elements help strengthen the relationship of the development to the public streets. The retention of a Grand Fir tree along 64 Avenue will also contribute to a high quality streetscape).

- 4.1 Architectural compatibility in terms of scale and massing between adjoining developments is recommended.

(The proposed development is well located at the intersection of an arterial and collector road near the edge of the NCP area. The proposal incorporates similar setbacks at the northeast corner of the site to the townhouses located across 142 Street. Landscaping along the south lot line ensures that the townhouses and the school site are well buffered).

Zoning By-law

- The applicant proposes to rezone the subject site from “Comprehensive Development Zone (CD Bylaw No. 16604)” and “One-Acre Residential Zone (RA)” to “Multiple Residential 30 Zone (RM-30)”.
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the “Multiple Residential 30 Zone (RM-30)” and parking requirements.

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
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RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Unit Density:	75 units per hectare/30 units per acre	58 units per hectare (gross)/66 units per hectare (net) 23.6 units per acre (gross)/ 26.7 units per acre (net)
Floor Area Ratio:	1.0	0.87
Lot Coverage:	45%	33%
Yards and Setbacks		
North (Street Side Yard):	4.5 m	4.5 m to Buildings 1 - 4; 5.6 m to Building 5
East (Rear):	6.0 m	26.3 m
South (Side):	6.0 m	4.6 m
West (Front):	4.5 m	4.5 m
Height of Buildings		
Principal buildings:	13 m	12.1 m
Accessory buildings:	11 m	8.2 m
Amenity Space		
Indoor Amenity:	138 m ²	The proposed 128 m ² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	138 m ²	The proposed 254 m ² meets the Zoning By-law requirement.
Parking (Part 5)		
Number of Stalls		
Residential:	92	92
Residential Visitor:	9	9
Total:	101	101
Tandem (%):	50%	48%
Bicycle Spaces		
Residential Visitor:	6	6

Setback and Sign Variances

- The applicant is requesting the following variances:
 - To reduce the minimum side (south) yard setback from 6.0 metres to 4.6 metres for the second and third storey of buildings 6, 7, 8 and 9; and
 - To reduce the minimum setback of a freestanding sign from 2.0 metres to 0.6 metres.
- The proposed reduction of the south yard setback only applies to the second and third storey of the townhouse units. The ground elevation will be setback 6.0 metres.

- The proposed 1.4 metre reduction to the setback helps facilitate functional layouts for the living and bedroom areas of the proposed townhomes.
- The applicant is proposing a site identification sign at the southeast corner of the site, south of the 142 Street driveway. The sign is unable to comply with the required 2 metre setback to the south lot line, given that the driveway is required to be shifted as far south of the 142 Street and 64 Avenue intersection as possible.
- Both of the requested variances are a result of the narrowness of the site.
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,136 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current fee for the Newton Community Area is \$16,020 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 10, 2022, and the Development Proposal Signs were installed on February 21, 2023. Pre-notification letters were sent to the Panorama Neighbourhood Association and the Sullivan Amateur Athletic and Community Association. Staff received three responses from neighbouring residents and no response from the two community associations. The respondents raised the following concerns (staff comments in italics):

Increase in Traffic and Insufficient Street Parking

(To improve traffic dispersion from the site, a driveway onto 64 Avenue is proposed in addition to a driveway on 142 street. Typically, driveways onto arterial roads are usually not permitted, however, in this circumstance it is the only means to properly facilitate the movement of vehicles heading north and east from the site. The subject site is also in proximity to a transit route on 64 Avenue, which will help alleviate traffic concerns.

The project meets the Zoning Bylaw requirements for on-site parking. The project will have a negligible impact on the demand for on-street parking in the immediate neighbourhood).

School Capacity

(The School District has provided comments on the proposal, and the forecast is for the addition of a total of 33 students to the public school system, including both elementary and secondary schools).

DEVELOPMENT PERMITS

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located at the northwest corner of the property. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Green Timbers BCS management area, with a Medium ecological value.

- The BCS further identifies the GIN area on the subject site as having a Low habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60 meters.
- The development proposal conserves/enhances 410 square metres of the subject site through invasive species removal and enhanced planting. Planting will consist of native shrubs and ground cover that are consistent with the ecological community of Archibald Creek. The planting area will be located under the BC Hydro right of way. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Oliver Busby, *R.P. Bio.*, of EBB Environmental Consulting Inc. and dated January 5, 2023 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to improve the streetscape on 64 Avenue by retaining an existing tree mid-block, increasing the size of the street fronting patios and simplifying the building design.
- The site consists of 9 townhouse buildings. Buildings 1 – 5 feature all of the street-facing townhouse units proposed as part of the development. These units have side-by-side garages, habitable rooms at grade facing the street and generous patios in the front yard. These buildings are comprised of between 4 to 6 dwelling units each.
- Buildings 6 – 9 are interior to the site and consist of tandem parking units. In total there are 22 tandem parking units, or 48% of the total units. These townhouse buildings have larger massing than the street facing units and are buffered to the school site to the south by a 3 metre wide landscaping strip.
- The townhouse buildings consist of three primary materials and colour, which are: white board batten, hardi siding (white, light grey and dark grey) and hardi panel (light grey and dark grey).
- Traditional building forms are incorporated into the architectural style. This is emphasized on the street facing units through the use of a 6/12 roof pitch for the primary roof and dormers with a roof pitch of 10/12. The dormers also contribute to strong individual unit expression.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. Landscaped areas include the primary entrances of the street facing units, a 3 metre wide buffer on the south lot line, and a modest corner plaza at the 64 Avenue and 142 Street intersection.
- The non-GIN portions of the BC Hydro right of way area will be planted in a similar manner to the area that is subject to the Development Permit for Sensitive Ecosystems.
- 60 trees are proposed to be planted within the project, primarily on the edges on the site and within the amenity areas.
- Other plantings include a variety of shrubs, grasses and ground covers that are used to soften the hard surfaces on the site and help define the transitions between private and semi-private spaces.
- Decorative pavers are proposed at the driveway entrances and on pedestrian pathways. Permeable pavers are proposed in the BC Hydro right of way to improve stormwater drainage and compatibility of the parking to the adjacent GIN Corridor.

Indoor Amenity

- The applicant is required to provide 138 square metres of indoor amenity, as per the requirements of the RM-30 Zone. The Zoning Bylaw requires a minimum of 74 square metres of indoor amenity is provided before the shortfall is made up with cash-in-lieu.
- The applicant is providing 128 square metres of indoor amenity is making up the 10 square metre shortfall through cash-in-lieu, in compliance with the Zoning Bylaw.
- The proposed indoor amenity building is two-storeys and located along the south property line near the 142 Street driveway. Programing for the amenity building has not been determined at this time.

Outdoor Amenity

- The applicant is required to provide 138 square metres of outdoor amenity, as per the requirements of the RM-30 Zone. The applicant is providing 254 square metres of outdoor amenity, exceeding the Bylaw requirement.
- The outdoor amenity is split into two locations. The first portion is paired with the indoor amenity area and is large enough to meet the Zoning Bylaw requirements on its own. This amenity includes a children's play area, seating area and outdoor patio for the indoor amenity building.
- The second amenity area is located on the west side of the site, within the BC Hydro right of way. This amenity consists of garden planters, which will be situated between the transmission lines and Building 9.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - addressing drafting errors in the drawing submission;
 - coordinating the access for the lands to the west between drawing sets;
 - reconfiguration of the first outdoor amenity area; and
 - increasing the variety of plant species proposed through the landscaping.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	3	3	0
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Golden Desert Ash	2	0	2
Bitter Cherry	1	1	0
Hawthorn	2	2	0
Persian Ironwood	5	0	5
Maple	1	1	0
Field Maple	3	0	3
Globe Maple	1	0	1
Paperbark Maple	1	0	1
Japanese Snowbell	3	0	3
Coniferous Trees			
Douglas Fir	9	9	0
Grand Fir	1	0	1
Pine	1	1	0
Shore Pine	2	2	0
Excelsa Redcedar	1	1	0
Western Red Cedar	2	2	0
Total (excluding Alder and Cottonwood Trees)	35	19	16
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		60	
Total Retained and Replacement Trees		76	

Contribution to the Green City Program	\$o
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- The Arborist Assessment states that there are a total of 35 mature trees on the site, excluding Alder and Cottonwood trees. Seven existing trees, approximately 17 % of the total trees on the site, are Alder and Cottonwood trees. It was determined that 16 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Of the 16 retained trees, 15 of the trees are existing trees on the 64 Avenue boulevard trees and only one tree is a private on-site tree.
- The one proposed on-site tree to be retained is a Grand Fir tree, which the project arborist has described as high candidate for retention. Given the constraints of the site, a portion of Building 2 encroaches into the 1.5 metre no-build zone of the tree, but is located outside of the Tree Protection Zone. Staff have determined that retention of the tree is still feasible despite this encroachment. The retention of this tree will be further reviewed at the detailed engineering design stage of the project.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 45 replacement trees on the site. The applicant is proposing 60 replacement trees, exceeding City requirements.
- In summary, a total of 76 trees are proposed to be retained or replaced on the site. A contribution to the Green City Program is not required.

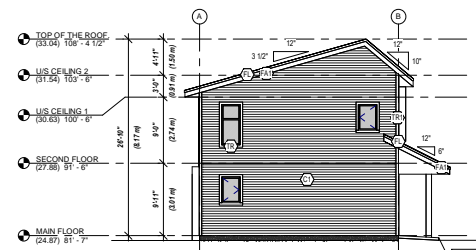
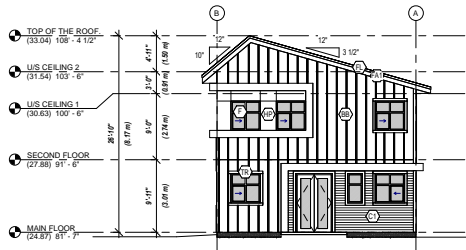
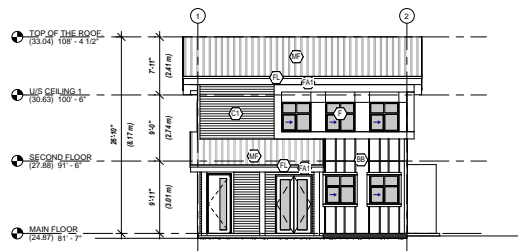
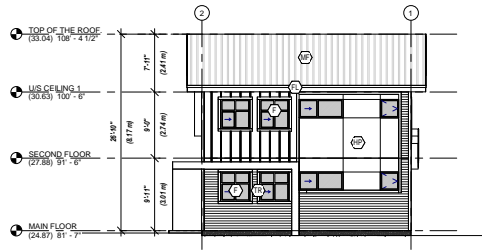
INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

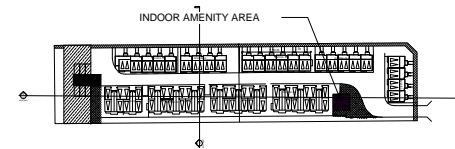
Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	NCP Plan
Appendix VI.	Proposed Variances to the Sign By-law
Appendix VII.	Development Variance Permit No. 7921-0310-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development



MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTER	WHITE	
C1	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FA1	FACIA	BLACK	
FL	FLASHING	WHITE	
HP	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	LIGHT GREY	
TR3	TRIM	WHITE	



NO.	DATE	DESCRIPTION	BY	CHKD.
1	2023-11-20	ISSUED FOR PRELIMINARY DESIGN	DP-5.101	
2	2023-10-24	ISSUED FOR SUBMISSION	DP-5.101	
3	2023-08-18	ISSUED FOR DP REVISION	DP-5.101	
4	2023-01-12	ISSUED FOR DP REVISION	DP-5.101	

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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
INDOOR AMENITY
EXT. ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP REVISION

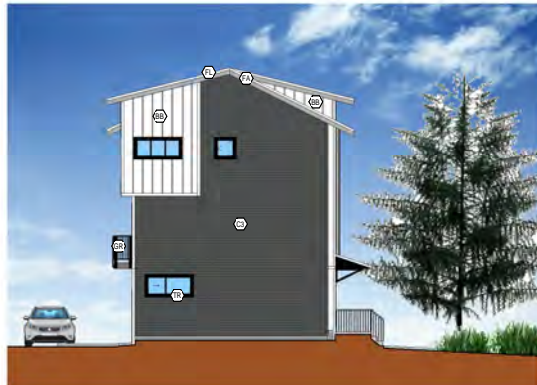
PROJECT NO.	PLOT DATE	DRAWN	SG
722050	31-03-2023	REVIEWED	GR
DRAWING NO.	SCALE	REVISION	
DP-5.101	As indicated		4



1 COLORED SOUTH ELEVATION
DP-6.11 1/8" = 1'-0"



2 COLORED NORTH ELEVATION
DP-6.11 1/8" = 1'-0"

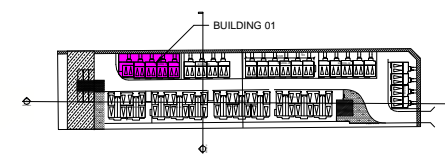


3 COLORED EAST ELEVATION
DP-6.11 1/8" = 1'-0"



4 COLORED WEST ELEVATION
DP-6.11 1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTER	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDI SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	



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www.kasian.com

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2	2023-08-18	ISSUED FOR SUBMISSION		
3	2023-09-04	ISSUED FOR PRELIMINARY DESIGN		
4	2023-11-20	ISSUED FOR PRELIMINARY DESIGN		

CONTRACTOR: KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. PROJECT: 14174 TOWNHOUSES

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PROJECT: 14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE: BUILDING-01 UNIT (01-05) COLOURED ELEVATIONS

DRAWING ISSUE: ISSUED FOR DP REVISION

PROJECT NO.	PLOT DATE	DRAWN	SG
722050	31-03-2023		
SCALE	AS INDICATED	REVIEWED	GR
DRAWING NO.	REVISION		
DP-6.11	4		



1 COLORED SOUTH ELEVATION
DP-6.21 1/8" = 1'-0"



2 COLORED NORTH ELEVATION
DP-6.21 1/8" = 1'-0"



3 COLORED EAST ELEVATION
DP-6.21 1/8" = 1'-0"



4 COLORED WEST ELEVATION
DP-6.21 1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD & BATTEN	WHITE	
C1	4" HARDIE SIDING	WHITE	
C2	4" HARDIE SIDING	LIGHT GREY	
C3	4" HARDIE SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD/RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	



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3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-09-04	ISSUED FOR DP SUBMISSION		
1	2020-11-20	ISSUED FOR PRELIMINARY DESIGN		

ISS: DDPY/AMSD REVIEW: DAWNING/SGD REVIEW:

CONTRACT

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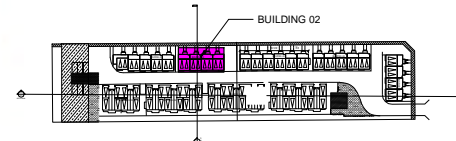
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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA,
CANADA

DRAWING TITLE
BUILDING 2 UNIT (06-11)-
COLOURED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO.	PLOT DATE	DATE	SCALE	SCALE	SCALE	SCALE	SCALE
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DRAWING NO.	DP-6.21	REVISION	4				

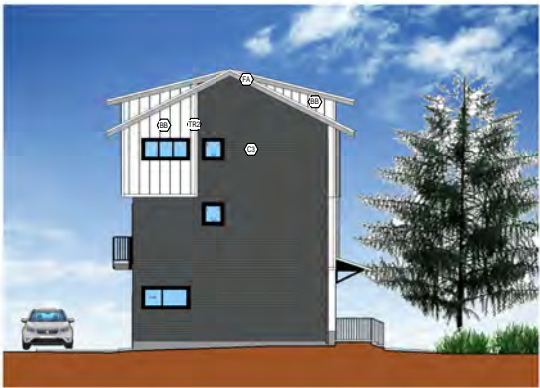




1 COLORED SOUTH ELEVATION
DP-6.31
1/8" = 1'-0"



2 COLORED NORTH ELEVATION
DP-6.31
1/8" = 1'-0"



3 COLORED EAST ELEVATION
DP-6.31
1/8" = 1'-0"



4 COLORED WEST ELEVATION
DP-6.31
1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTERN	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDI SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

NO.	DATE	DESCRIPTION	BY	CHKD.
4	2023-01-12	ISSUED FOR DP REVISION		
3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-09-24	ISSUED FOR DP SUBMISSION		
1	2023-11-20	ISSUED FOR PRELIMINARY DESIGN		
ISS:	DP/RYM/MSD	REVISION/DRAWING/ISSUE		REVIEW

CONTRACTOR

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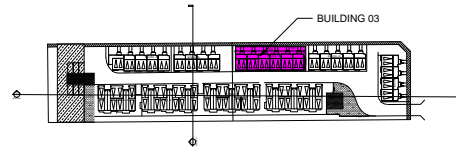
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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
**BUILDING-03 UNIT (10-15)
COLOURED ELEVATIONS**

DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO. 722050	PLOT DATE 31-03-2023	DRAWN SG
SCALE As indicated	REVIEWED GR	REVISION 4
DRAWING NO. DP-6.31		





1 COLORED SOUTH ELEVATION
DP-6.41 1/8" = 1'-0"



2 COLORED NORTH ELEVATION
DP-6.41 1/8" = 1'-0"



3 COLORED EAST ELEVATION
DP-6.41 1/8" = 1'-0"



4 COLORED WEST ELEVATION
DP-6.41 1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD & BATTEN	WHITE	
C1	4" HARDIE SIDING	WHITE	
C2	4" HARDIE SIDING	LIGHT GREY	
C3	4" HARDIE SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD/RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

NO.	DATE	DESCRIPTION	BY	CHKD
4	2023-01-12	ISSUED FOR DP REVISION		
3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-09-04	ISSUED FOR DP SUBMISSION		
1	2023-11-20	ISSUED FOR PRELIMINARY DESIGN		
ISS:	DDY/MBD	REVISION/DRAWING/ISSUE		REVIEW

CONTRACTOR

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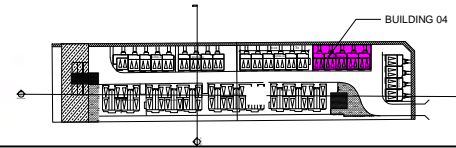
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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
BUILDING-4 UNIT (16-20) - COLOURED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO. 722050	PLOT DATE 31-03-2023	DRAWN SG	SCALE As indicated	REVIEWED GR
DRAWING NO. DP-6.41	REVISION 4			

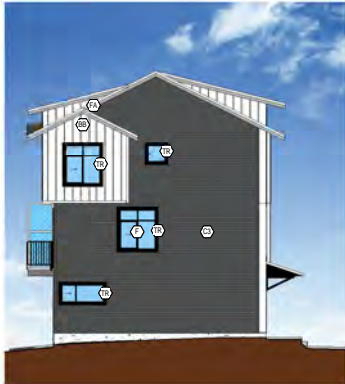




1 COLORED WEST ELEVATION
DP-6.51 1/8" = 1'-0"



2 COLORED EAST ELEVATION
DP-6.51 1/8" = 1'-0"



3 COLORED SOUTH ELEVATION
DP-6.51 1/8" = 1'-0"



4 COLORED NORTH ELEVATION
DP-6.51 1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTERNN	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDI SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

NO.	DATE	DESCRIPTION	BY	CHKD
4	2023-01-12	ISSUED FOR DP REVISION		
3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-09-04	ISSUED FOR DP SUBMISSION		
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PROJECT

14174 TOWNHOUSES

14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE

BUILDING 5 UNIT (21-24)
COLOURED ELEVATIONS

DRAWING ISSUE

ISSUED FOR DP REVISION

PROJECT NO.	PLOT DATE	31-03-2023	DRAWN	SG
722050	SCALE	1/8" = 1'-0"	REVIEWED	GR

DRAWING NO.	REVISION
DP-6.51	4



1 COLOURED SOUTH ELEVATION
DP-6.61 1/8" = 1'-0"



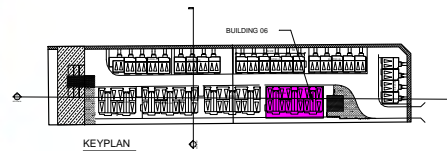
2 COLOURED NORTH ELEVATION
DP-6.61 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-6.61 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-6.61 1/8" = 1'-0"



MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTERN	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDI SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

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2	2022-09-24	ISSUED FOR DP SUBMISSION		
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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
**BUILDING-06-UNIT(25-30)
COLOURED ELEVATIONS**

DRAWING ISSUE
ISSUED FOR DP REVISION

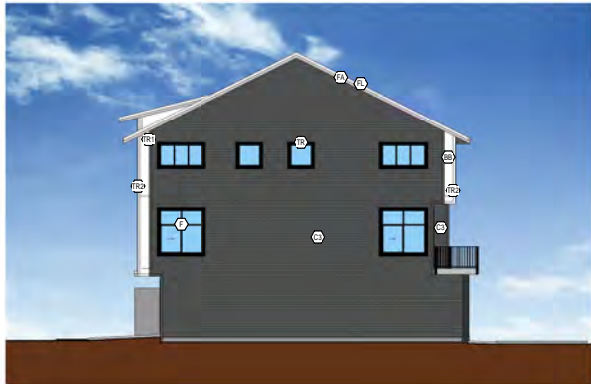
PROJECT NO.	PLOT DATE	31-03-2023	DRAWN	SG
722050	SCALE	As indicated	REVIEWED	GR
DRAWING NO.	DP-6.61		REVISION	4



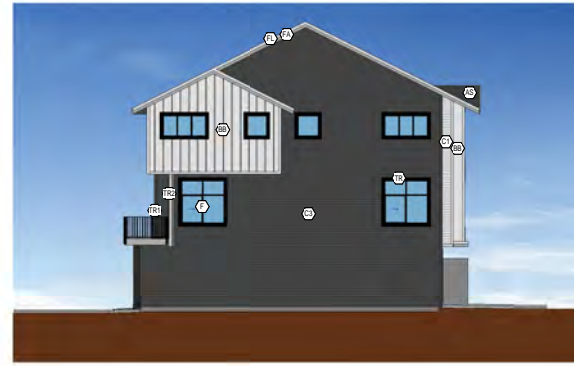
1 COLOURED SOUTH ELEVATION



2 COLOURED NORTH ELEVATION

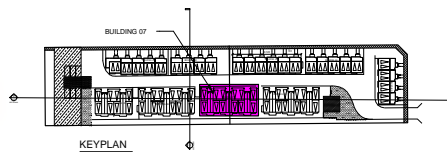


3 COLOURED EAST ELEVATION



4 COLOURED WEST ELEVATION
DP-6.71 1/8" = 1'-0"

MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTER	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDIE SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	



NO.	DATE	DESCRIPTION	BY	CHKD
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3	2022-08-18	ISSUED FOR DP SUBMISSIONS		
2	2022-09-04	ISSUED FOR DP SUBMISSIONS		
1	2023-11-20	ISSUED FOR PRELIMINARY DESIGN		

CONTRACTOR: [REDACTED] REVIEWER: [REDACTED]

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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
BUILDING-7-UNIT B COLOURED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO.	PLLOT DATE	DATE	SCALE	DRAWN	SG
Project Number	31-03-2023		As indicated	REVIEWED	GR
DRAWING NO.	DP-6.71		REVISION	4	



1 COLOURED SOUTH ELEVATION
DP-6.81 1/8" = 1'-0"



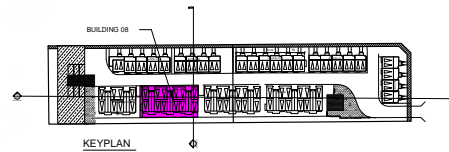
2 COLOURED NORTH ELEVATION
DP-6.81 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-6.81 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-6.81 1/8" = 1'-0"



MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTER	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDI SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

NO.	DATE	ISSUED FOR	BY	REVIEWED
4	2023-01-12	ISSUED FOR DP REVISION		
3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-02-04	ISSUED FOR DP SUBMISSION		
1	2020-11-20	ISSUED FOR PRELIMINARY DESIGN		

CONTRACTOR: KASYAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. PROJECT: 14174 TOWNHOUSES

PERMIT STAMP



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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
**BUILDING-08-UNIT(37-42)
COLOURED ELEVATIONS**

DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO.	PLOT DATE	31-03-2023	DRAWN	SG
722050	SCALE	As indicated	REVIEWED	GR
DRAWING NO.	DP-6.81		REVISION	4



1 COLOURED SOUTH ELEVATION
DP-6.91 1/8" = 1'-0"



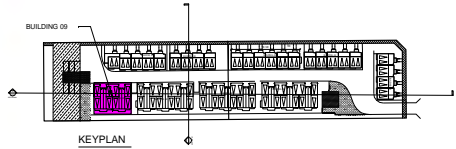
4 COLOURED WEST ELEVATION
DP-6.91 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-6.91 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-6.91 1/8" = 1'-0"



MATERIAL LEGEND			
NAME	DESCRIPTION	COLOR	IMAGE
AS	ROOF SHINGLES	DARK GREY	
BB	BOARD BATTERN	WHITE	
C1	4" HARDI SIDING	WHITE	
C2	4" HARDIE SIDING	LIGHT GREY	
C3	4" HARDI SIDING	DARK GREY	
F	WINDOW & ENTRY DOOR FRAME	BLACK	
FA	FACIA	LIGHT GREY	
FL	FLASHING	WHITE	
GR	GUARD RAILING	BLACK	
HP	HARDIE PANEL	LIGHT GREY	
HP1	HARDIE PANEL	DARK GREY	
MF	METAL ROOF	BLACK	
RD	GARAGE DOOR	LIGHT GREY	
TR	TRIM	BLACK	
TR1	TRIM	DARK GREY	
TR2	TRIM	WHITE	
TR3	TRIM	LIGHT GREY	

NO.	DATE	DESCRIPTION	BY	CHKD.
4	2023-01-12	ISSUED FOR DP REVISION		
3	2022-08-18	ISSUED FOR DP SUBMISSION		
2	2022-09-04	ISSUED FOR DP SUBMISSION		
1	2022-11-20	ISSUED FOR PRELIMINARY DESIGN		
0	2022-11-20	ISSUED FOR PRELIMINARY DESIGN		

CONSULTANT: REVISION / DRAWING ISSUE REVIEW

FORMAT STAMP



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PROJECT
14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

DRAWING TITLE
BUILDING-09-UNIT(43-46) ELEVATIONS

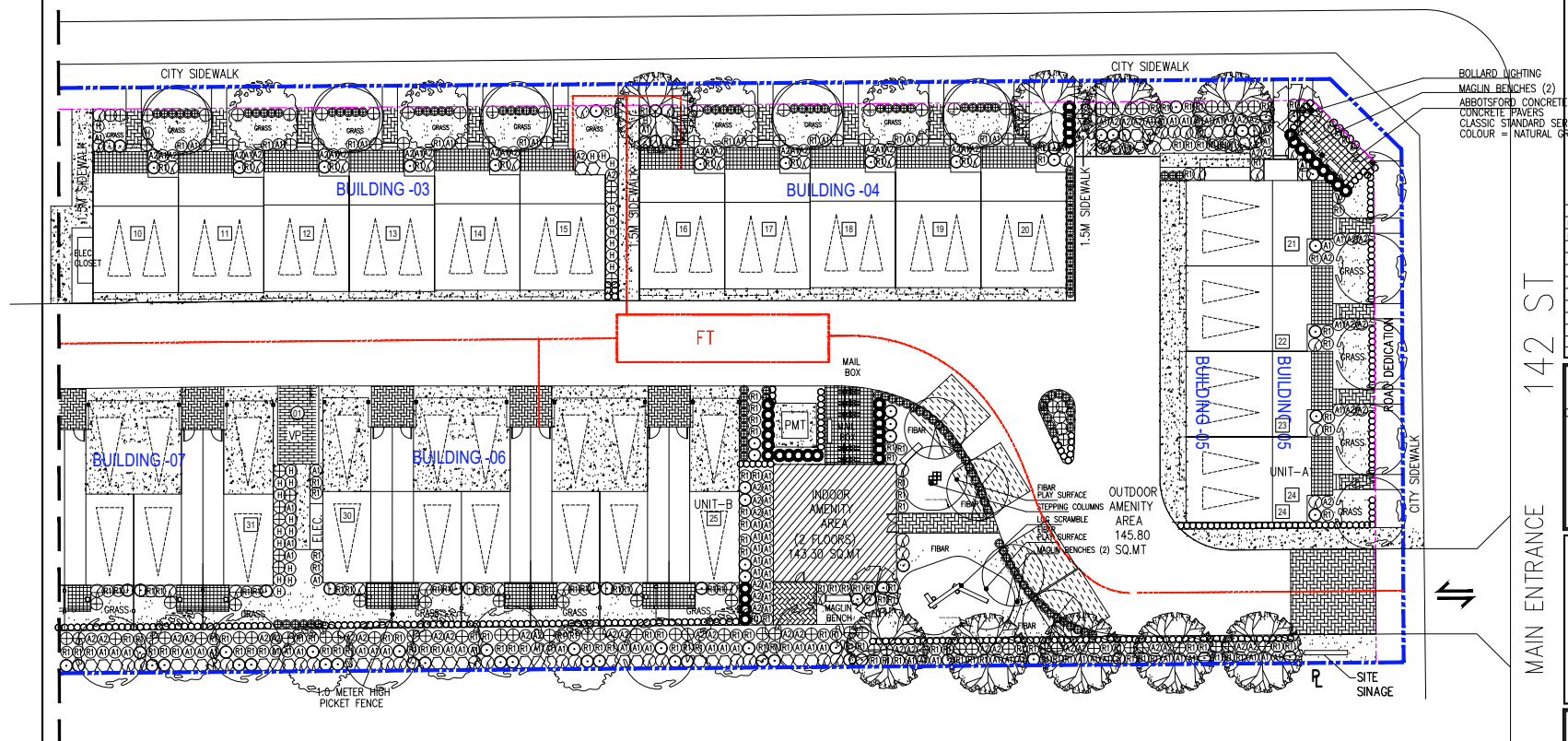
DRAWING ISSUE
ISSUED FOR DP REVISION

PROJECT NO.	PLLOT DATE	31-03-2023	DRAWN	SG
722050	SCALE	As indicated	REVIEWED	GR

DRAWING NO. **DP-6.91** REVISION **4**



64 AVE



BOLLARD LIGHTING
MAGLIN BENCHES (2)
ABBOTSFORD CONCRETE
CONCRETE PAVERS
CLASSIC STANDARD SERIES
COLOUR = NATURAL GRAY

APR/23	CITY COMMENTS	11
MAR/23	CITY COMMENTS	10
MAR/23	CITY COMMENTS	9
FEB/23	CITY COMMENTS	8
JAN/23	REVISED SITE PLAN	7
NOV/22	REVISED SITE PLAN	6
OCT/22	REVISED SITE PLAN	5
AUG/22	SETBACKS	4
AUG/22	REVISED SITE PLAN	3
JAN/22	CITY COMMENTS	2
JAN/22	NEW SITE PLAN	1
DATE	REVISIONS	NO.

K. KAVOLINAS & ASSOCIATES INC
BCSLA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

CLIENT
MR. AMIT GHUMAN
c/o DOUG JOHNSON ARCHITECT
SUITE #374
801 WEST 3RD STREET
NORTH VANCOUVER, B.C.
V7P 3P9
604-998-0217

TITLE
PLAN VIEW
LANDSCAPE PLAN
PROPOSED
TOWNHOUSE DEVELOPMENT
14174 - 64 AVENUE
SURREY, B.C.

SCALE 1:150 DATE SEP/21
DRAFT DWG
CHKD VJP
APPROV AS BUILT

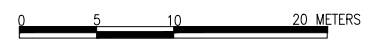
PRINTED JOB No.
DRAWING No. L-1

FT

142 ST
MAIN ENTRANCE

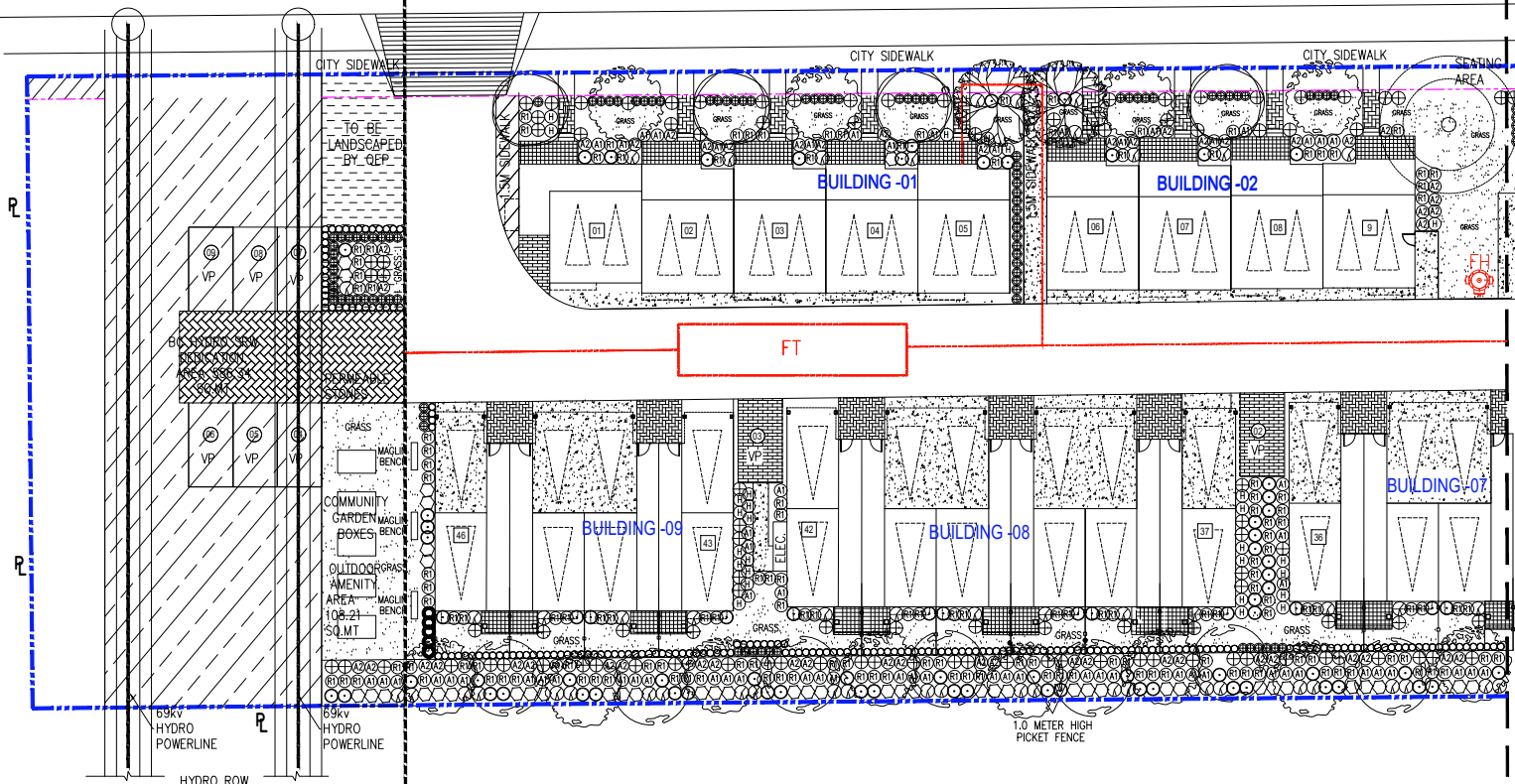
HARD SURFACE LEGEND

- STRUCTURAL SOIL 5.5m x 5.5m x 1.2m Typ.
- SMOOTH FINISHED CONCRETE
- BROOM FINISHED CONCRETE
- ABBOTSFORD CONCRETE PAVERS CLASSIC STANDARD SERIES HALF STANDARD NATURAL COLOUR
- ABBOTSFORD CONCRETE PAVERS CLASSIC STANDARD SERIES DOUBLE STANDARD RED COLOUR





64 AVE



APR/23	CITY COMMENTS	11
MAR/23	CITY COMMENTS	10
MAR/23	CITY COMMENTS	9
FEB/23	CITY COMMENTS	8
JAN/23	REVISED SITE PLAN	7
NOV/22	REVISED SITE PLAN	6
OCT/22	REVISED SITE PLAN	5
AUG/22	SETBACKS	4
AUG/22	REVISED SITE PLAN	3
JAN/22	CITY COMMENTS	2
JAN/22	NEW SITE PLAN	1
DATE	REVISION	NO.

C. KAVOLINAS & ASSOCIATES INC
 BCSLA CSLA
 2462 JONQUIL COURT
 ABBOTSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 MR. AMIT GHUMAN
 c/o DOUG JOHNSON ARCHITECT
 SUITE #374
 801 WEST 7th STREET
 NORTH VANCOUVER, B.C.
 V7P 3P9
 604-995-0217

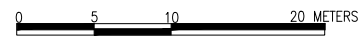
TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 PROPOSED
 TOWNHOUSE DEVELOPMENT
 14174 - 64 AVENUE
 SURREY, B.C.

SCALE	1:150	DATE	SEP/21
DEMT		CHKD	
ENG		CHKD	
APPRD		AS BUILT	

PRINTED	JOB No.
	DRAWING No.
	L-1A

HARD SURFACE LEGEND

- SMOOTH FINISHED CONCRETE
- BROOM FINISHED CONCRETE
- ABBOTSFORD CONCRETE PAVERS CLASSIC STANDARD SERIES HALF STANDARD NATURAL COLOUR
- ABBOTSFORD CONCRETE PAVERS CLASSIC STANDARD SERIES DOUBLE STANDARD RED COLOUR





INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **April 24, 2023** PROJECT FILE: **7821-0310-00**

RE: **Engineering Requirements
Location: 14174 64 Ave**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 1.442m on 64 Avenue and 1.942m on 142 Street.
- Register 0.50m Statutory Right of Way along 64 Avenue and 142 Street.
- Dedicate 5-meter x 5-meter corner cut at the intersection of 64 Avenue and 142 Street.

Works and Services

- Construct west side of 142 Street.
- Construct concrete driveway letdowns for the development.
- Construct water, storm, and sanitary service connections to the proposed development.
- Provide on-site stormwater mitigation feature and on-site water/sediment control.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

RK



Department: **Planning and Demographics**
 Date: **February 16, 2023**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:
 Application #: **21 0310 00**

The proposed development of **46** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	40
---	----

Projected Number of Students From This Development In:	
Elementary School =	22
Secondary School =	11
Total Students =	33

Current Enrolment and Capacities:	
Goldstone Park Elementary	
Enrolment	727
Operating Capacity	519
# of Portables	9
Sullivan Heights Secondary	
Enrolment	1759
Operating Capacity	1700
# of Portables	10

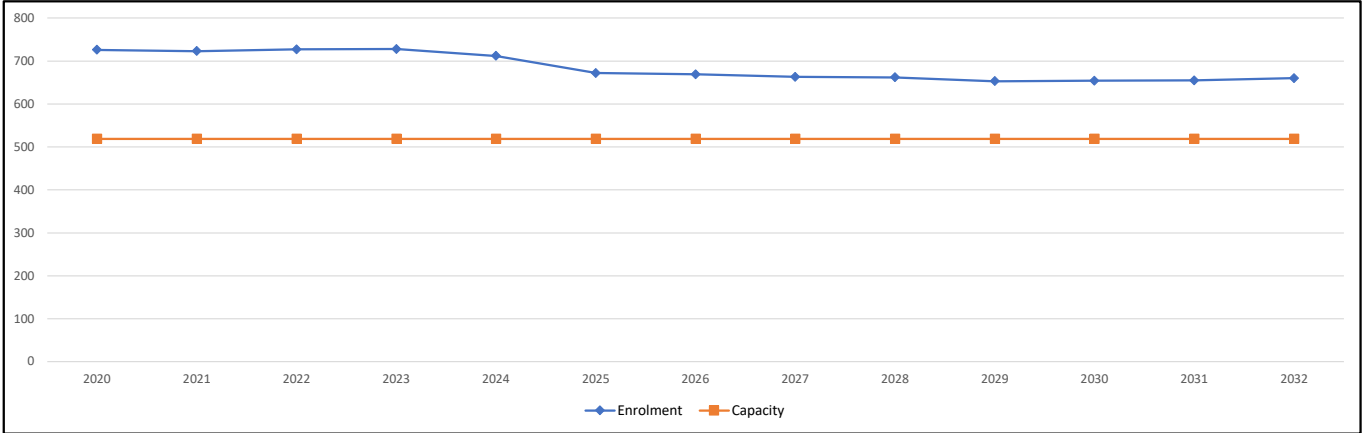
Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2022, all three schools are severely overcrowded. To meet in-catchment demand, portables are in use as enrolling spaces.

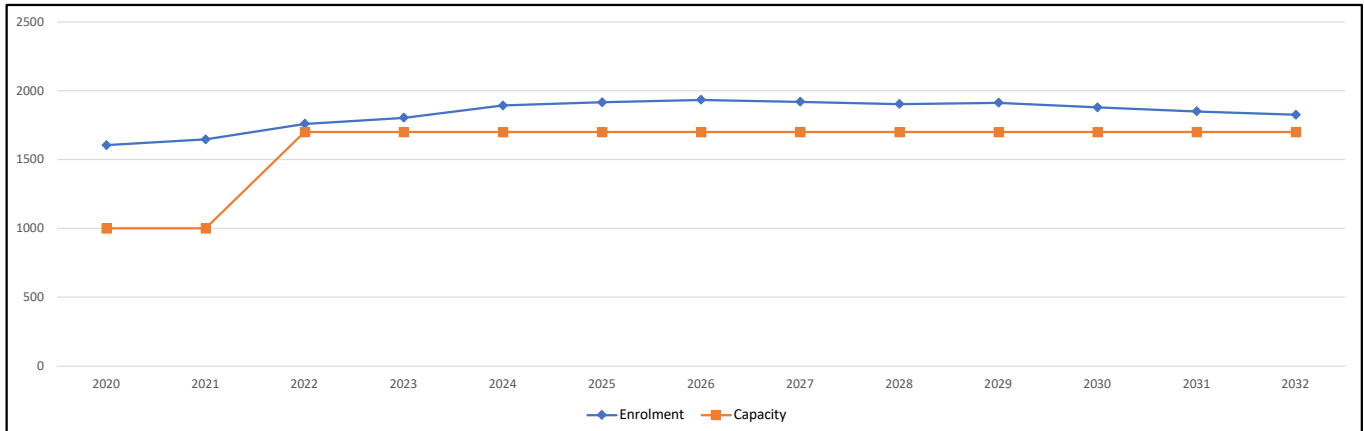
To manage this long term demand, on June 2020, the Ministry approved design and construction funding to build a new 612-capacity elementary school; located next to the existing Goldstone Park. The new Snokomish Elementary is targeted to open in 2025 which will provide enrolment relief to the other neighbouring schools: Goldstone Park, Woodward Hill and Cambridge.

The 700 capacity addition at Sullivan Heights Secondary opened in September 2022 but the school has 10 portables and is already operating above capacity even with the addition.

Goldstone Park Elementary



Sullivan Heights Secondary



Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 21-0310-00


Address: 14118 / 14174 – 64 Avenue

Registered Arborist: Tim Vandenberg & Rhythm Batra PN-8932A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	42
Protected Trees to be Removed	26
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	16
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 7 X one (1) = <u>7</u> - All other Trees Requiring 2 to 1 Replacement Ratio 19 X two (2) = <u>38</u> 	45
Replacement Trees Proposed	60
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 

Date: April 25, 2023



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





REM 3
PLAN 9033

REM 59
PLAN 23672

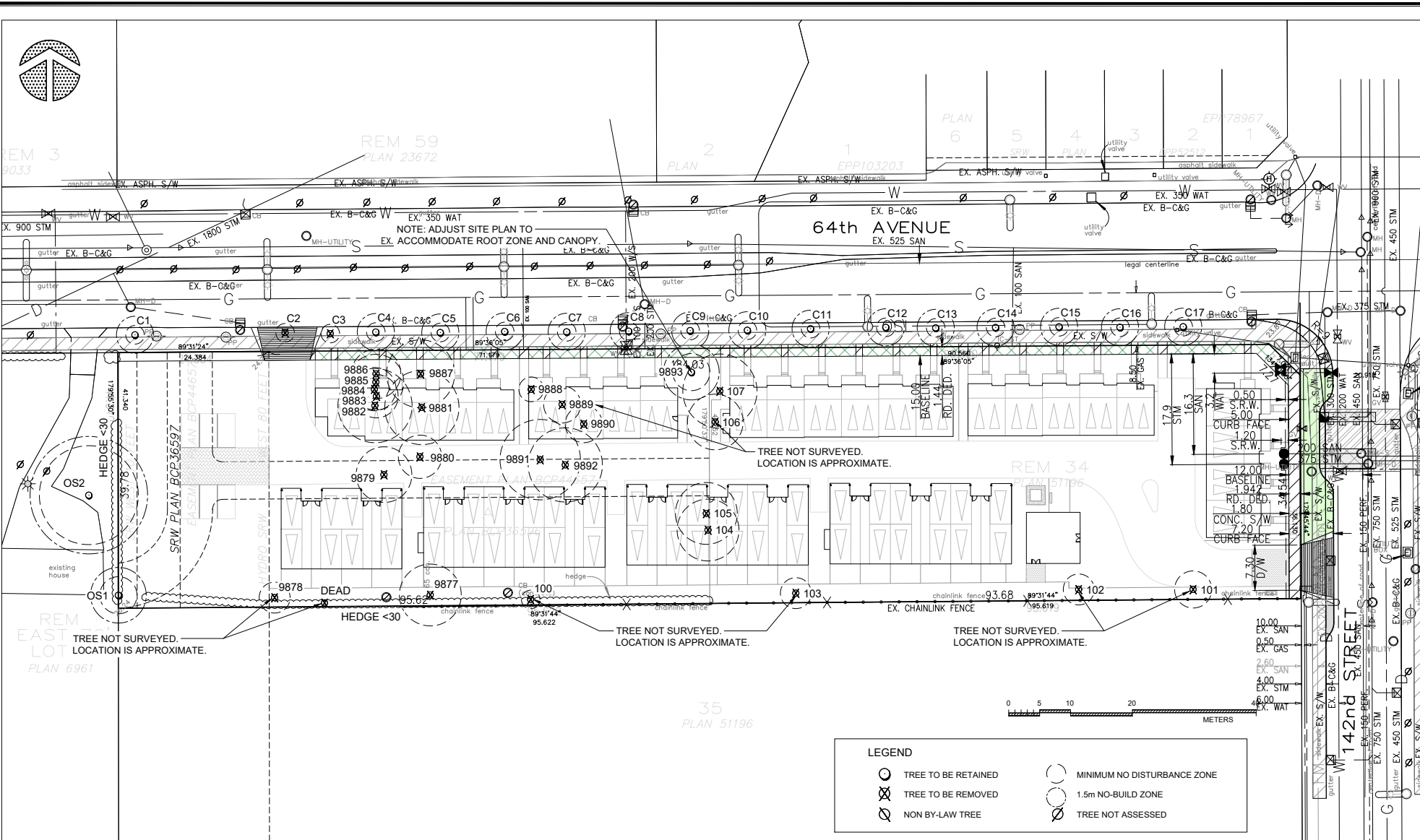
64th AVENUE
EX. 525 SAN

REM 34
PLAN 57196

REM EAST LOT
PLAN 6961

35
PLAN 51196

142nd STREET



NOTE: ADJUST SITE PLAN TO
EX. ACCOMMODATE ROOT ZONE AND CANOPY.

TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.

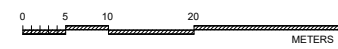
TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.

TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.

TREE NOT SURVEYED.
LOCATION IS APPROXIMATE.

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE NOT ASSESSED



NO.	DATE	BY	REVISION
1	MAR23/23	MK	SITE PLAN
2	APR24/23	MK	UPDATED SURVEY, SITE & KEY PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

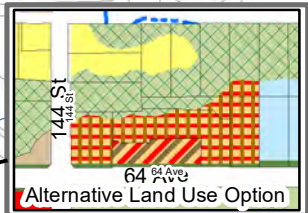
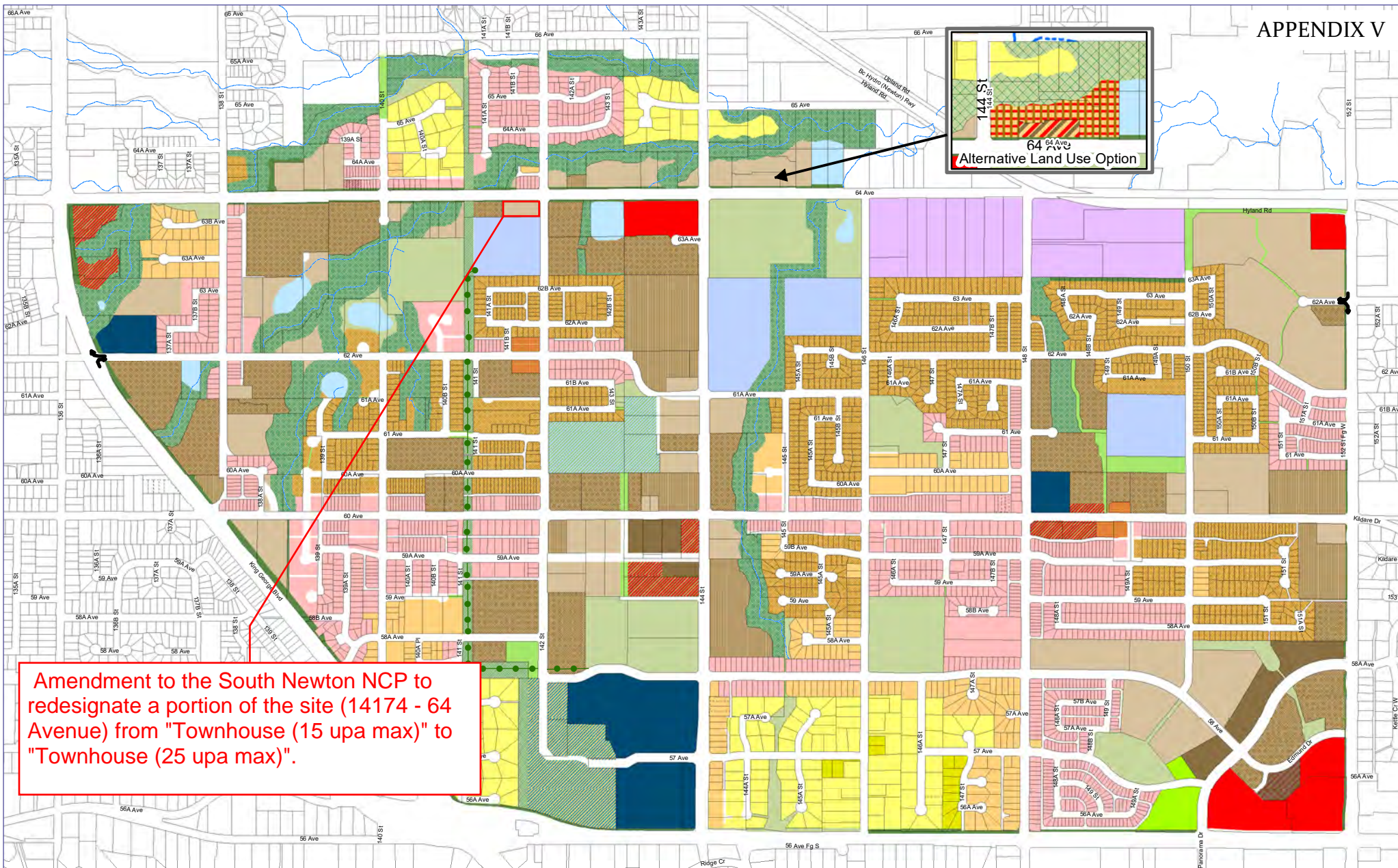
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PROJECT TITLE
**14118 14174
64th AVENUE
SURREY, B.C.**

SHEET TITLE
**T1 - TREE REMOVAL AND
PRESERVATION PLAN**

DRAWN MK
SCALE AS SHOWN
DATE MAY 17, 2021

T-1
SHEET 1 OF 2



Amendment to the South Newton NCP to redesignate a portion of the site (14174 - 64 Avenue) from "Townhouse (15 upa max)" to "Townhouse (25 upa max)".

SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|--------------------------|--|-----------------|------------------------------|----------------------|
| Apartments 65 upa max | Row Housing | Commercial | Proposed School and Park | Buffers |
| Apartments 45 upa max | Single Family Residential Flex 6 to 14.5 | Institutional | Parks | Detention Ponds |
| Townhouses 25 upa max | Single Family Residential | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Industrial | Recreational | WALKWAY |
| Townhouses 15 upa max | Suburban Residential 1/4 Acre | Schools | Creeks and Riparian Set-back | |
| Single Family Small Lots | Mixed Com/Res Apartments | Proposed School | | |
| | Mixed Com/Res Townhouse | | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a freestanding sign with a 0.6 metre setback from the south property line.	The setback of a freestanding sign shall be a minimum of 2 metres (Part 4, Section 24)	The sign must be located at 0.6 metres from the south lot line in order to ensure the safest location for the 142 Street driveway.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0310-00

Issued To:

Address of Owner:

(the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-777-971

Lot 34 Except: Part Dedicated Road on Plan BCP18505 Section 9 Township 2 New Westminister
District Plan 51196

14174 – 64 Avenue

Parcel Identifier: 027-534-481

Parcel A Section 9 Township 2 New Westminister District Plan BCP36596

14118 – 64 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Section F.1 Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)” the side (south) yard setback of for the second and third storey of buildings 6, 7, 8, and 9 is reduced from 6.0 metres to 4.6 metres.

Surrey Sign By-law, 1999, No. 13656, as amended is varied as follows:

In Section 24 of Part 4 “Signs in Residential Zone” the setback of a free-standing sign is reduced to 0.6 metres to the south lot line.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

Schedule A

Kasian Architecture
Interior Design
and Planning Ltd

1500 West Georgia Street, Suite 1005
Vancouver, BC Canada V6G 2Z6
T 604 683 4145 F 604 683 2627
www.kasian.com

1	2023-01-12	ISSUED FOR DP SUBMISSION
1	2022-08-18	ISSUED FOR DP SUBMISSION
1	2022-05-24	ISSUED FOR DP SUBMISSION
1	2022-11-20	PRELIMINARY LAYOUT
REV	*****	REVISION / DRAWING ISSUE

CONSULTANT

PERMIT STAMP



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PROJECT

14174 TOWNHOUSES
14174 & 14118-64 AVE, SURREY, BRITISH COLUMBIA, CANADA

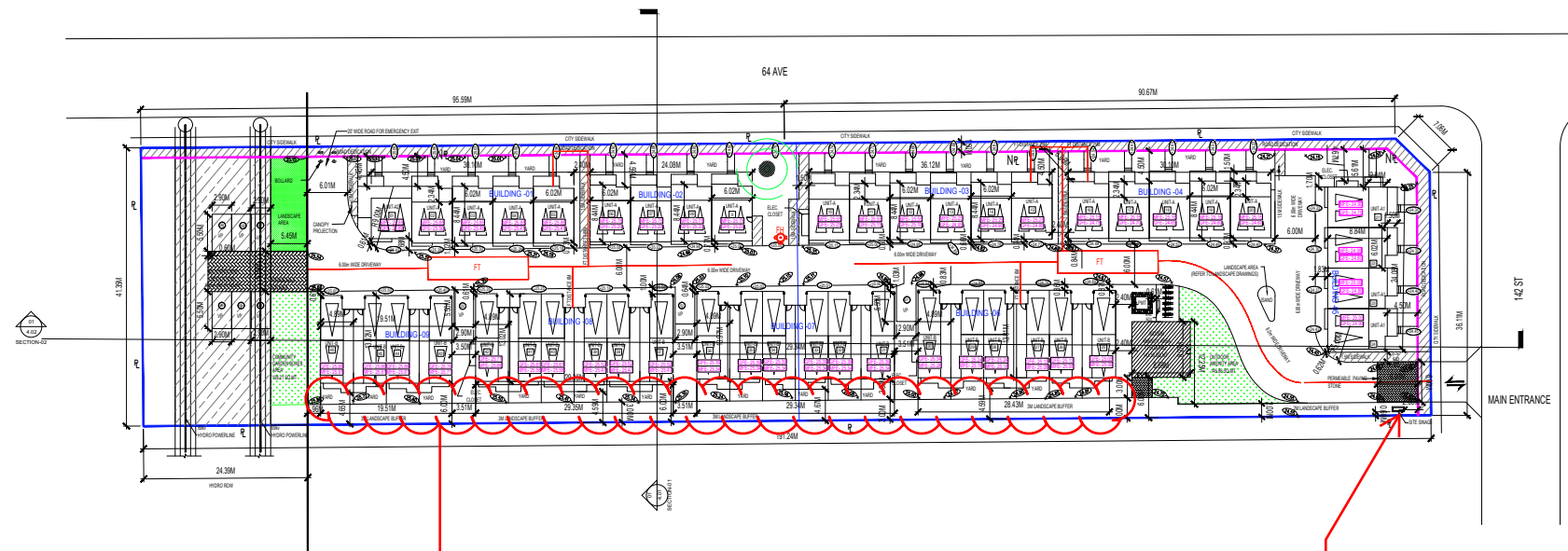
DRAWING TITLE
SITE PLAN

DRAWING ISSUE

ISSUED FOR DP SUBMISSION

PROJECT NO	722050	DATE	2023-03-31	DRAWN	SG
DRAWING NO	DP-2.11	SCALE	1/24" = 1'-0"	REVIEWED	GR

REVISION
4



Variance to reduce the side (south) yard setback of the "Multiple Residential 30 Zone (RM-30" from 6.0 metres to 4.6 metres for buildings 6 - 9.

Variance to reduce the setback of a free-standing sign to the south lot line from 2.0 metres to 0.6 metres