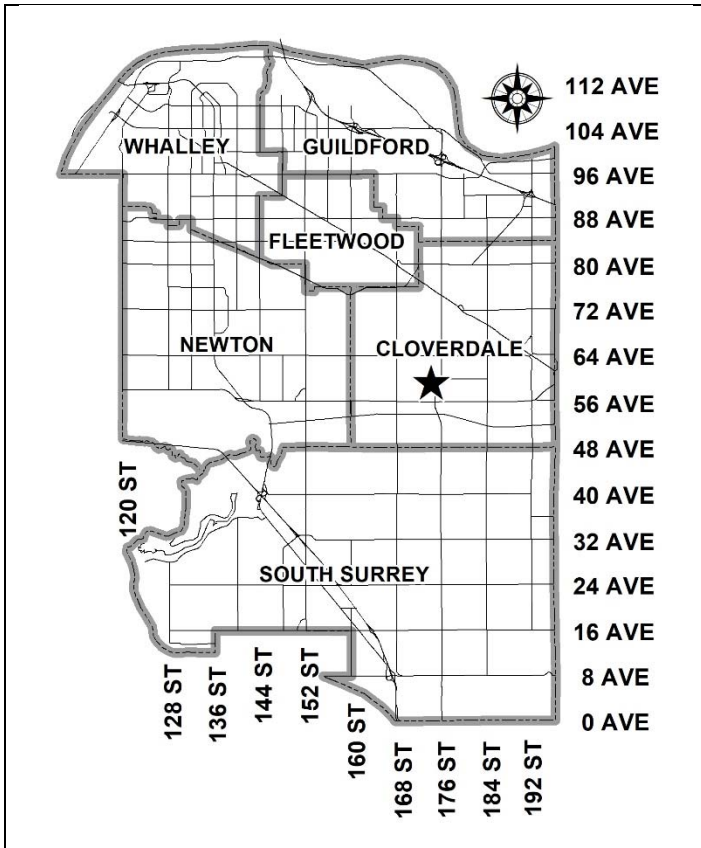


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0301-00

Planning Report Date: April 3, 2023



PROPOSAL:

- **TCP Amendment** to amend the road network
- **Rezoning** from RF to RM-30
- **Development Permit**
- **Development Variance Permit**

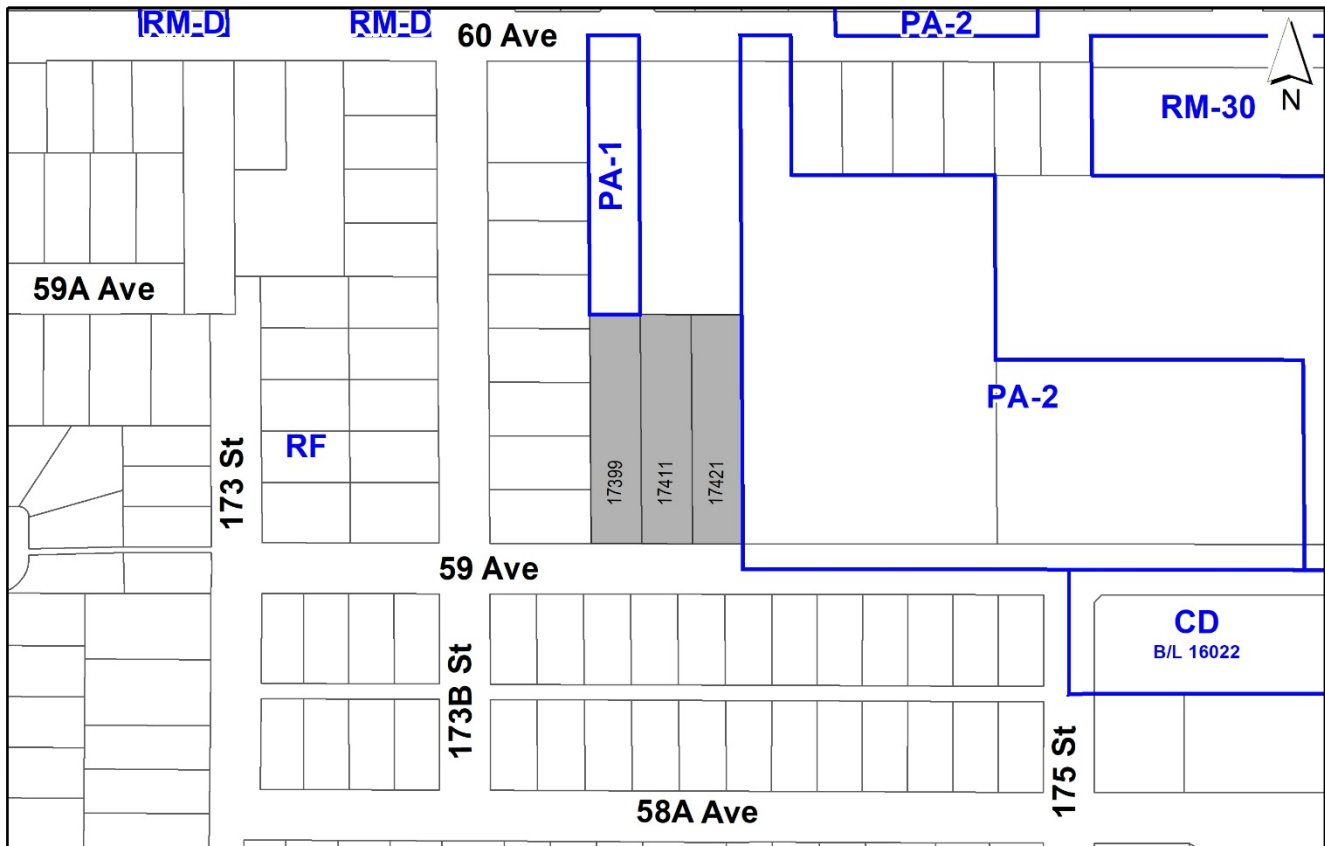
to permit the development of 34 townhouse units in Cloverdale Town Centre.

LOCATION: 17399/17411/17421 - 59 Avenue

ZONING: RF

OCP DESIGNATION: Urban

TCP DESIGNATION: Townhouse Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Cloverdale Town Centre Plan for changes to the road network.
- Proposing variances to the RM-30 Zone for building setbacks and visitor parking within the setback.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the "Townhouses" designation in the Cloverdale Town Centre Plan (TCP).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character as well as the Cloverdale Town Centre Plan design guidelines for townhouse developments.
- The proposed density and building form are appropriate for this part of Cloverdale Town Centre.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Cloverdale Town Centre Plan (TCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The reduced setbacks along the east and west property lines will create appropriate urban, pedestrian-friendly streetscapes along the future lane along the west and future road along the east. Additionally, the reduced setback along the west facilitates one (1) of the required visitor parking stalls for the project.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7921-0301-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7921-0301-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum east street side yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face of Buildings 1, 2 and 3;
 - (b) to reduce the minimum west side yard on a flanking lane setback of the RM-30 Zone from 4.5 metres to 2.8 metres to the principal building face of Buildings 4, 5, 6 and 7;
 - (c) to reduce the minimum north rear yard setback of the RM-30 Zone from 6.0 metre to 4.5 metres to the principal building face of Building 3; and
 - (d) to vary the RM-30 Zone to allow one (1) visitor parking space to be within the required west side yard on a flanking lane on Building 6.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) approval from the Ministry of Transportation & Infrastructure;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
5. Council pass a resolution to amend the Cloverdale Town Centre Plan (TCP) for changes to the road network when the project is considered for final adoption (Appendix V).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	3 Single family dwellings	Townhouses	RF
North:	Place of worship (Church)	Institutional	PA-1 & RF
East:	Place of worship (Church)	Institutional	PA-2
South (Across 59 Avenue):	Single family dwellings	Semi-detached Residential	RF
West:	Single family dwellings	Detached Residential	RF

Context & Background

- The subject site includes three properties located at 17399, 17411, 17421 – 59 Avenue in Cloverdale Town Centre and is approximately 0.549 hectares in total area.
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Townhouses" in the Cloverdale Town Centre Plan and is currently zoned "Single Family Residential Zone (RF)".
- There are three (3) existing single family dwellings on the three subject lots that will be demolished as part of the development.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of 34 townhouses units on a consolidated site in Cloverdale Town Centre, the applicant is requesting the following:
 - **NCP Amendment** to amend the road network of the Cloverdale Town Centre Plan;

- **Rezoning** from RF to RM-30;
 - **Development Permit** for Form and Character;
 - **Development Variance Permit** for reduced building setbacks; and
 - **Subdivision (Consolidation)** from three (3) lots to one (1).
- The following table provides development details for the proposal:

	Proposed
Lot Area	
Gross Site Area:	0.549 hectares
Road Dedication:	0.018 hectares
Net Site Area:	0.531 hectares
Number of Lots:	1
Building Height:	13 metres
Unit Density:	64 UPH
Floor Area Ratio (FAR):	0.85
Residential Units:	
3-Bedroom:	34 dwelling units

Referrals

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- School District:** The School District has advised that there will be approximately 27 school-age children generated by this development, of which the School District has provided the following expected student enrollment.
- 14 Elementary students at George Greenway Elementary School
6 Secondary students at Lord Tweedsmuir Secondary School
- (Appendix III)
- Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.
- Parks, Recreation & Culture:** No concerns.
- The closest active park is Cloverdale Ball Park and is 650 metres away, and the closest natural area is 76F Greenbelt and is 600 metres away. Future parkland is proposed within 134 metres of the subject site as part of the Cloverdale Town Centre Plan (TCP) .
- Ministry of Transportation & Infrastructure (MOTI):** Preliminary approval is granted for the rezoning for one year pursuant to Section 52(3)(a) of the *Transportation Act*.
- Surrey Fire Department:** No concerns.

Transportation Considerations

- The application will provide approximately 181.8 square metres of road dedication (approximately 2.0 metres in width) along the east property line for a future road, the majority of which will be located on the adjacent church site.
- Vehicular access to the proposed townhouse development is proposed from a driveway connection to 59 Avenue.
- The proposed development includes a total of 75 parking stalls for 34 townhouse units, consisting of 68 resident parking spaces and 7 spaces for visitors, which complies with the Zoning By-law.
- Resident parking will be provided in a combination of fully enclosed side-by-side double garage for 50% of the units and with fully enclosed tandem parking garage for 50% of units.
- The subject site is also about 100 metres away to bus service along 60 Avenue for bus route 320 to Langley Centre / Fleetwood / Surrey Centre Station.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed townhouse units comply with this designation.

Official Community Plan

Land Use Designation

- The proposal complies with the "Urban" designation of the Official Community Plan (OCP), which is intended to support medium density residential neighbourhoods.

Themes/Policies

- The proposed development is consistent with the following guiding policies and objectives in the OCP:
 - A1.3a - Accommodate urban land development first in City Centre, Town Centre, Urban Centre, Frequent Transit Development Area, and Skytrain Corridor Planning Area locations well-served by local services, infrastructure, and transit.

- A.2.1: Direct residential and mixed-use development into Surrey's City Centre, Town Centres, Urban Centres, Skytrain Corridor Planning Areas along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - *The proposed development will support growth by increasing density in a Town Centre Plan. The Development Permit for Form & Character will include thoughtful design measures to ensure any future development will be compatible with the character of the proposed development. The proposed density conforms to the goal of achieving medium-density, street-oriented residential development in Cloverdale Town Centre.*
- B4.7: Design housing units to front directly onto public streets and/or public spaces, in order to facilitate a safe, welcoming, public streetscape and public realm.
 - *Townhouses are proposed to front 59 Avenue and the future road along the east of the subject site and will provide a well-designed streetscape to increase safety for the public realm.*

Secondary Plans

Land Use Designation

- The proposal complies with the "Townhouses" designation in the Cloverdale Town Centre Plan.

Amendment Rationale

- The application includes a proposed amendment to the Cloverdale Town Centre Plan road network to reflect the addition of a new local road on the adjacent site to the east.
- This adjacent site is located at 17475, 17511 & 17561 – 59 Avenue and is approximately 4.2 hectares in size. The site contains an existing church (Precious Blood Catholic Church), a private school (Cloverdale Catholic School) and a recreational field. The site is designated as "Institutional" and "Low Rise Residential" in the Cloverdale Town Centre Plan.
- The site may be redeveloped in the future by the owners with a new church and school on the western portion of the site and a low-rise residential development on the east.
- There is a proposed flex road with a 20 metres road dedication running through this site in the Cloverdale Town Centre Plan (TCP). The location of the proposed flex road will reduce the developable area for the church and school site as it falls in the middle of the site. This will make redevelopment of the church and school difficult as it would divide these uses on either side of the proposed flex road.

- The owners of this adjacent site are proposing a future amendment to the Cloverdale TCP, upon submission of a Development Application to redevelop the site, in order to move the flex road from its proposed location to a new location along the west side of that property (and immediately adjacent to the east property line of the subject application) . The owners of 17475, 17511 & 17561 – 59 Avenue have been working with City Staff on the ideal location for the road to ensure it meets the goals and objectives of the Cloverdale TCP.
- The flex road as proposed in the Cloverdale TCP will be removed and two roads will be provided in its place (see Appendix V). One 20-metre-wide road will be provided along the western property line of the site, adjacent to the eastern property line of the subject townhouse development application. This road will also require 3.0 metres of road dedication along the east of the subject townhouse proposal to be provided for the western side this road. This road will provide a left turn connection between 59 Avenue and 60 Avenue.
- The second 20-metre-wide road will be provided on the eastern portion of the church site to provide further connection between 59 Avenue and 60 Avenue for any proposed low rise residential development on this portion of the site as per the Cloverdale Town Centre Plan. This road will only be a right-in right-out connection to 60 Avenue.
- The amendment to the Cloverdale Town Centre Plan at this time will ensure that when the owners of this site redevelop, they can design in accordance with this new road network. It will also ensure that the necessary road dedication is provided through the subject development application.
- Staff support the proposed amendment to the Cloverdale Town Centre Plan for changes to the road network to proceed for consideration, as do the relevant property owners.

Themes/Objectives

- The proposed development is consistent with the guiding policies and objectives in the Cloverdale Town Centre Plan to attract residents by providing a range of housing types. The proposed development will provide affordable housing in the form of townhouses to Cloverdale Town Centre.

Zoning By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)" and parking requirements.

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed
Unit Density:	75 UPH	64 UPH
Floor Area Ratio:	1.0	0.85
Lot Coverage:	45%	38.6%
Yards and Setbacks		
Rear Yard (North):	6.0 metres	4.5 metres*
Street Side Yard (East):	4.5 metres	4.0 metres*
Front Yard (South – 59 Avenue):	4.5 metres	4.5 metres
Side on A Flanking Lane (West):	4.5 metres	2.8 metres*
Height of Buildings		
Principal buildings:	13 m	13 metres
Amenity Space		
Indoor Amenity:	3 square metres/unit (102 square metres)	103.7 square metres
Outdoor Amenity:	3 square metres/unit (102 square metres)	126.9 square metres
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Residential:	68	68
Residential Visitor:	7	7
Total:	75	75
Tandem (%):	50%	50%
Bicycle Spaces		
Residential Visitor:	6	6

*proposed variances

Setback Variances

- The applicant is requesting the following variances:
 - to reduce the minimum east street side yard setback of the RM-30 Zone from 4.5 metres to 4.0 metres to the principal building face of Building 1, 2 and 3;
 - to reduce the minimum west side yard on a flanking lane setback of the RM-30 Zone from 4.5 metres to 2.8 metres to the principal building face of Building 4, 5, 6 and 7;
 - to reduce the minimum north rear yard setback of the RM-30 Zone from 6.0 metre to 4.5 metres to the principal building face of Building 3; and
 - to allow one (1) visitor parking space to be within the required west side yard on a flanking lane on Building 6.
- The RM-30 Zone requires that buildings and structures have a minimum street side yard setback of 4.5 metres and a minimum rear setback of 6.0 metres. The applicant is proposing reduced setbacks along the street sides (east and west) yard, and rear (north) yard lot lines.

- The proposed building setback reductions improve the proposed townhouse layout, provide more interaction between the public and private realm, and enhance the liability of the units.
- The reduced setbacks along the east and west property lines will create appropriate urban, pedestrian-friendly streetscapes along the future lane along the west and future road along the east.
- Additionally, the reduced setback along the west accommodates one (1) of the required visitor parking stalls.
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,000 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Cloverdale Town Centre Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 24, 2021, and the Development Proposal Signs were installed on November 11, 2021. Staff received 1 response from neighbouring residents (*staff comments in italics*):
 - The neighbouring church (Precious Blood Catholic Church) to the east of the site raised concern over the proposed development not providing any road dedication for a future road proposed along the east of the subject site as discussed above.

The applicants are now providing 2 metres of road dedication along the eastern portion of the subject site for a sidewalk for the future road on the church site.
- The subject development application was reviewed by the Cloverdale Community Association. The Cloverdale Community Association had concerns over the proposed density increase in an existing single family dwelling neighbourhood and the potential issues of parking and vehicular circulation in the area.
 - *Staff provided the Cloverdale Community Association with information on the Cloverdale Town Centre Plan and confirmed that the proposed density and building form complies with the “Townhouses” designation in the plan. This is a Council endorsed Town Centre Plan and the proposed development meets the goals and objectives laid out in the plan. Additionally, staff confirmed that the proposed parking complies with the minimum requirements identified in Part 5 of the Zoning Bylaw. No variance to the parking requirements is proposed.*

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Cloverdale Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP).
- The proposed 34-unit townhouse project consists of seven (7) three-storey buildings with garages accessed internally at grade.
- To provide a pedestrian-friendly interface and appropriate building spacing, the length of all buildings facing the street do not exceed five (5) units.
- Building 1, 2 and 3 contain four (4) units each, Building 3 and 7 contain five (5) units each and Building 4, 5 and 6 contain six (6) units each.
- Building 1, 2 and 3 will front a future road and thus consist of 12 street-oriented units each with direct access from the front yard. Similarly, Building 7 fronts 59 avenue and consists of five (5) street-oriented units with direct access from the front yard.
- Access to Building 4, 5, and 6 is provided via a 1.8-metre wide walkway which runs along the west property line and connects to 59 Avenue.

- The townhouse units are approximately 126 to 139 square metres in floor area each and are comprised entirely of three-bedroom units.
- All of the townhouse units that are street-oriented will contain an attached garage as well as a flex-room at grade. The townhouse units internal to the site will only contain a tandem garage at grade. The kitchen, dining and family/living rooms of all units are located on the second floor, with bedrooms on the third floor.
- 50% (17) of the proposed 34 townhouse units consist of double car, side-by-side garages, while the remaining 50% (17) of townhouses consist of tandem garages, which complies with the RM-30 Zone. All 17 of the tandem garage units will consist of two (2) parking space within the garage.
- To ensure the tandem parking spaces will not be converted into livable spaces, the applicant is required to register a Section 219 Restrictive Covenant as a condition of Final Adoption of the proposed rezoning.
- The townhouses incorporate peaked roofs and oversized windows into the design. The proposed building materials include asphalt shingle roofing material, hardie-shingle & horizontal siding, brick veneer with wood fascia and glazed doors. The colour palette is a combination of white, gray and charcoal.
- Each unit will have a small private balcony off the second floor and a small outdoor yard space.

Landscaping

- Each townhouse unit includes a private patio space and a private yard with layered planting consisting of a variety of shrubs and trees.
- The landscaping plans shows a total of 50 replacement trees, to be planted throughout the subject site, including Vine Maple, David's Maple, Pyramidal European Hornbeam, Slender Hinoki False Cypress, Pink Kousa Dogwood, Raywood Ash, Slender Silhouette Sweetgum, Rustica Red Magnolia, Ruby Vase Persian Ironwood, Bruns Serbian Spruce, Douglas Fir, Green Pillar Pin Oak, Snowcone Japanese Snowbell, Ivory Silk Japanese Tree Lilac. In addition, the landscaping includes a mix of shrubs, ground cover and open lawn space.
- Planter beds are proposed along the internal drive aisle, between the garage entrances for each unit and will include layered, low-lying shrubs.
- A corner plaza is proposed on the northwest corner of the site along 59 Avenue. The plaza includes stamped concrete, layered planting, a bench for sitting and visitor bike parking.

Indoor Amenity

- The RM-30 Zone requires that 102 square metres of indoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant has met the Zoning By-law requirement.

- The applicant proposes a 2 storey amenity building within Building 4, approximately 103.8 square metres in size, and adjacent to one of the outdoor amenity areas.
- The proposed amenity building includes one accessible washroom, a lobby and lounge space with a sink and fridge on the first floor. A second smaller lounge space is proposed on the second floor. It is anticipated the programmable space will be used for a combination of dining, lounge, and gatherings.

Outdoor Amenity

- The RM-30 Zone requires that 102 square metres of outdoor amenity space be provided, based on a requirement of 3 square metres for each dwelling unit. The applicant has met the Zoning By-law requirement.
- The applicant is proposing approximately 126.9 square metres of outdoor amenity space on the subject site, which exceeds the Zoning By-law requirements.
- The outdoor amenity space is located in three areas. Along the north property line a learning play panel area is provided for children aged six months to five years old with seating area and a table for parents and outdoor picnics. To the east of the proposed indoor amenity building, a BBQ area is proposed along with outdoor seating and tables. There is also a play area suited for older children in this area. Lastly, there is a small outdoor amenity space along the south property line with a landscaped area and bench.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Finalizing the Landscaping Plan, to the satisfaction of Trees and Landscaping, specifically with regard to the location of replacement trees, location of shrubs and landscaping for the outdoor amenity area and plaza corner.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Terry Thrale, ISA Certified Arborist of Woodbridge Tree Consulting Arborists Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Mountain Ash	1	1	0
Sugar Maple	1	1	0
Honey Locust	1	1	0
Willow	6	6	0
Catalpa	1	1	0
Katsura	1	0	1
Plum	2	2	0
Apple	1	1	0
Japanese Maple	1	1	0
Norway Maple	1	1	0
Red Maple	1	0	1
Coniferous Trees			
Spruce	1	1	0
Weeping Sequoia	1	1	0
Total (excluding Alder and Cottonwood Trees)	19	17	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		50	
Total Retained and Replacement Trees		52	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 19 protected trees on the site. There are no Alder or Cottonwood trees on site. It was determined that two (2) protected trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a total of 34 replacement trees on the site. The applicant is proposing 50 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Vine Maple, David's Maple, Pyramidal European Hornbeam, Slender Hinoki False Cypress, Pink Kousa Dogwood, Raywood Ash, Slender Silhouette Sweetgum, Rustica Red Magnolia, Ruby Vase Persian Ironwood, Bruns Serbian Spruce, Douglas Fir, Green Pillar Pin Oak, Snowcone Japanese Snowbell, Ivory Silk Japanese Tree Lilac.
- In summary, a total of 52 trees are proposed to be retained or replaced on the site with no contribution required to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

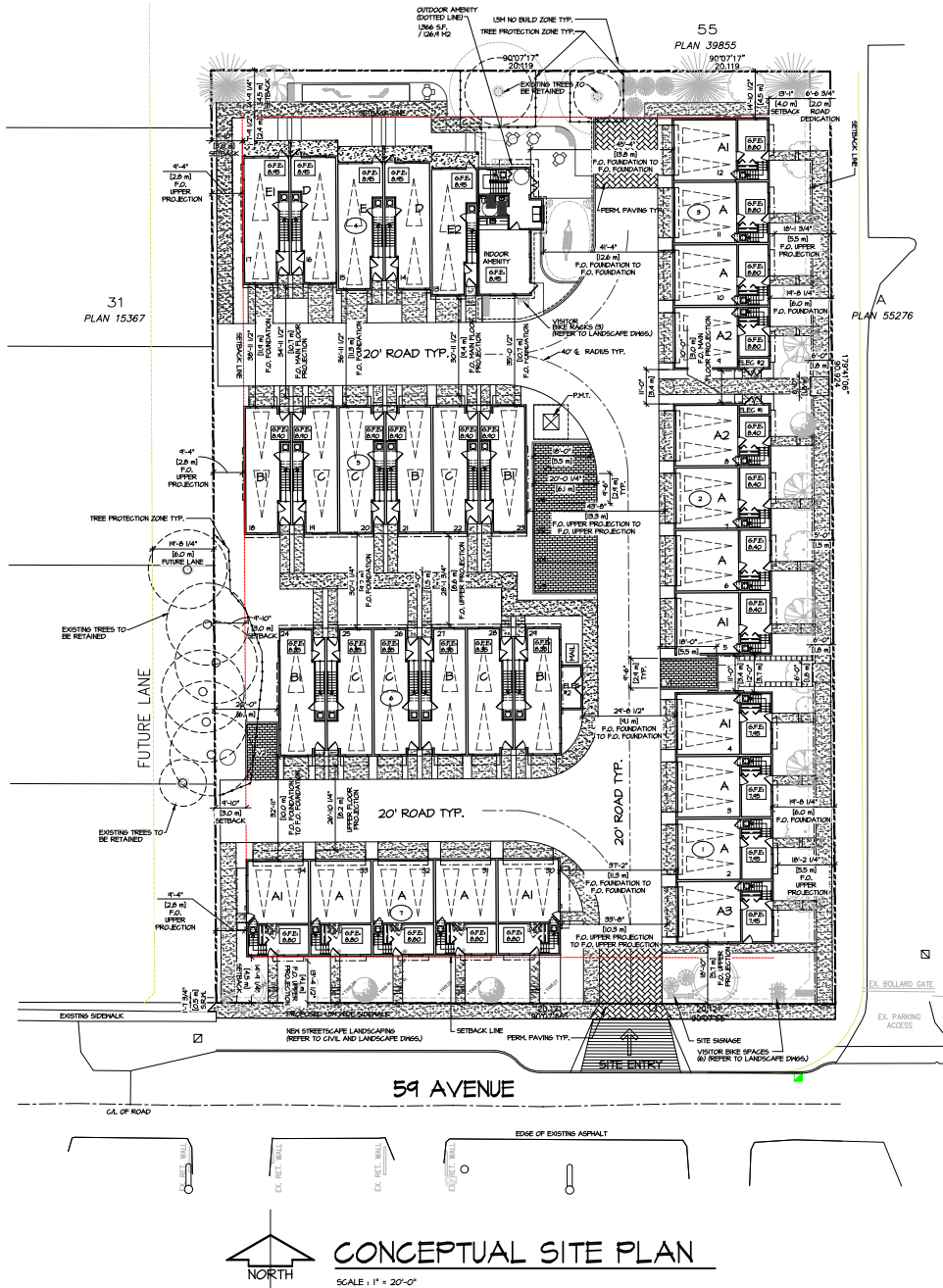
The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations and Landscape Plans
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. Cloverdale TCP Plan Amendment
- Appendix VI. Development Variance Permit No. 7921-0301-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

CL/ar



DEVELOPMENT DATA

SITE AREA		GROSS	59069 S.F.	1.36 ACRES	5,481.64 SQ.M.	0.544 Ha
ROAD DEDICATION			1451 S.F.	0.04 ACRES	181.81 SQ.M.	0.018 Ha
NET AREA (TOTAL)			57112 S.F.	1.31 ACRES	5,305.80 SQ.M.	0.531 Ha
DENSITY		26 UPA	64 UPha	(34 TOTAL UNITS)		
F.A.R.		0.85	(48,503 S.F.)	4506 M2	- (TOTAL UNIT AREA)	
SITE COVERAGE		41.90%	23,933 S.F.	2223 M2	- (TOTAL GROUND FLOOR AREA)	
INDOOR AMENITY		REQUIRED:				
		INDOOR	3.0 M2 X X	(34 UNITS)	=	102.00 M2
		PROVIDED:				
		INDOOR AMENITY	1,117.00 S.F.	103.71 M2		

OUTDOOR AMENITY & PARKING DATA

PARKING:		REQUIRED:				
		RESIDENTIAL:	2	X	(34 UNITS)	= 68 SPACES
		VISITOR:	0.2	X	(34 UNITS)	= 6.80 SPACES
		TOTAL:				75 SPACES
		PROVIDED:				
		RESIDENTIAL:	68 SPACES			
		VISITOR:	7 SPACES			
		TOTAL:	75			
		TANDEM PARKING	17 (TANDEM PARKING)	=	50 (%)	
OUTDOOR AMENITY		REQUIRED:	3.0 M2 X X	(34 UNITS)	=	102.00 M2
		PROVIDED:	1,366 S.F.	126.90 M2		

UNIT BREAKDOWN

UNIT TYPE	# OF BEDROOMS	# OF UNITS	BASEMENT S.F.	MAIN S.F.	UPPER S.F.	TOTAL S.F. PER UNIT (EXCLUDING GARAGE)	TOTAL S.F. (EXCLUDING GARAGE)
UNIT 'A'	3 BEDROOMS	4	210 S.F.	603 S.F.	654 S.F.	1,472 S.F.	13,248 S.F.
UNIT 'A1'	3 BEDROOMS	5	212 S.F.	608 S.F.	668 S.F.	1,488 S.F.	7,440 S.F.
UNIT 'A2'	3 BEDROOMS	2	172 S.F.	608 S.F.	671 S.F.	1,451 S.F.	2,902 S.F.
UNIT 'A3'	3 BEDROOMS	1	212 S.F.	608 S.F.	671 S.F.	1,491 S.F.	1,491 S.F.
UNIT 'B'	3 BEDROOMS	2	106 S.F.	608 S.F.	646 S.F.	1,360 S.F.	2,720 S.F.
UNIT 'B1'	3 BEDROOMS	4	106 S.F.	615 S.F.	661 S.F.	1,382 S.F.	5,528 S.F.
UNIT 'C'	3 BEDROOMS	6	106 S.F.	608 S.F.	646 S.F.	1,360 S.F.	8,160 S.F.
UNIT 'D'	3 BEDROOMS	2	106 S.F.	626 S.F.	636 S.F.	1,368 S.F.	2,736 S.F.
UNIT 'E'	3 BEDROOMS	1	106 S.F.	626 S.F.	636 S.F.	1,368 S.F.	1,368 S.F.
UNIT 'E1'	3 BEDROOMS	1	106 S.F.	641 S.F.	651 S.F.	1,398 S.F.	1,398 S.F.
UNIT 'E2'	3 BEDROOMS	1	106 S.F.	626 S.F.	686 S.F.	1,418 S.F.	1,418 S.F.
ELEC. RM.							94 S.F.
						TOTAL # OF UNITS: 34	48,503 S.F.

PROJECT DATA

CIVIC ADDRESS: 17349 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 31, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT PART SE 1/4 010-072-012
 P.I.D.:

CIVIC ADDRESS: 17411 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 32, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT PART SE 1/4 010-072-021
 P.I.D.:

CIVIC ADDRESS: 17421 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 33, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT 010-072-047
 P.I.D.:

EXISTING ZONING: RF
 PROPOSED ZONING: RM-30

NEW BUILDINGS:
 APPLICABLE CODE: B.C.B.C. 2018 EDITION, UNDER PART 3
 RESIDENTIAL: GROUP C TO PART 4 - A5 PER DIVISION A, CLAUSE 1.3.33.1.(1)(a)
 RESIDENTIAL: GROUP C
 UP TO 3 STOREYS
 ARTICLE 3.2.2.54 - SPRINKLERED, 45 MINUTE FRR MIN.

ISSUED FOR	BY	DATE	ISSUE

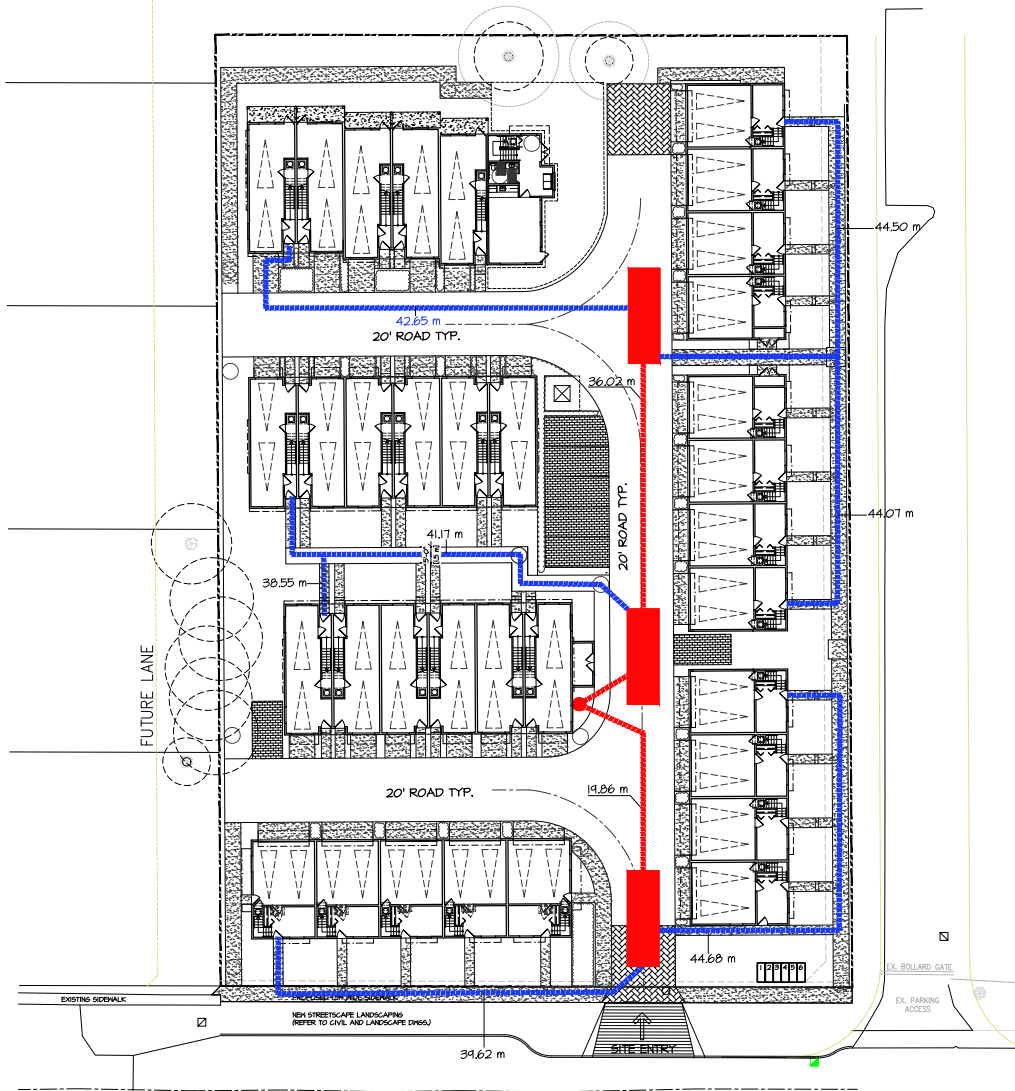


DESIGN: L.P.S.	DRAWN: S.J.C.	DATE: JUN 27 22	SCALE: 1" = 20'-0"
CLIENT: SACHIN JANGHU	PROJECT: 17349 / 17411 & 17421 54 AVE. SURREY, B.C.	SHEET CONTENTS: CONCEPTUAL SITE PLAN SITE DEVELOPMENT PLAN	

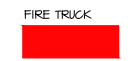
barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-10

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LEGEND

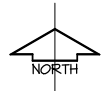


FIRE TRUCK

DISTANCE FROM HYDRANT TO FIRE TRUCK (MAX. 45m)

DISTANCE FROM FIRE TRUCK TO SUITE ENTRY (MAX. 45m)

PROPOSED ON-SITE HYDRANT



FIRE DEPARTMENT PLAN

SCALE: 1" = 20'-0"

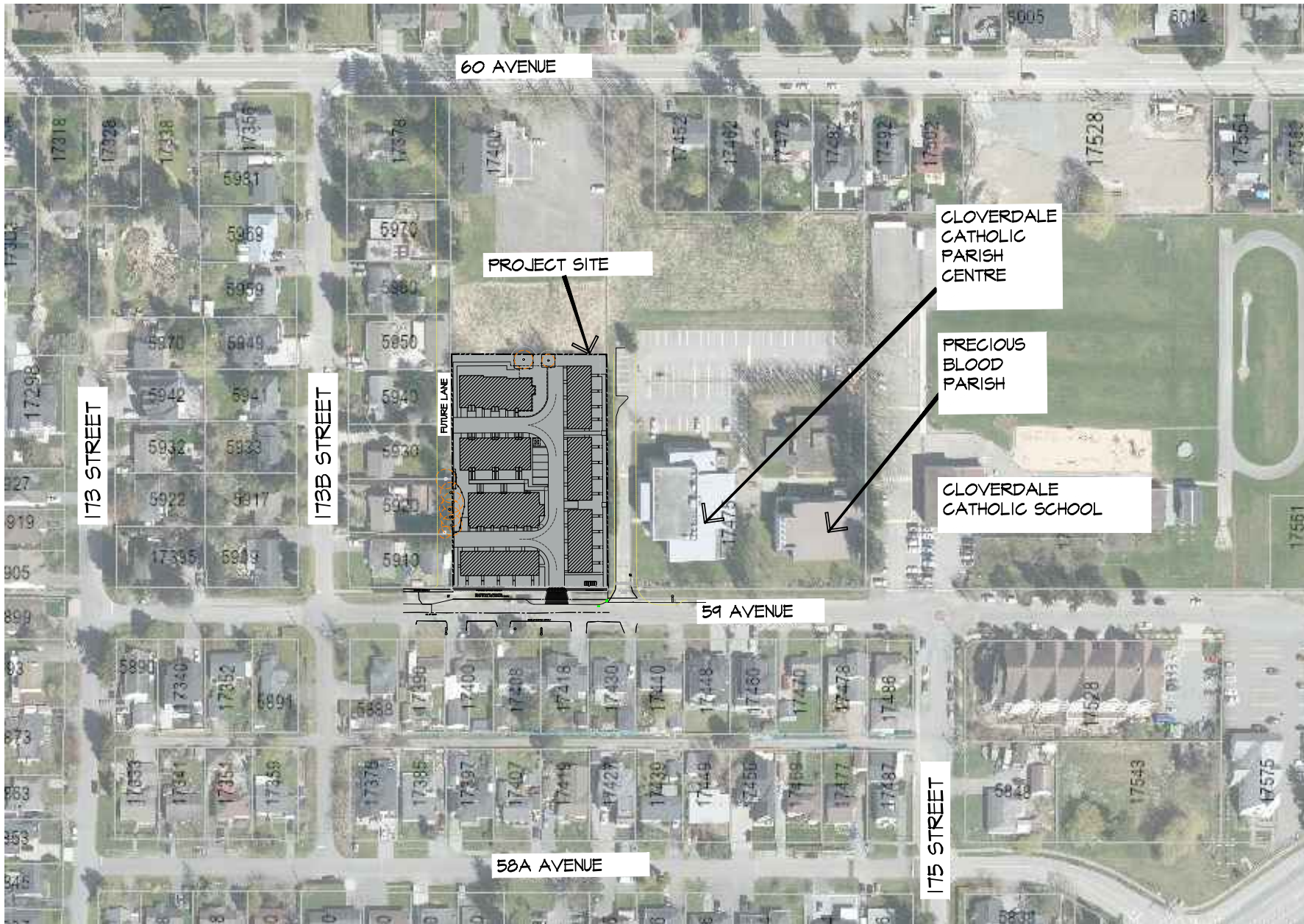
REV#	DATE	DRN	DCD	ISSUE	DATE	BY	ISSUED FOR
1	MAR 23 2022	L.P.A.					DEVELOPMENT PERMIT



DESIGN : L.P.A.	DRAWN : S.C.	DATE : JUN 27 22	SCALE : 1" = 20'-0"
CLIENT : SACHIN JHANGHU	PROJECT : 17399 / 17411 & 17421 591 AVE. SURREY, B.C.	SHEET CONTENTS : FIRE DEPARTMENT PLAN	

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 V3W 1H8
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 FAX: (604) 597-2099
 EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-12



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REV#	DATE	BY	ISSUED FOR
1	MAR 23 2022	L.P.A.	DEVELOPMENT PERMIT

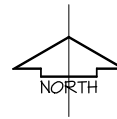


DESIGN : L.P.A.	DRAWN : L.P.A.
DATE : JUN 21 22	SCALE : 1" = 60'-0"
CLIENT : SACHIN JHANGRA	
PROJECT : 17399 / 17411 & 17421 59 AVE, SURREY, B.C.	
SHEET CONTENTS : CONTEXT PLAN - LOCAL	

barnett dembok
ARCHITECTS INC.

UNIT 135,
2536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@bdorkitex.com



CONTEXT PLAN - LOCAL
SCALE: 1" = 60'-0"

CLIENT NO. 20029	SHEET NO. AC-103
PROJECT NO. 20029	REV. NO.



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REV#	DATE	DRN	CD	ISSUE	DATE	BY	ISSUED FOR
1	MAR 23 2022			L.P.A.			DEVELOPMENT PERMIT

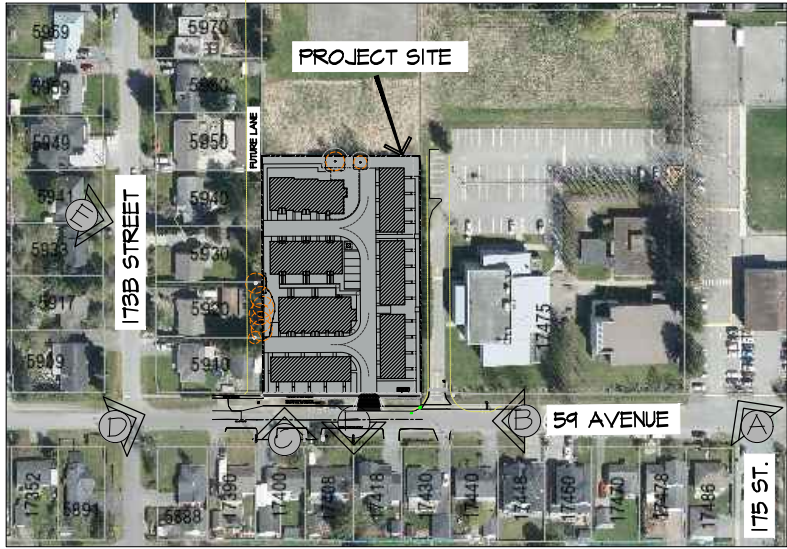


CLIENT :	SACHIN JHANGHU
PROJECT :	17399 / 17411 & 17421 59 AVE, SURREY, B.C.
DESIGN :	L.P.A.
DRAWN :	
DATE :	JUN 21 22
SCALE :	1" = 60'-0"
SHEET CONTENTS :	CONTEXT PLAN - NEIGHBORHOOD

barnett danker
 ARCHITECTS INC.
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@bdarkitex.com

CONTEXT PLAN - NEIGHBORHOOD
 SCALE: 1" = 60'-0"

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-104
20029	REV. NO.



MAP / PLAN VIEW OF SUBJECT SITE



STREETVIEW AT 59 AVENUE & 175 STREET INTERSECTION



STREETVIEW ELEVATION - EAST VIEW OF PROJECT SITE



STREETVIEW ELEVATION - SOUTH VIEW OF PROJECT SITE



STREETVIEW AT 59 AVENUE & 173B STREET INTERSECTION



STREETVIEW ELEVATION - VIEW ALONG 173B STREET



STREETVIEW ELEVATION - VIEW OPPOSITE OF PROJECT SITE

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REV#	DATE	BY	ISSUED FOR



C:\CONTRACTING

DESIGN : L.P.S.	DRAWN :	DATE : JUN 21 22	SCALE : 1" = 60'-0"
CLIENT : SACHIN JHANGHU			
PROJECT : 17399 / 17411 & 17421 59 AVE. SURREY, B.C.			
SHEET CONTENTS : STREETVIEW ELEVATIONS			

barnett dembok
ARCHITECTS INC.

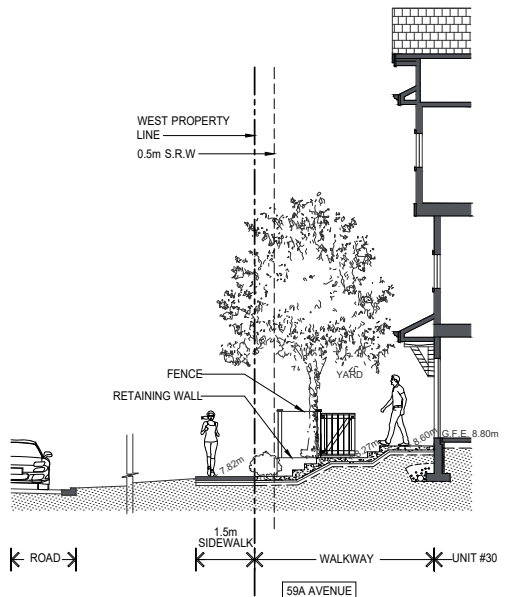
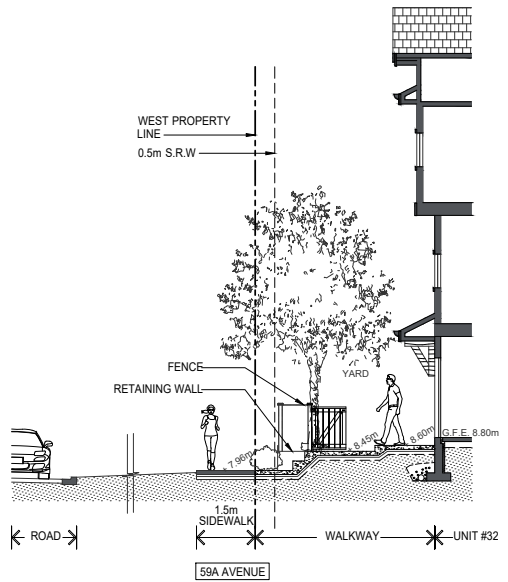
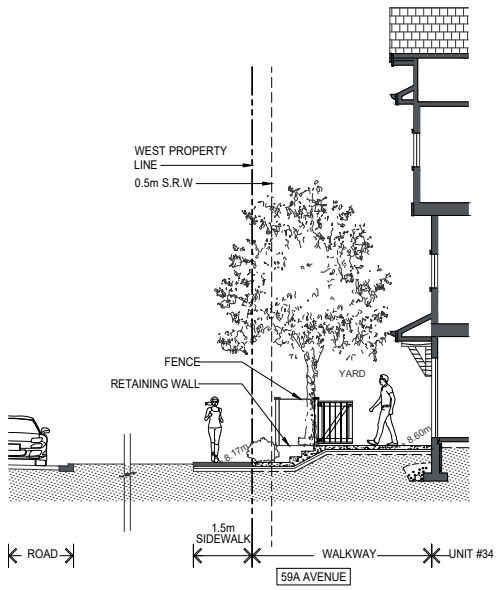
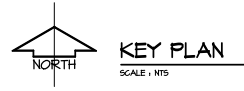
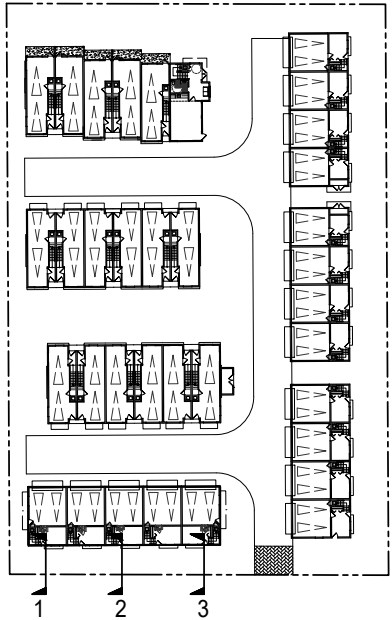
UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@darkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-1.05

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REV#	DATE	DRN	QCD	ISSUE	DATE	BY	ISSUED FOR
1	MAR 23 2022	L.P.A.	DEVELOPMENT PERMIT				



1 SCALE: NTS CROSS SECTION - UNIT #34 FRONTAGE 59A AVENUE

2 SCALE: NTS CROSS SECTION - UNIT #32 FRONTAGE 59A AVENUE

3 SCALE: NTS CROSS SECTION - UNIT #30 FRONTAGE 59A AVENUE

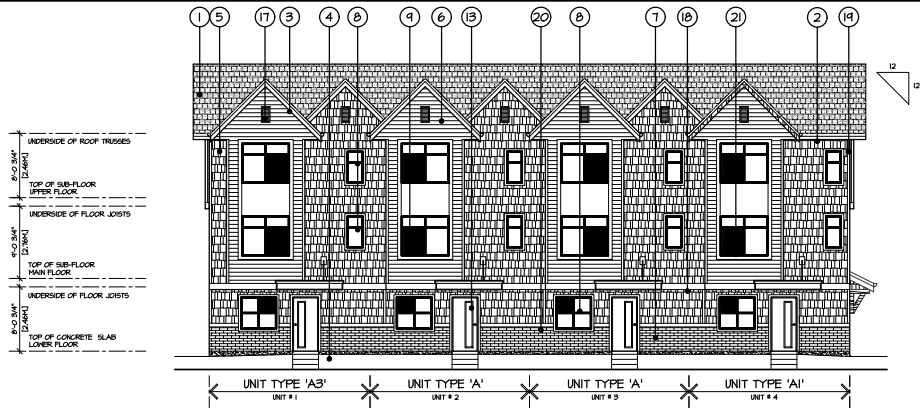


C2H-Cross-Sectioning

DESIGN :	L.P.A.
CLIENT :	SACHIN JHANGHU
DRAWN :	
PROJECT :	17399 / 17411 & 17421 BR AVE. SURREY, B.C.
DATE :	JUN 27 22
SHEET CONTENTS :	SITE SECTIONS BUILDING NO. 07
SCALE :	3/16" = 1'-0"

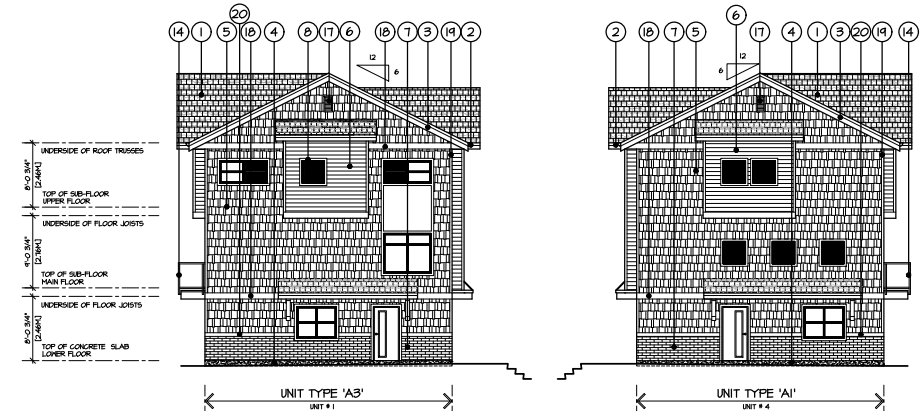
barnett danker
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 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett-danker.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-1.06



EAST ELEVATION

SCALE: 1/8" = 1'-0"

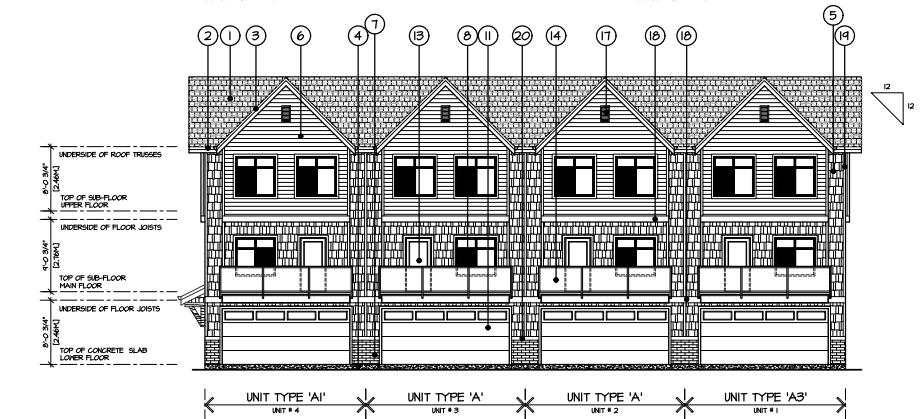


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

①		ASPHALT SHINGLE ROOFING
②		PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
③		1X4 WOOD TRIM ON 2X10 FOOD FASCIA
④		ARCHITECTURAL FINISHED CONCRETE C/M CLEAR, SPRAY APPLIED SEALER
⑤		HARDIE-SHINGLE SIDING
⑥		HARDIE HORIZONTAL SIDING
⑦		BRICK VENEER
⑧		VINYL FRAMED WINDOWS WITH 2X4 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑨		VINYL FRAMED WINDOWS WITH 2X6 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑩		VINYL FRAMED WINDOWS C/M DOOR TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑪		GARAGE DOOR C/M 2X4 TRIM ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
⑫		EXTERIOR METAL DOOR
⑬		EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
⑭		42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
⑮		12X12 BUILT-UP COLUMN (CLAD IN HARDIE PANEL)
⑯		HARDIE PANEL PRIVACY SCREENS
⑰		DECORATIVE LOUVRE
⑱		2X10 WOOD TRIM TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
⑲		CORNER TRIM
⑳		METAL FLASHING
㉑		STEEL ROD SUPPORT
㉒		WOOD KNEE BRACE NATURAL WOOD COLOUR, MATTE FINISH

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ISSUED FOR	DATE	BY



REGISTERED ARCHITECT
SACHIN JHANGHU
BRITISH COLUMBIA
NO. 23202

CLIENT: SACHIN JHANGHU
PROJECT: 17349 / 17411 & 17421 DR AVE.
SURREY, B.C.
SHEET CONTENTS: ELEVATIONS
BUILDING NO. 01

DESIGN: L.P.S.
DRAWN: S.J.
DATE: JUN 27 22
SCALE: 1/8" = 1'-0"

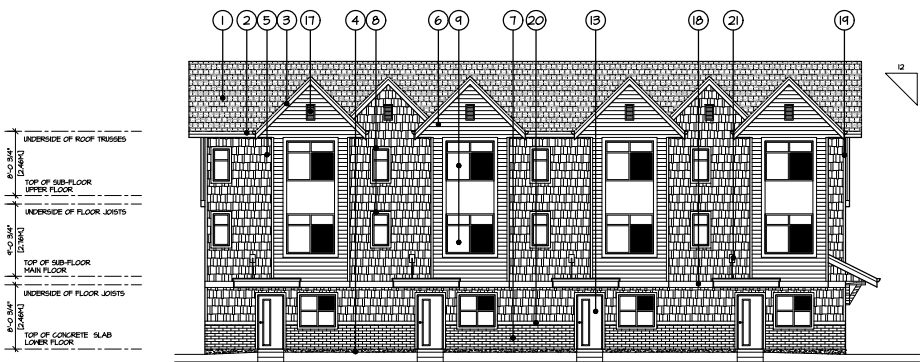
barnett dembek

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

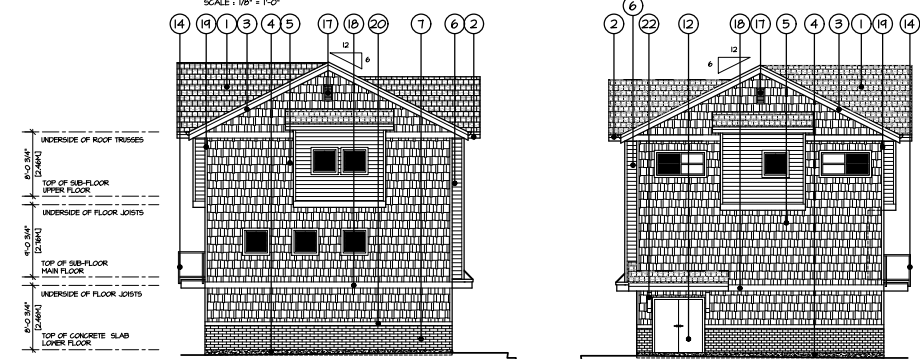
PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@borkitex.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-4.01

BUILDING #1



EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

1	ASPHALT SHINGLE ROOFING
2	PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
3	1X4 WOOD TRIM ON 2X10 FOOD FASCIA
4	ARCHITECTURAL FINISHED CONCRETE C/M CLEAR, SPRAY APPLIED SEALER
5	HARDIE-SHINGLE SIDING
6	HARDIE HORIZONTAL SIDING
7	BRICK VENEER
8	VINYL FRAMED WINDOWS WITH 2X4 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
9	VINYL FRAMED WINDOWS WITH 2X6 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
10	VINYL FRAMED WINDOWS C/M DOOR TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
11	GARAGE DOOR C/M 2X4 TRIM ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
12	EXTERIOR METAL DOOR
13	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
14	42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
15	12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL)
16	HARDIE PANEL PRIVACY SCREENS
17	DECORATIVE LOUVRE
18	2X10 WOOD TRIM TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
19	CORNER TRIM
20	METAL FLASHING
21	STEEL ROD SUPPORT
22	WOOD KNEE BRACE NATURAL WOOD COLOUR, MATTE FINISH

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ISSUED FOR	ISSUED DATE	BY	DATE	ISSUE



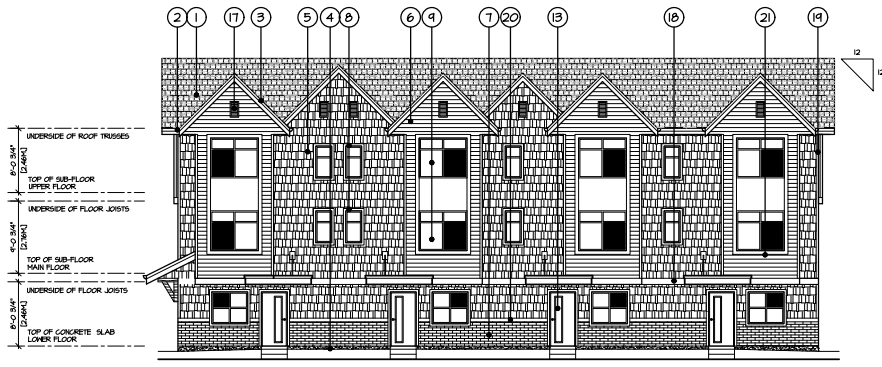
CLIENT: SACHIN JHANGHU
 PROJECT: 17349 / 17411 & 17421 DR AVE.
 SURREY, B.C.
 SHEET CONTENTS:
 ELEVATIONS
 BUILDING NO. 02

DESIGN: L.P.S.	DRAWN: L.P.S.	DATE: JUN 27 22	SCALE: 1/8" = 1'-0"
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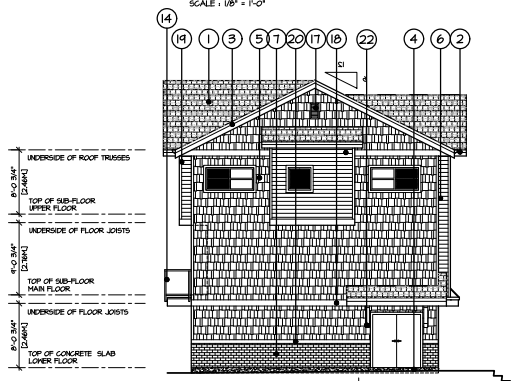
barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-4.02

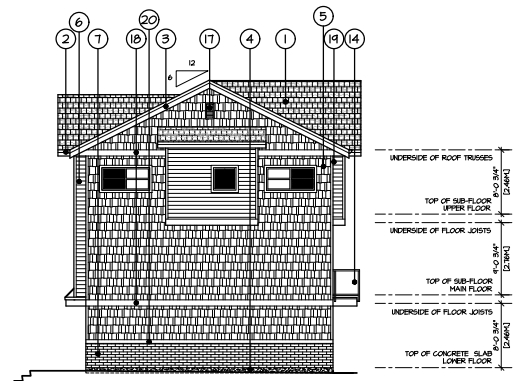
BUILDING #2



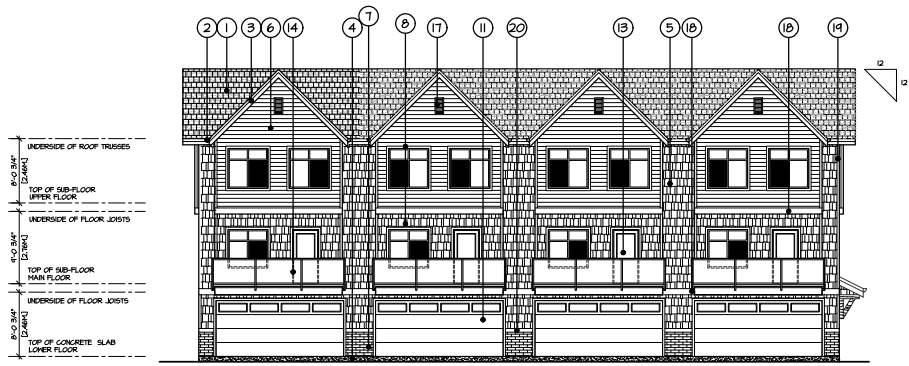
EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES	
①	ASPHALT SHINGLE ROOFING
②	PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
③	1X4 WOOD TRIM ON 2X10 FOOD FASCIA
④	ARCHITECTURAL FINISHED CONCRETE C/M CLEAR, SPRAY APPLIED SEALER
⑤	HARDIE-SHINGLE SIDING
⑥	HARDIE HORIZONTAL SIDING
⑦	BRICK VENEER
⑧	VINYL FRAMED WINDOWS WITH 2X4 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑨	VINYL FRAMED WINDOWS WITH 2X6 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑩	VINYL FRAMED WINDOWS C/M DOOR TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
⑪	GARAGE DOOR C/M 2X4 TRIM ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
⑫	EXTERIOR METAL DOOR
⑬	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
⑭	42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
⑮	12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL)
⑯	HARDIE PANEL PRIVACY SCREENS
⑰	DECORATIVE LOUVRE
⑱	2X10 WOOD TRIM TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDAL CHARCOAL
⑲	CORNER TRIM
⑳	METAL FLASHING
㉑	STEEL ROD SUPPORT
㉒	WOOD KNEE BRACE NATURAL WOOD COLOUR, MATTE FINISH

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ISSUE NO.	DATE	BY	ISSUED FOR
1	MAR 23 2022	L.P.A.	DEVELOPMENT PERMIT



CREATING

DESIGN :	L.P.A.
DRAWN :	S.V.
DATE :	MAR 27 22
SCALE :	1/8" = 1'-0"

CLIENT : SACHIN JHANGHU
PROJECT : 17349 / 17411 & 17421 DR AVE.
SURREY, B.C.
SHEET CONTENTS :
ELEVATIONS
BUILDING NO. 03

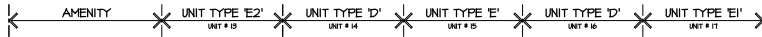
barnett dembek
ARCHITECTS

UNIT 135,
7536 130 STREET,
SURREY, B.C.
V3W 1H8

PHONE: (604) 597-7100
FAX: (604) 597-2099
EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
PROJECT NO.	AC-4.03
20029	REV. NO.

BUILDING #3



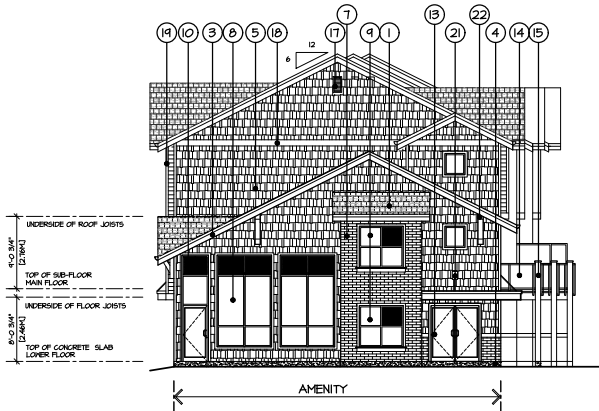
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



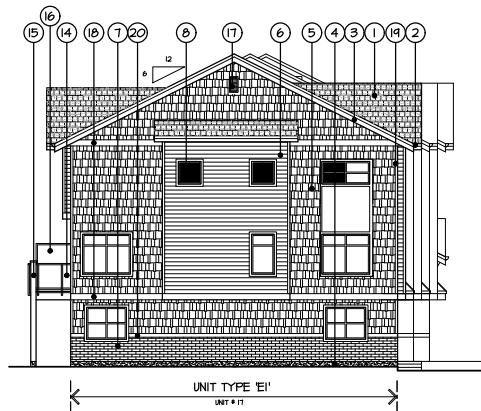
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- 1 ASPHALT SHINGLE ROOFING
- 2 PREFINISHED ALUMINUM GUTTER ON 2X10 WOOD FASCIA
- 3 1X4 WOOD TRIM ON 2X10 FOOD FASCIA
- 4 ARCHITECTURAL FINISHED CONCRETE
C/M CLEAR, SPRAY APPLIED SEALER
- 5 HARDIE-SHINGLE SIDING
- 6 HARDIE HORIZONTAL SIDING
- 7 BRICK VENEER
- 8 VINYL FRAMED WINDOWS WITH 2X4 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- 9 VINYL FRAMED WINDOWS WITH 2X6 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- 10 VINYL FRAMED WINDOWS C/M DOOR
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- 11 GARAGE DOOR C/M 2X4 TRIM
ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
- 12 EXTERIOR METAL DOOR
- 13 EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
- 14 42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINUM RAILINGS
C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
- 15 12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL)
- 16 HARDIE PANEL PRIVACY SCREENS
- 17 DECORATIVE LOUVRE
- 18 2X10 WOOD TRIM
TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
- 19 CORNER TRIM
- 20 METAL FLASHING
- 21 STEEL ROD SUPPORT
- 22 WOOD KNEE BRACE
NATURAL WOOD COLOUR, MATTE FINISH

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ISSUE FOR	ISSUED FOR	BY	DATE	ISSUE
	DEVELOPMENT PERMIT	L.P.A.	MAR 23 2022	1



DESIGN :	DRAWN :	DATE :	SCALE :
L.P.A.	L.P.A.	JUN 27 22	1/8" = 1'-0"

CLIENT : SACHIN JHANGHU
 PROJECT : 17249 / 17411 & 17421 DR AVE.
 SURREY, B.C.
 SHEET CONTENTS : ELEVATIONS BUILDING NO. 04

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CLIENT NO.	SHEET NO.
20029	AC-4.04

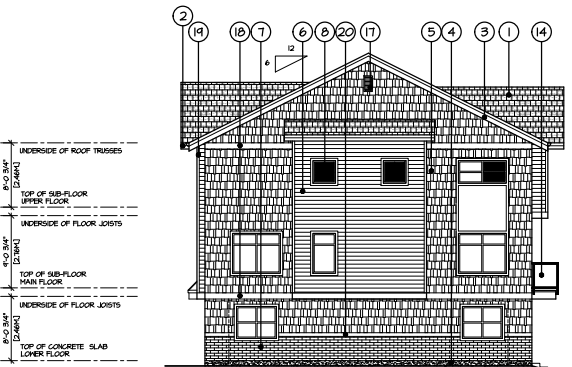
BUILDING #4



UNIT TYPE 'B1' * UNIT TYPE 'C' * UNIT TYPE 'C' * UNIT TYPE 'B1' * UNIT TYPE 'C' * UNIT TYPE 'B1'

SOUTH ELEVATION

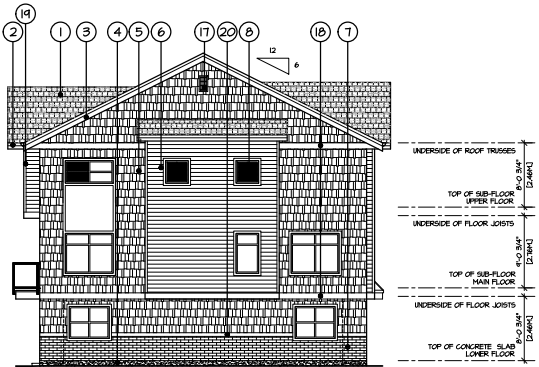
SCALE: 1/8" = 1'-0"



UNIT TYPE 'B1'

EAST ELEVATION

SCALE: 1/8" = 1'-0"



UNIT TYPE 'B1'

WEST ELEVATION

SCALE: 1/8" = 1'-0"



UNIT TYPE 'B1' * UNIT TYPE 'C' * UNIT TYPE 'B1' * UNIT TYPE 'C' * UNIT TYPE 'C' * UNIT TYPE 'B1'

NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES	
1	ASPHALT SHINGLE ROOFING
2	PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
3	1X4 WOOD TRIM ON 2X10 FOOD FASCIA
4	ARCHITECTURAL FINISHED CONCRETE C/M CLEAR, SPRAY APPLIED SEALER
5	HARDIE-SHINGLE SIDING
6	HARDIE HORIZONTAL SIDING
7	BRICK VENEER
8	VINYL FRAMED WINDOWS WITH 2X4 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
9	VINYL FRAMED WINDOWS WITH 2X6 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
10	VINYL FRAMED WINDOWS C/M DOOR TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
11	GARAGE DOOR C/M 2X4 TRIM ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
12	EXTERIOR METAL DOOR
13	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
14	42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
15	12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL)
16	HARDIE PANEL PRIVACY SCREENS
17	DECORATIVE LOUVRE
18	2X10 WOOD TRIM TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
19	CORNER TRIM
20	METAL FLASHING
21	STEEL ROD SUPPORT
22	WOOD KNEE BRACE NATURAL POOD COLOUR, MATTE FINISH

ISSUE NO.	DATE	BY	FOR
1	MAR 23 2024	L.P.A.	DEVELOPMENT PERMIT

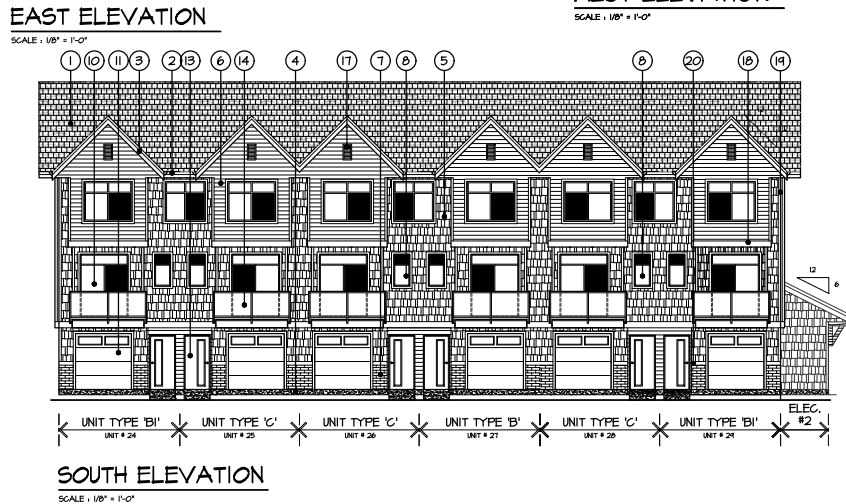
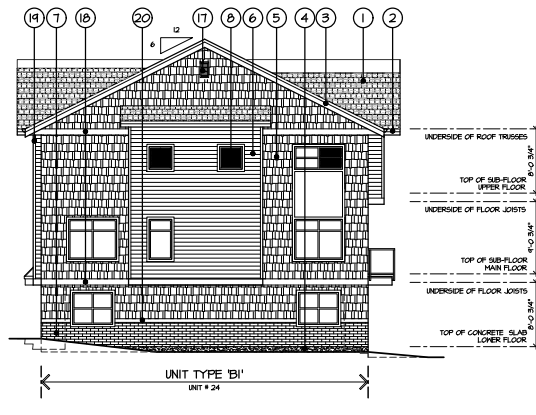
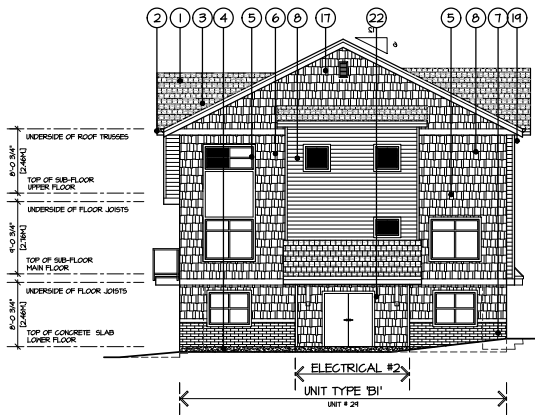
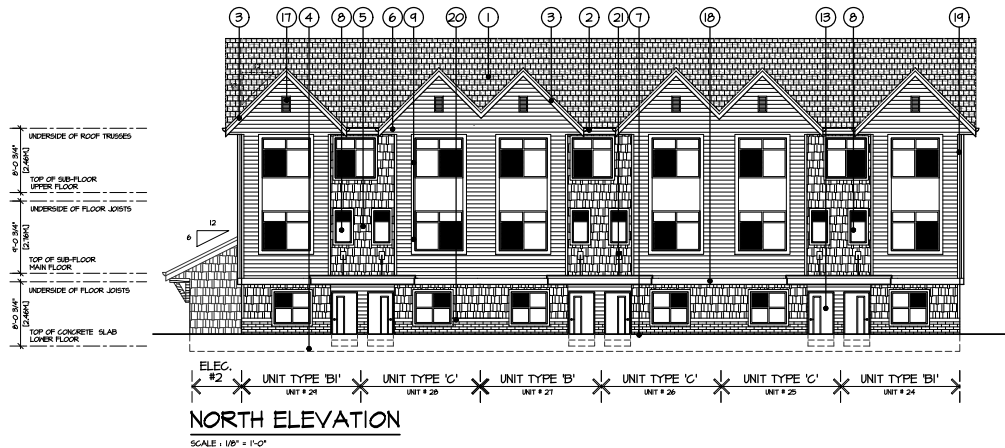


DESIGN :	L.P.A.
DRAWN :	
DATE :	MAR 27 22
SCALE :	1/8" = 1'-0"
CLIENT :	SACHIN JHANGHU
PROJECT :	17349 / 17411 & 17421 DR AVE. SURREY, B.C.
SHEET CONTENTS :	ELEVATIONS BUILDING NO. 05

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 V3W 1H8
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 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-4.05

BUILDING #5



SCHEDULE OF FINISHES

- | | |
|----|---|
| 1 | ASPHALT SHINGLE ROOFING |
| 2 | PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA |
| 3 | 1X4 WOOD TRIM ON 2X10 FOOD FASCIA |
| 4 | ARCHITECTURAL FINISHED CONCRETE
C/M CLEAR, SPRAY APPLIED SEALER |
| 5 | HARDIE-SHINGLE SIDING |
| 6 | HARDIE HORIZONTAL SIDING |
| 7 | BRICK VENEER |
| 8 | VINYL FRAMED WINDOWS WITH 2X4 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS |
| 9 | VINYL FRAMED WINDOWS WITH 2X6 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS |
| 10 | VINYL FRAMED WINDOWS C/M DOOR
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS |
| 11 | GARAGE DOOR C/M 2X4 TRIM
ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS |
| 12 | EXTERIOR METAL DOOR |
| 13 | EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING |
| 14 | 42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS
C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED |
| 15 | 12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL) |
| 16 | HARDIE PANEL PRIVACY SCREENS |
| 17 | DECORATIVE LOUVRE |
| 18 | 2X10 WOOD TRIM
TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL |
| 19 | CORNER TRIM |
| 20 | METAL FLASHING |
| 21 | STEEL ROD SUPPORT |
| 22 | WOOD KNEE BRACE
NATURAL FLOOR COLOUR, WHITE FINISH |

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ISSUE FOR	ISSUED FOR	BY	DATE	ISSUE
	L.P.A.		MAR 23 2022	1



CLIENT : SACHIN JHANGHU

DESIGN : L.P.A.

DRAWN : S.J.

DATE : JUN 27 22

SCALE : 1/8" = 1'-0"

PROJECT : 17349 / 17411 & 17421 DR AVE. SURREY, B.C.

SHEET CONTENTS : ELEVATIONS BUILDING NO. 06

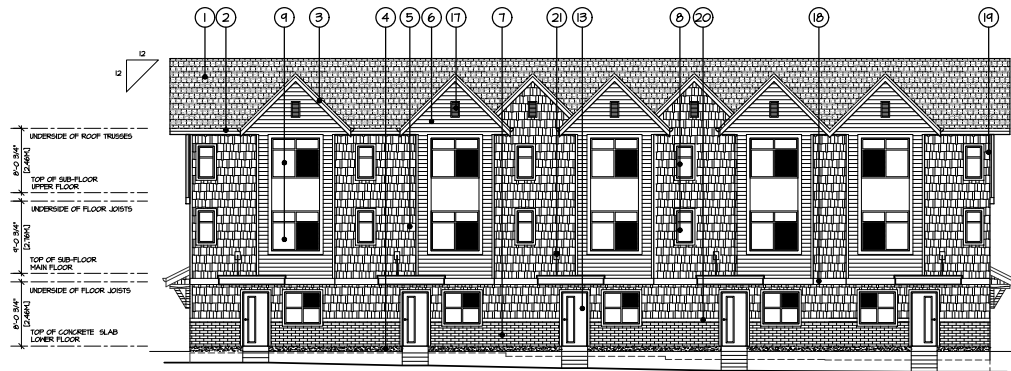
barnett dembek

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EMAIL: mail@dorkitex.com

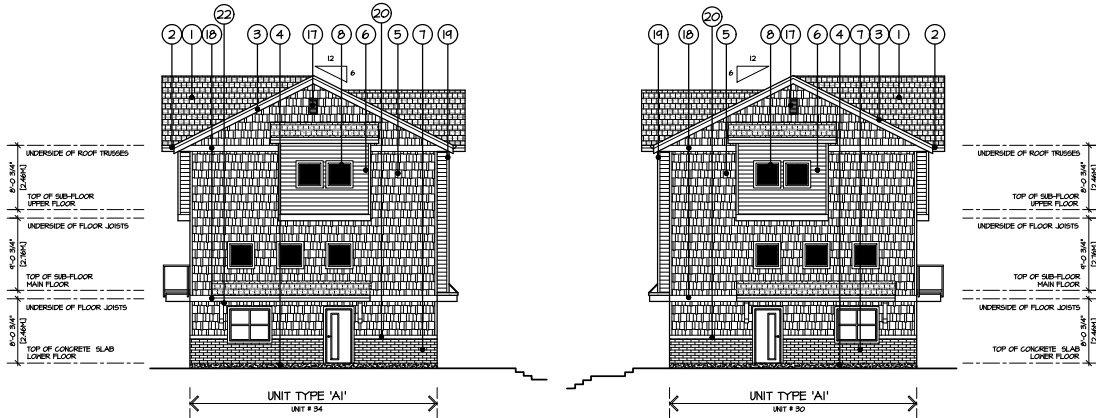
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-4.06

BUILDING #6



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

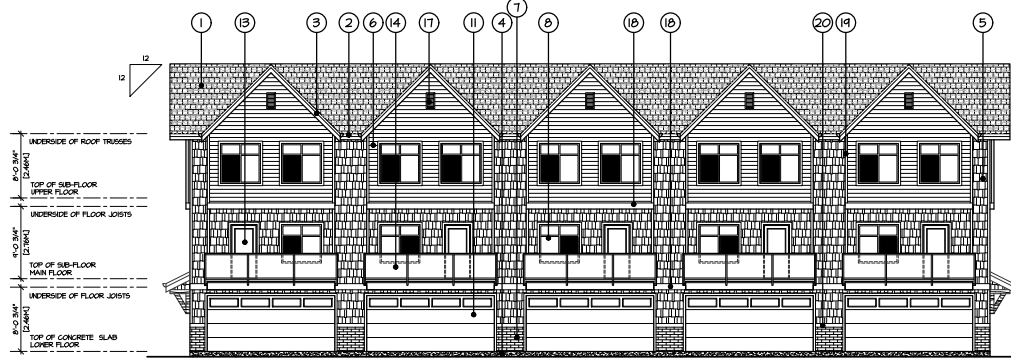


WEST ELEVATION

SCALE: 1/8" = 1'-0"

EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

- ① ASPHALT SHINGLE ROOFING
- ② PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
- ③ 1X4 WOOD TRIM ON 2X10 FOOD FASCIA
- ④ ARCHITECTURAL FINISHED CONCRETE
C/M CLEAR, SPRAY APPLIED SEALER
- ⑤ HARDIE-SHINGLE SIDING
- ⑥ HARDIE HORIZONTAL SIDING
- ⑦ BRICK VENEER
- ⑧ VINYL FRAMED WINDOWS WITH 2X4 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- ⑨ VINYL FRAMED WINDOWS WITH 2X6 TRIMS
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- ⑩ VINYL FRAMED WINDOWS C/M DOOR
TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
- ⑪ GARAGE DOOR C/M 2X4 TRIM
ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
- ⑫ EXTERIOR METAL DOOR
- ⑬ EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
- ⑭ 42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS
C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
- ⑮ 12X12 BUILT-UP COLUMN (CLAD IN HARDIE PANEL)
- ⑯ HARDIE PANEL PRIVACY SCREENS
- ⑰ DECORATIVE LOUVRE
- ⑱ 2X10 WOOD TRIM
TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
- ⑲ CORNER TRIM
- ⑳ METAL FLASHING
- ㉑ STEEL ROD SUPPORT
- ㉒ WOOD KNEE BRACE
NATURAL WOOD COLOUR, MATTE FINISH

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ISSUED FOR	ISSUED DATE	BY	DATE	REVISION
DEVELOPMENT PERMIT	MAR 23 2022	L.P.A.		

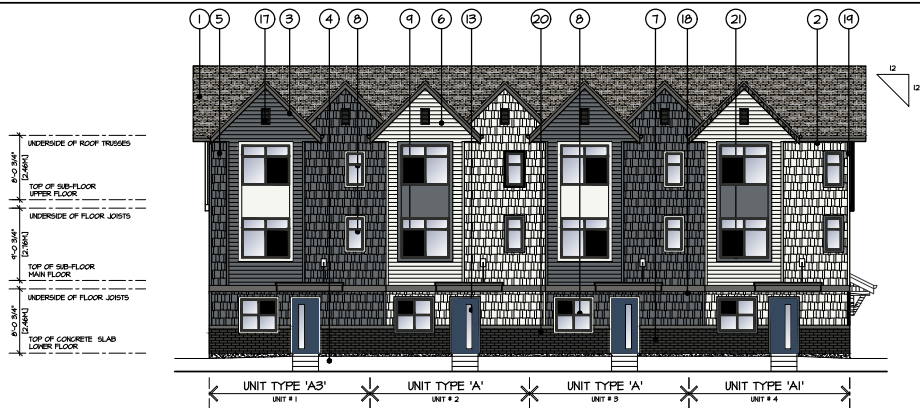


DESIGN : L.P.A.	DRAWN : L.P.A.	SCALE : 1/8" = 1'-0"
DATE : JUN 27 22	PROJECT : 17349 / 17411 & 17421 BR. AVE. SURREY, B.C.	SHEET CONTENTS : ELEVATIONS BUILDING NO. 07
CLIENT : SACHIN JHANGHU		

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 EMAIL: mail@barnett.com

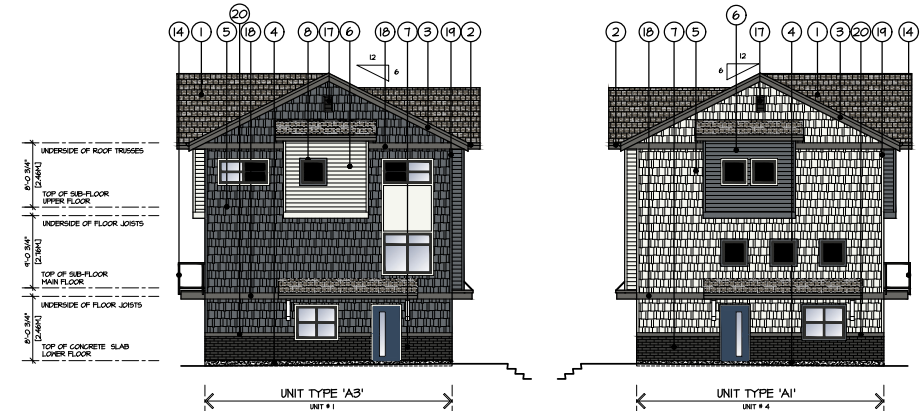
CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-4.01

BUILDING #7



EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

SCHEDULE OF FINISHES

1	ASPHALT SHINGLE ROOFING
2	PREFINISHED ALUMINIUM GUTTER ON 2X10 WOOD FASCIA
3	1X4 WOOD TRIM ON 2X10 FOOD FASCIA
4	ARCHITECTURAL FINISH CONCRETE C/M CLEAR, SPRAY APPLIED SEALER
5	HARDIE-SHINGLE SIDING
6	HARDIE HORIZONTAL SIDING
7	BRICK VENEER
8	VINYL FRAMED WINDOWS WITH 2X4 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
9	VINYL FRAMED WINDOWS WITH 2X6 TRIMS TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
10	VINYL FRAMED WINDOWS C/M DOOR TRIM COLOUR: ARCTIC WHITE / NIGHT GRAY - AS PER COLOURED ELEVATIONS
11	GARAGE DOOR C/M 2X4 TRIM ARCTIC WHITE / NIGHT GRAY - TRIM COLOUR AS PER COLOURED ELEVATIONS
12	EXTERIOR METAL DOOR
13	EXTERIOR METAL DOOR C/M TEMPERED OPAQUE GLAZING
14	42 1/8" HIGH, POWDER COATED PRE-FINISHED ALUMINIUM RAILINGS C/M CLEAR TEMPERED GLASS PANELS - FACE-MOUNTED
15	12X12 BUILT-UP COLUMN (GLAD IN HARDIE PANEL)
16	HARDIE PANEL PRIVACY SCREENS
17	DECORATIVE LOUVRE
18	2X10 WOOD TRIM TRIM COLOUR AS PER COLOURED ELEVATIONS - KENDALL CHARCOAL
19	CORNER TRIM
20	METAL FLASHING
21	STEEL ROD SUPPORT
22	WOOD KNEE BRACE NATURAL WOOD COLOUR, MATTE FINISH

**COLOUR SCHEME
(TYPICAL FOR ALL BUILDINGS)**

	JAMES HARDIE - COLOUR: NIGHT GRAY
	BENJAMIN MOORE - COLOUR: KENDALL CHARCOAL
	JAMES HARDIE - COLOUR: ARCTIC WHITE
	SHERWIN WILLIAMS - COLOUR: NAVAL (SW 6244)
	BRICK MUTUAL MATERIALS - COLOUR: COAL CREEK

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ISSUED FOR	BY	DATE	ISSUE
	L.P.A.	MAR 23 2022	1



CLIENT : SACHIN JHANGHU

PROJECT : 17849 / 17411 & 17421 DR AVE. SURREY, B.C.

SHEET CONTENTS : ELEVATIONS BUILDING NO. 01

DESIGN	DRAWN	DATE	SCALE
L.P.A.		JUN 27 22	1/8" = 1'-0"

barnett dembek

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SURREY, B.C.
V3W 1H8

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EMAIL: mail@barnett-dembek.com

CLIENT NO.	SHEET NO.
	AC-4.01

PROJECT NO.	REV. NO.
20029	

BUILDING #1

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	19.03.20	CONCEPT PLAN	CLG
2	19.04.20	REVISED CONCEPT PLAN	CLG
3	19.05.20	REVISED CONCEPT PLAN	CLG
4	19.06.20	REVISED CONCEPT PLAN	CLG
5	19.07.20	REVISED CONCEPT PLAN	CLG
6	19.08.20	REVISED CONCEPT PLAN	CLG
7	19.09.20	REVISED CONCEPT PLAN	CLG
8	21.04.21	NEW SITE PLAN	WZ
9	22.05.21	REV. BLDG FOOTPRINTS	CLG
10	22.06.21	UPDATE PER PLAN	CLG
11	22.07.21	UPDATE AND ISSUE FOR SUBMISSION	CLG
12	22.08.21	NEW CIVIL PLAN / ANNOTATE REVISION	CLG
13	22.09.21	NEW BLDG PLAN	SA
14	22.10.21	UPDATE PER CITY COMMENTS	CLG
15	21.05.22	UPDATE PER CITY COMMENTS	CLG
16	21.06.22	UPDATE PER CITY COMMENTS	DR.

CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVENUE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 21.05.21 DRAWING NUMBER:
SCALE: 1/2" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7

TREE SCHEDULE		
KEY	BOTANICAL NAME	PMG PROJECT NUMBER - 21-173
3	ACER CIRCINATUM	VINE MAPLE 6.0CM CAL. B&B; 3' STEM CLUMP 6CM CAL. 2M STD. B&B
1	ACER DAVIDI	DAVID'S MAPLE 6CM CAL. 2M STD. B&B
1	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEECH 6CM CAL. B&B
2	CHAMAECYPARIS ORTUSA 'GRACILIS'	SLENDER HINDI FALSE CYPRESS 3.0M HT; B&B
7	CORNUS KOUSA 'SATOMI'	PINK HOUSA DOGWOOD 6.0CM CAL.; 1.5M STD. B&B
2	FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH 6CM CAL. 1.5M STD. B&B
4	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM 6CM CAL. B&B
4	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA 6.0CM CAL.; 1.5M STD. B&B
1	PARROTIA PERSIICA 'RUBY VASE'	RUBY VASE PERSIAN BROWWOOD 6.0CM CAL.; 1.5M STD. B&B
4	PICEA OMORIKIA 'BRUNS'	BRUNS SIBERIAN SPRUCE 3.0M HT; B&B
3	PSEUDOTSUGA MENDSII	DOUGLAS FIR 2.5M HT; B&B
8	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK 6.0CM CAL. B&B
3	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL 6.0CM CAL.; 1.5M STD. B&B
4	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC 6CM CAL. 1.5M STD. B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER LOCAL STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR SERVED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *** SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRINGER VALLEY. **** SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. *** SELECTION OF PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. *** SOILS NOT PERMITTED FOR GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

20 REQUIRED BY-LAW-SIZED REPLACEMENT TREES (PER ARBORIST REPORT DATED APRIL 04, 2020).
50 PROPOSED BY-LAW-SIZED REPLACEMENT TREES.



Site Furnishing Legend		Hardscape Legend		Fencing Legend	
[Symbol]	Model: FRANCIS ANDREW ARRAY CUSTOM CURVED BENCH 72" OUTSIDE RADIUS 90 DEGREE W/ 2.5" DIA. SELECT GEM SLATE. DRIFTWOOD POWDERCOAT	[Symbol]	Model: METALLIC MATERIALS ECO-PROPA PERMEABLE PAVERS, LIGHT NATURAL, GREY COLOUR	[Symbol]	Model: 4' HEIGHT WOOD PERIMETER FENCE
[Symbol]	Model: WINDSHIELD INDUSTRIES WIDE BODY MODERN BENCH, WALNUT COLOUR SLATE WITH NORDIC LICHEN POWDERCOAT	[Symbol]	Model: BROOM FINISHED CONCRETE WITH DECORATIVE SAUNGSIS STONE	[Symbol]	Model: 4' HEIGHT WOOD BOARD & BATTEN FENCE
[Symbol]	Model: SMOOTH BOULDERS, BURY 1035 MIN. 36" DIAMETER	[Symbol]	Model: STRUCTURAL SOIL FOR TREE GROWING MEDIUM VOLUMES, MINIMIZE PEST REFERENCE TO DETAILS AND SPECIFICATIONS	[Symbol]	Model: 3' HEIGHT WOOD PICKET FENCE
[Symbol]	Model: WINDSHIELD INDUSTRIES URBAN GRACE ROUND TABLE, ACCESSIBLE SPIRAL LIGHTING TO COLOUR NORDIC LICHEN	[Symbol]		[Symbol]	
[Symbol]	Model: CORA EXPO W300 BIKE RACK, 4 BIKE CAPACITY, ULTRA MARINE BLUE POWDERCOAT	[Symbol]		[Symbol]	

Landscape Lighting Legend	
[Symbol]	Model: [Symbol]
[Symbol]	Model: [Symbol]



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WT
7	22 JUL 09	REV. BIDS F STEPS	CL
6	23 JUN 09	UPDATE PER NEW PLAN	CLG
5	22 MAY 10	UPDATE AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 10	NEW CIVIL PLAN / AMENITY REVISION	CL
3	26 APR 08	NEW ARCH PLAN	SA
2	25 DEC 07	UPDATE PER CITY COMMENTS	CLG
1	21 NOV 08	UPDATE PER CITY COMMENTS	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AV
SURREY

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 21 SEP 01 DRAWING NUMBER:

SCALE: 1/16" = 1'-0"

DRAWN: CLG

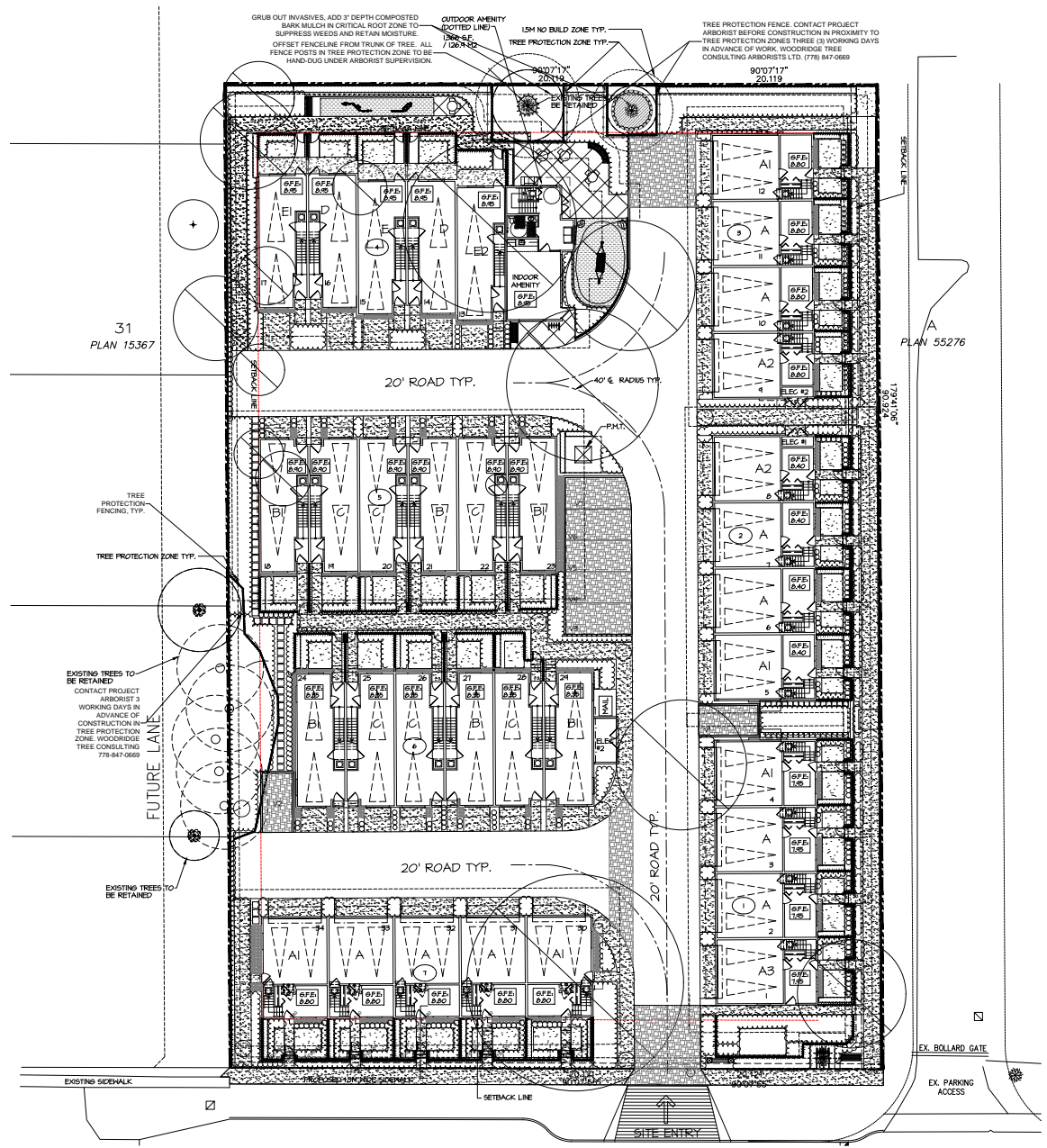
DESIGN: CLG

CHKD: PC

LO

OF 7

PMG PROJECT NUMBER: 21-173



Tree Management Legend

Symbol	Model
	TREE TO REMOVE
	TREE TO RETAIN



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WT
7	22 JUL 09	REV. BIDS 7 STEPS	CT
6	23 JUN 09	UPDATES PER PLAN PLAN	CLG
5	22 MAY 10	UPDATES AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 10	NEW CIVIL PLAN / AMENITY REVISION	CT
3	22 APR 09	NEW ARCH PLAN	SA
2	24 DEC 07	UPDATES PER CITY COMMENTS	CLG
1	21 NOV 08	UPDATES PER CITY COMMENTS	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7

TREE SCHEDULE			
REF.	QTY	BOTANICAL NAME	PLANTED SIZE / REMARKS
3		ACER CIRCINATUM	6.0CM CAL. BAB. 3 STEM CLUMP
		ACER DAVIDI	6CM CAL. 2M STD. BAB
		CARPINUS BETULUS 'FASTIGIATA'	6CM CAL. BAB
		CHAMAECYPARIS OBTUSA 'GRACILIS'	3.0M HT. BAB
		CORNUS KOUSA 'SATOM'	6.0CM CAL. 1.5M STD. BAB
		FRAXINUS OXYCARPA 'RAYWOOD'	6CM CAL. 1.8M STD. BAB
		LIQUIDAMBAR STRYACIFLUA 'SLENDER SILHOUETTE'	6CM CAL. BAB
		MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	6.0CM CAL. 1.5M STD. BAB
		PARROTTIA PERSCICA 'RUBY VASE'	6.0CM CAL. 1.5M STD. BAB
		PICEA OMOIKAWA 'IRUNO'	3.0M HT. BAB
		PSEUDOTSUGA MENZIESII	2.5M HT. BAB
		QUERCUS PALustris 'GREEN PILLAR'	6.0CM CAL. BAB
		STYRAX JAPONICUS 'SNOWCONE'	6.0CM CAL. 1.5M STD. BAB
		SYRINGA RETICULATA 'IVORY SILK'	6CM CAL. 1.5M STD. BAB

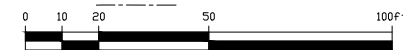
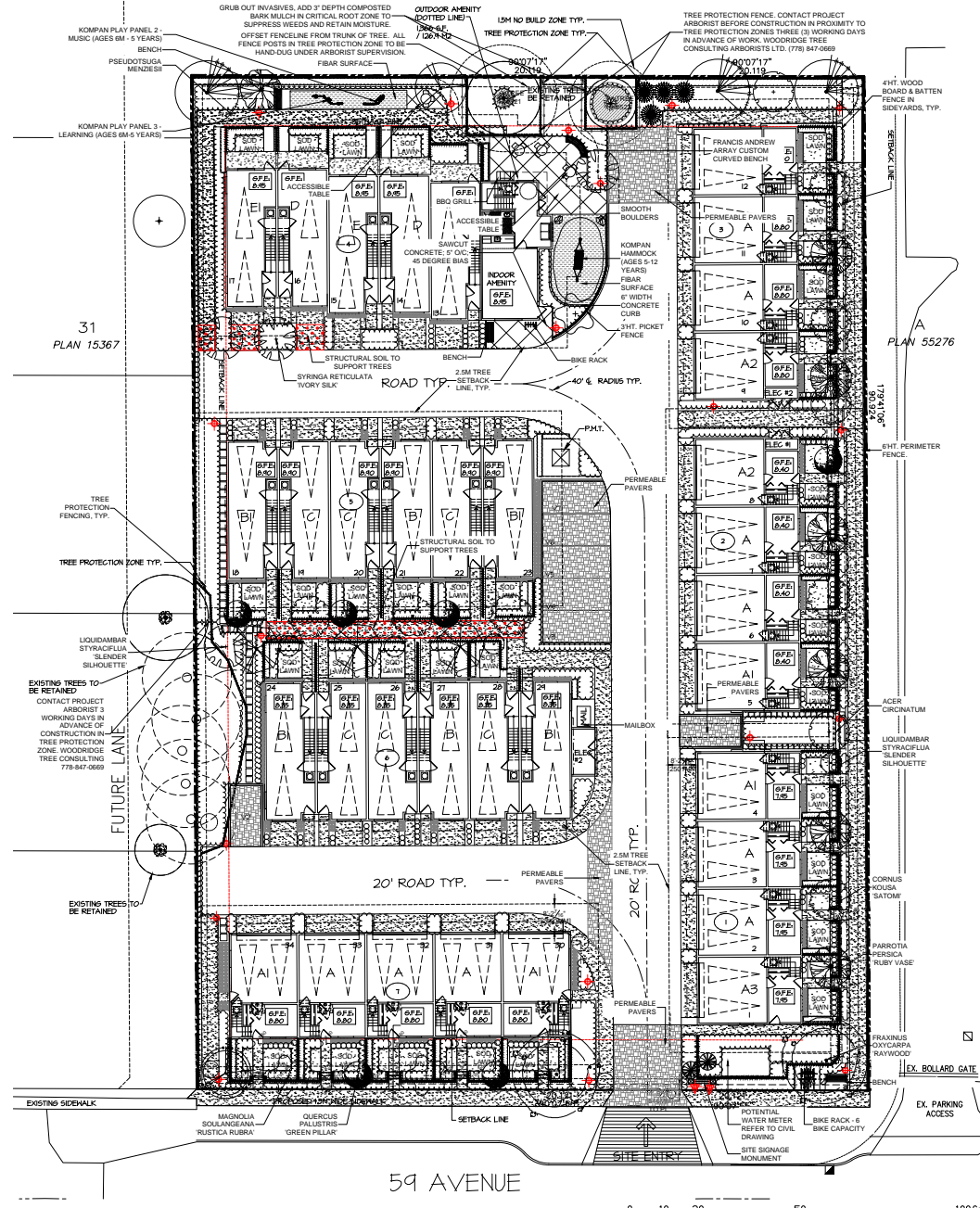
NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. *SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNIMPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIALS AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. *ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. *BOSCOLDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

38 REQUIRED BY-LAW SIZED REPLACEMENT TREES (PER ARBORIST REPORT DATED APRIL 04, 2020).
50 PROPOSED BY-LAW SIZED REPLACEMENT TREES.



Site Furnishing Legend		Hardscape Legend		Fencing Legend	
	FRANCIS ANDREW ARRAY CUSTOM CURVED BENCH (12'0" DEEP) FINISH: 40 DEGREES WIDE, CLEAR SELECT CEDAR SLATS, 2500 TROUSERS POWERCOAT		MUTUAL MATERIALS ECO-PROGRA PERMEABLE PAVERS USE NATURAL GREY COLOUR.		6 HEIGHT WOOD PERIMETER FENCE
	WISHBONE INDUSTRIES WIDE BODY W/HAND BRAID, WALNUT COLOUR SLATS WITH NORDIC POWDERCOAT		BROOM FINISHED CONCRETE W/CO. WITH DECORATIVE SAWCUTS		8 HEIGHT WOOD BOARD & BATTEN FENCE
	SMOOTH BOULDERS, BURY 1.0RD MIN. 24-36" DIAMETER		STRUCTURAL SOIL FOR TREE GROWING MEDIUM VOLUMES, MINIMUM 2' DEPTH. REFER TO DETAILS AND SPECIFICATIONS.		3 HEIGHT WOOD PICKET FENCE
	WISHBONE INDUSTRIES URBAN SPACE ROUND TABLE - ACCESSIBLE SPACE, 18PTWC-70 COLOUR, NORDIC LICHEN POWDERCOAT				
	ULTRA MARINE BLUE POWDERCOAT				

Landscape Lighting Legend	
	LANDSCAPE LIGHTING



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 20	NEW SITE PLAN	WT
7	22 JUL 09	REV. BIDS, F STIPS	CT
6	23 JUN 09	UPDATE PER NEW PLAN	CLG
5	22 MAY 09	UPDATE AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 09	NEW CIVIL PLAN / AMENITY REVISION	CT
3	26 APR 08	NEW ARCH PLAN	SA
2	25 DEC 07	UPDATE PER CITY COMMENTS	CLG
1	21 NOV 08	UPDATE PER CITY COMMENTS	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVE
SURREY

DRAWING TITLE:

PLANTING PLAN

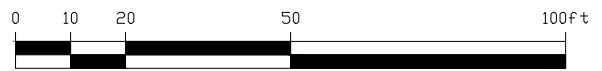
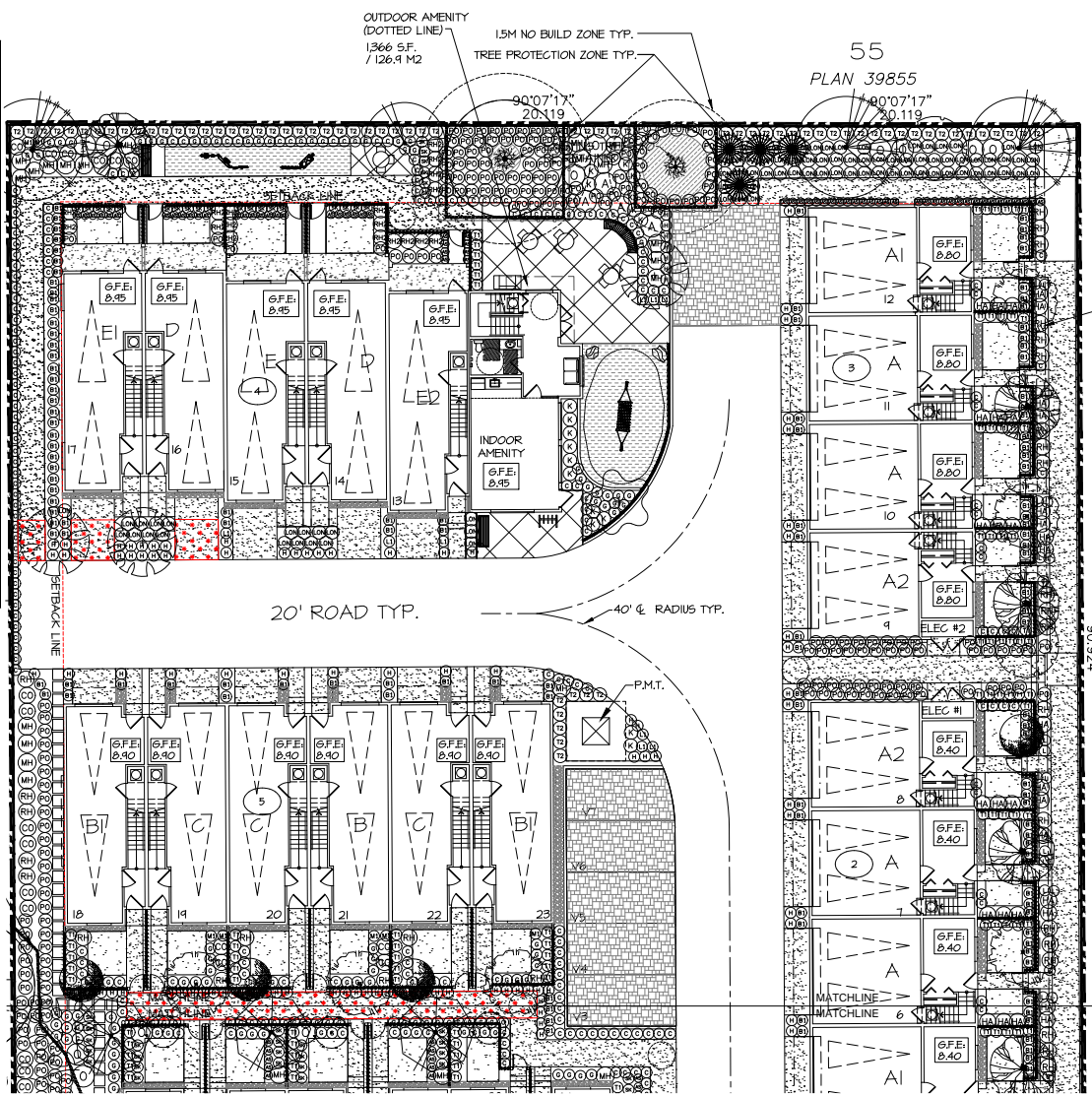
DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7

L2

PLANT SCHEDULE PMG PROJECT NUMBER: 21-173

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
3		ACER CIRCINATUM	VINE MAPLE	6.0CM CAL. B&B; 3 STEM CLUMP
1		ACER DAVIDI	DAVID'S MAPLE	6CM CAL; 2M STD; B&B
1		CARPINUS BETULUS FASTIGIATA	PYRAMIDAL EUROPEAN HORNBEEAM	6CM CAL; B&B
1		CHAMAECYPARIS OBTUSA 'GRAELICH'	SLENDER HINOKI FALSE CYPRESS	3.0M HT; B&B
1		CORNUS KOUSA 'SANTOM'	PINK KOUSA DOGWOOD	6.0CM CAL; 1.5M STD; B&B
1		FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH	6CM CAL; 1.5M STD; B&B
1		LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	6CM CAL; B&B
1		MAGNOLIA SOULANGEANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	6.0CM CAL; 1.5M STD; B&B
1		PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	6.0CM CAL; 1.5M STD; B&B
1		PICEA OMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	3.0M HT; B&B
1		PSUEDOTSUGA MENZIESII	DOUGLAS FIR	2.5M HT; B&B
1		QUERCUS PALustris 'GREEN PILLAR'	GREEN PILLAR PIN AK	6.0CM CAL; B&B
1		STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6.0CM CAL; 1.5M STD; B&B
1		STYRAX RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	6CM CAL; 1.5M STD; B&B
SHRUB				
12		ARBITUS UNDO COMPACTA	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
269		BURUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT; 40CM
42		CORNUS SERICEA 'KEISLEY'	DWARF KEISLEY DOGWOOD	#3 POT; 80CM
64		HYDRANGEA QUERCIFOLIA 'SIKES DWARF'	SNOW QUEEN OAKLEAF HYDRANGEA	#3 POT; 80CM
110		LONGICERA NITIDA	BOX-LEAF HONEY SUCKLE	#2 POT; 50CM
7		MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
36		MAHONIA X MEDIA 'CHARITY'	CHARITY MAHONIA	#3 POT; 50CM
11		OSMANTHUS X BURKWOODII	BURKWOOD OSMANTHUS	#3 POT; 50CM
54		RHODODENDRON 'TEDDY BEAR'	RHODODENDRON; BUSHY PINK	#3 POT; 50CM
18		RHODODENDRON 'YAKU PRINCESS'	RHODODENDRON; PINK TO WHITE	#3 POT; 50CM
58		SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#3 POT; 50CM
149		TAKEUS X MEDIA 'HICKSI'	HICKS YEW	1.5M HT; B&B
8		THUJA OCCIDENTALIS 'SMARAGO'	EMERALD GREEN CEDAR	1.5M HT; B&B
GRASS				
35		CALAMAGROSTIS ACUTIFLORA 'VARL FOKRSTER'	FEATHER REED GRASS	#1 POT
292		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
217		HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
4		PENNISSETUM ALOPECUROIDES 'HAMELNY'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
88		ASARUM SPLENDENS	CHINESE WILD GINGER	15CM POT
20		LAVENDULA ANGSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT
28		LIROPE MUSCARI	BLUE LILY-TURF	15CM POT
122		GALThERIA SHALLON	SALAL	#1 POT; 20CM; 60CM O.C.
209		POLYSTICHUM MINUTUM	WESTERN SWORD FERN	#1 POT; 20CM

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SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WJ
7	22 JUL 09	REV. BIDS 7 STEPS	CL
6	23 JUN 09	UPDATES PER NEWS PLAN	CLG
5	22 MAY 11	UPDATE AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 11	NEW CIVIL PLAN / AMENITY REVISION	CL
3	28 APR 08	NEW ARCH PLAN	SK
2	25 DEC 17	UPDATES FOR CITY COMMENTS	CLG
1	21 NOV 08	UPDATES FOR CITY COMMENTS	CLG

NO. DATE REVISION DESCRIPTION DR.

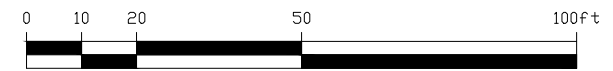
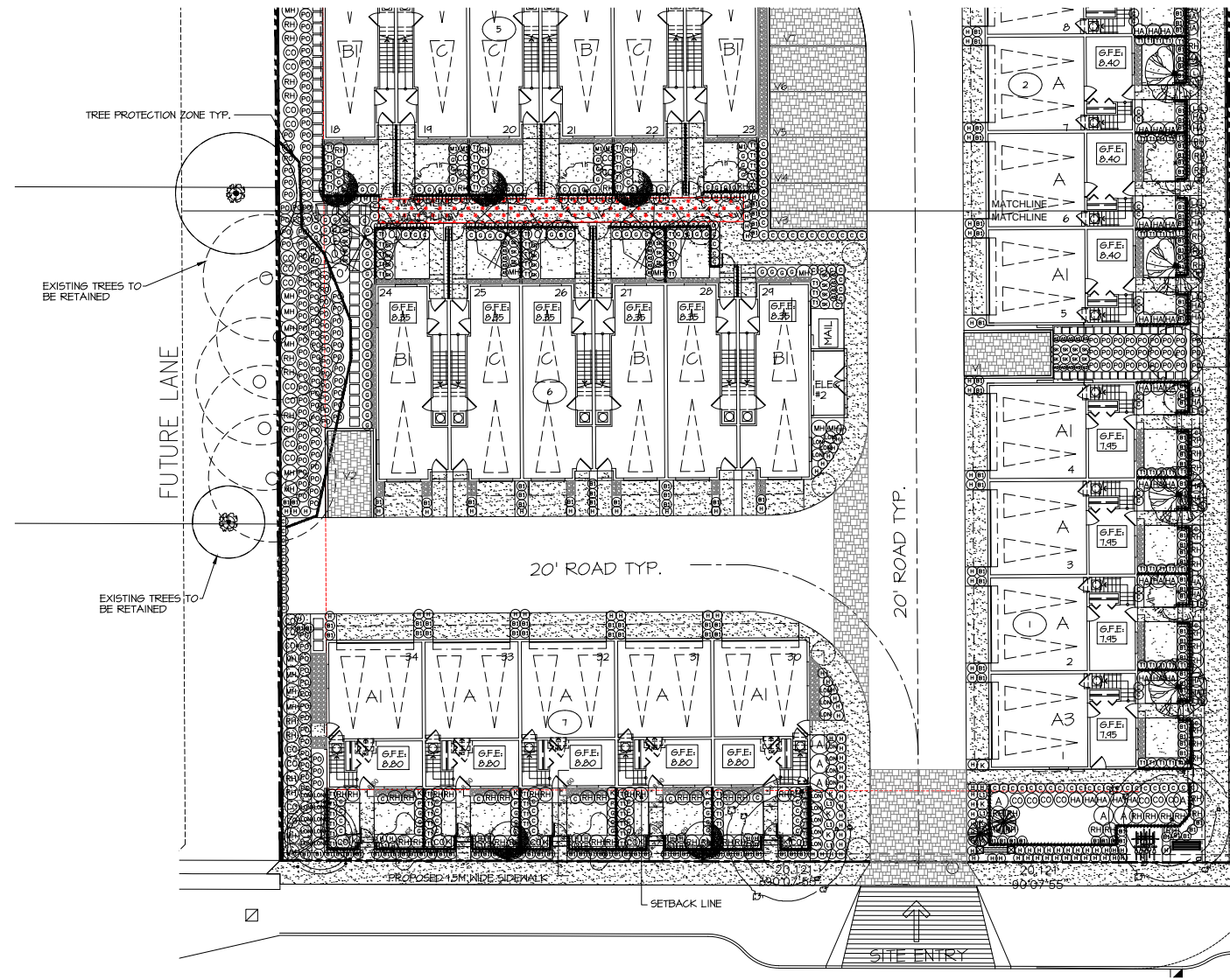
CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVE
SURREY

DRAWING TITLE:
PLANTING PLAN

DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC **L3**
OF 7



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WJ
7	22 JUL 09	REV. BIDS & STREETS	CLG
6	23 JUN 09	UPDATES PER NEIGH PLAN	CLG
5	22 MAY 10	UPDATE AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 10	NEW CIVIL PLAN / AMENITY REVISION	CLG
3	26 APR 08	NEW ARCH PLAN	SK
2	25 DEC 07	UPDATES PER CITY COMMENTS	CLG
1	21 NOV 08	UPDATES PER CITY COMMENTS	CLG

NO. DATE REVISION DESCRIPTION DR.

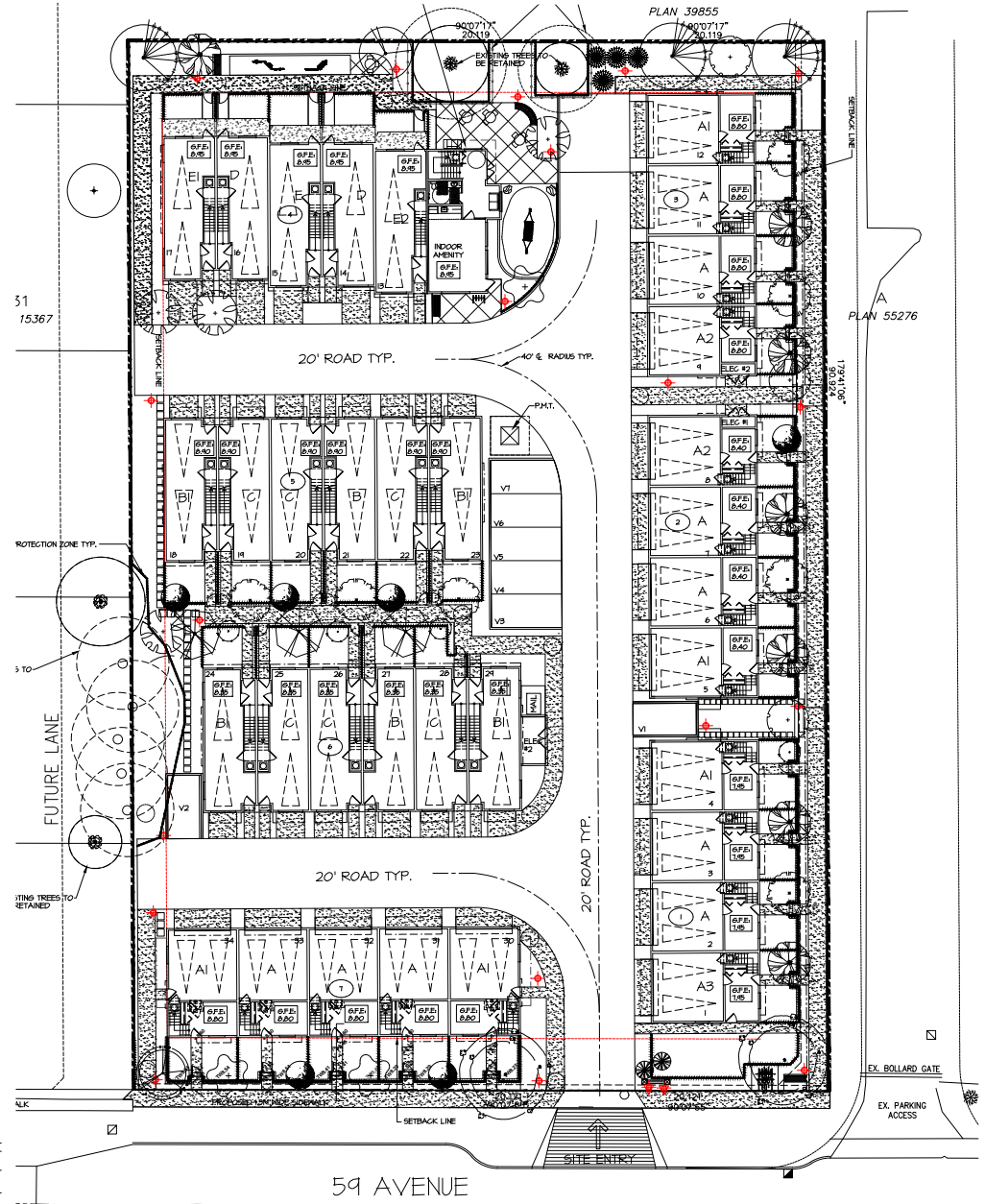
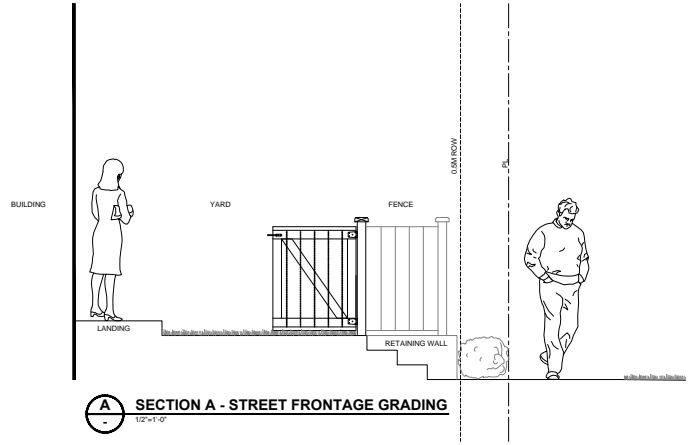
CLIENT:

PROJECT:

TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVENUE
SURREY

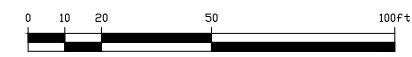
DRAWING TITLE:
LIGHTING & GRADING PLAN

DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7



Landscape Lighting Legend

Symbol	Model



59 AVENUE

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WZ
7	22 JUL 09	REV. BIDS 7 STEPS	CLG
6	23 JUN 09	UPDATES PER NEW PLAN	CLG
5	22 MAY 10	UPDATES AND ISSUE FOR SUBMISSION	CLG
4	22 MAY 10	NEW CIVIL PLAN / AMENITY REVISION	CLG
3	28 APR 08	NEW AMENITY PLAN	SK
2	25 DEC 17	UPDATES PER CITY COMMENTS	CLG
1	21 NOV 08	UPDATES PER CITY COMMENTS	CLG

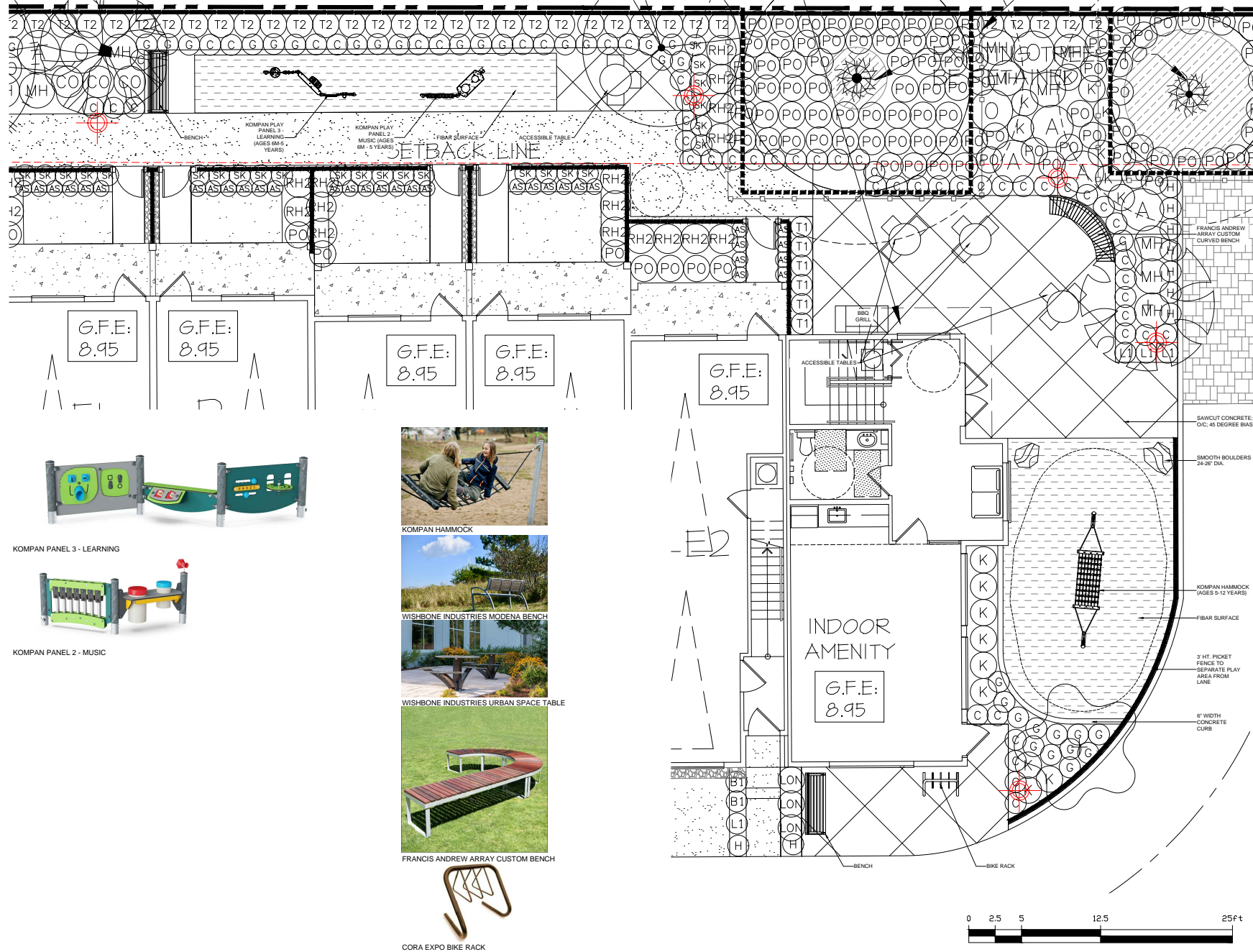
CLIENT:

PROJECT:
TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVE
SURREY

DRAWING TITLE:
**OUTDOOR AMENITY
DETAIL PLAN**

DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7

PMG PROJECT NUMBER: 21173-13.2P



KOMPAN PANEL 3 - LEARNING



KOMPAN PANEL 2 - MUSIC



KOMPAN HAMMOCK



WISHBONE INDUSTRIES MODENA BENCH



WISHBONE INDUSTRIES URBAN SPACE TABLE

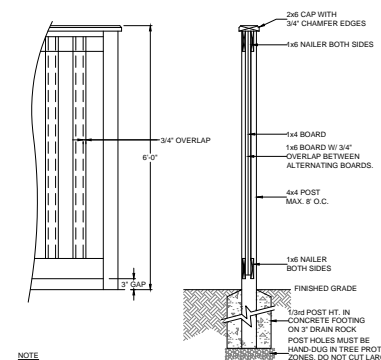


FRANCIS ANDREW ARRAY CUSTOM BENCH



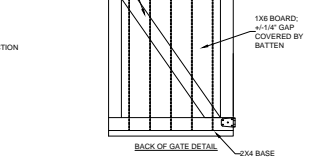
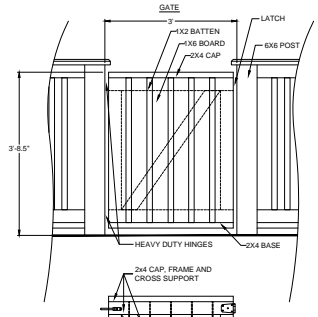
CORA EXPO BIKE RACK

SEAL:

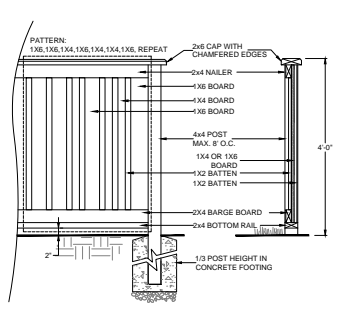


- NOTE**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/8".

1 6'-0" HEIGHT SOLID WOOD FENCE
3/4" x 1'-0"

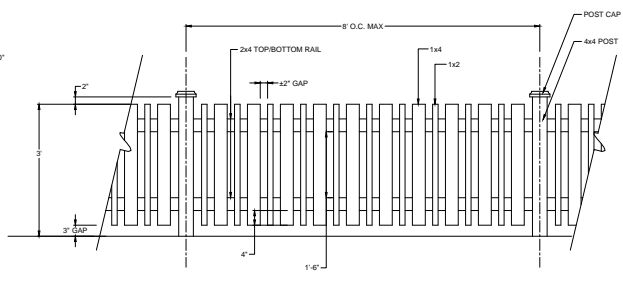


2 4' HT. BOARD & BATTEN FENCE
3/4" x 1'-0"



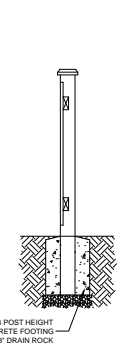
- NOTES**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

3 3' HT. PICKET FENCE
3/4" x 1'-0"

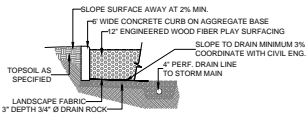


- NOTES**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

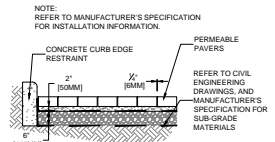
3 3' HT. PICKET FENCE
3/4" x 1'-0"



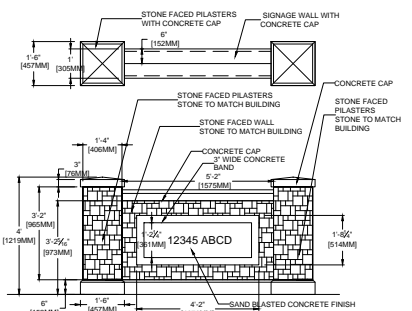
1/3 POST HEIGHT IN CONCRETE FOOTING ON 3" DRAIN ROCK



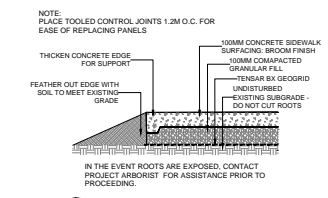
4 PLAY SURFACE & CURB
1/2" x 1'-0"



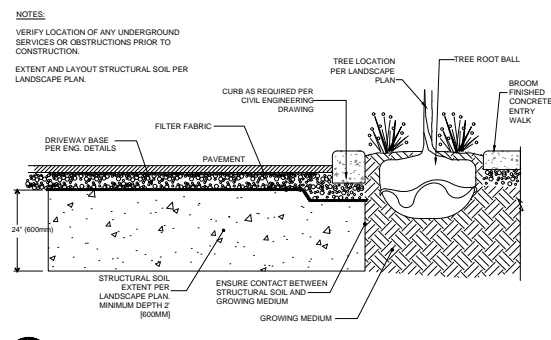
5 PERMEABLE PAVERS
1/2" x 1'-0"



6 SITE SIGNAGE MONUMENT
1/2" x 1'-0"



9 NO EXCAVATION DETAIL
3/4" x 1'-0"



8 STRUCTURAL SOIL
1/2" x 1'-0"



NO.	DATE	REVISION DESCRIPTION	DR.
8	23 MAR 10	NEW SITE PLAN	WZ
7	22 JUL 09	REV. BIDS 7 STEPS	CLG
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NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
TOWNHOUSE PROJECT
17399 / 17411 & 17421 59 AVE
SURREY

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 21 SEP 01 DRAWING NUMBER:
SCALE: 1/16" = 1'-0"
DRAWN: CLG
DESIGN: CLG
CHKD: PC OF 7

L6



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **March 27, 2023** PROJECT FILE: **7821-0301-00**

RE: **Engineering Requirements
Location: 17399 59 Ave**

NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

- The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Register 0.5 m statutory right-of-way (SRW) along 59 Avenue.

Works and Services

- Construct the north side of 59 Avenue to the Local road standard;
- Construct adequately-sized service connections (sanitary and drainage), complete with inspection chambers, to the site;
- Construct/Upgrade fronting mains along 59 Avenue, to service the development;
- Construct an adequately-sized metered water service connection to the site;
- Abandon any of surplus connection(s), if any.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

NOTE: Detailed Land Development Engineering Review available on file



June 17, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 21 0301 00

SUMMARY

The proposed 34 townhouse units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	14
Secondary Students:	6

September 2021 Enrolment/School Capacity

George Greenaway Elementary	
Enrolment (K/1-7):	51 K + 487
Operating Capacity (K/1-7)	57 K + 396
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1739
Capacity (8-12):	1400

Projected population of school-age children for this development:	27
--	----

Population: The projected population of children aged 0-19 Impacted by the development.

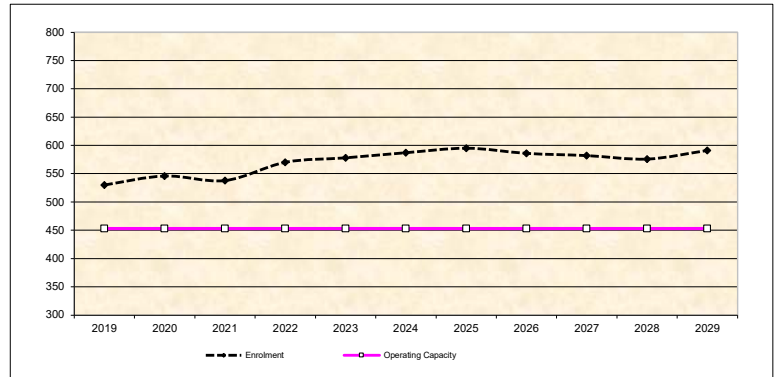
Enrolment: The number of students projected to attend the Surrey School District ONLY.

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

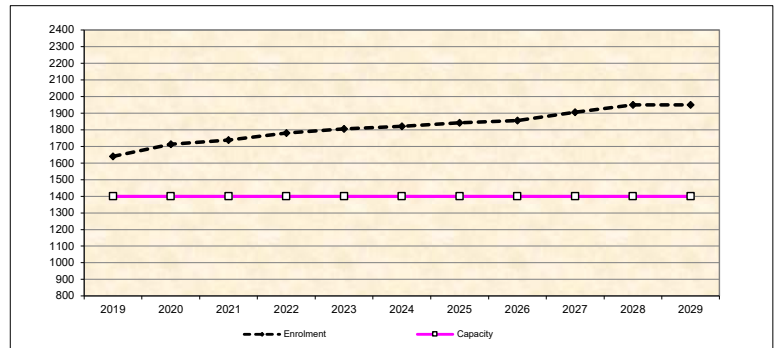
George Greenaway Elementary is in a maturing neighbourhood. What our data is suggesting is that there is strong in-migration growth factor, particularly of, new young families with children in the catchment. Enrolment growth will be managed by four portables over the course of the next 10 years. There are no current plans to expand the school.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary.

George Greenaway Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Tree Preservation Summary

Surrey Project No:

Address: 17421, 17411, 17499 59 Ave

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Terry Thrale- PN6766A

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	19	Protected Trees Identified	10
Protected Trees to be Removed	17	Protected Trees to be Removed	(1 is dead)
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2	Protected Trees to be Retained	9
Total Replacement Trees Required:		Total Replacement Trees Required:	
- Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0	34	- Alder & Cottonwoods to be removed (1:1) 0 X one (1) = 0	0
- All other species to be removed (2:1) 17 X two (2) = 34		- All other species to be removed (2:1) 0 X two (2) = 0	
Replacement Trees Proposed		Replacement Trees Proposed	-
Replacement Trees in Deficit		Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space or Riparian Areas			

*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas

Summary, report and plan prepared and submitted by:



(Signature of Arborist)

March 23, 2023

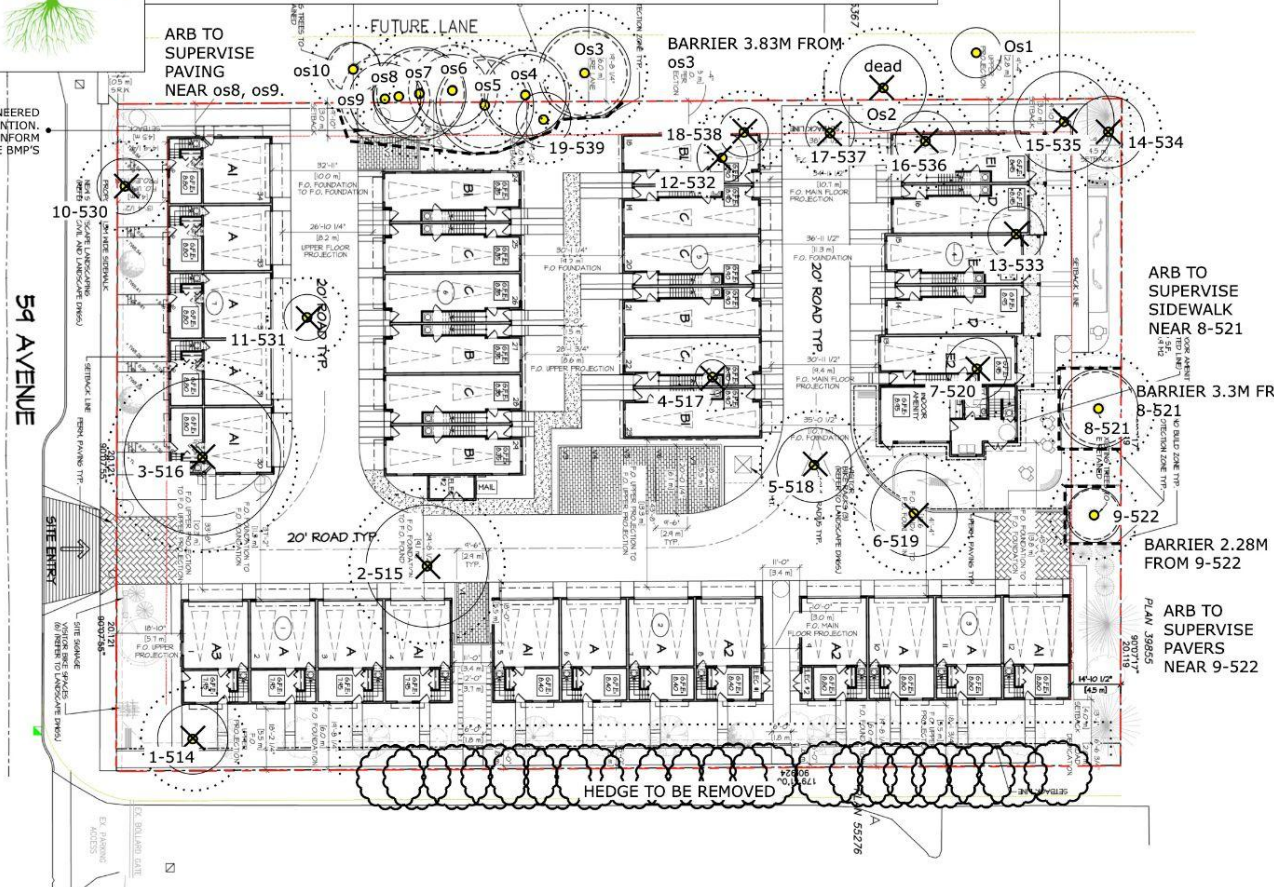
Date



Arborist Report for planning of development at 17421 17411 and 17399 59 Avenue, Surrey

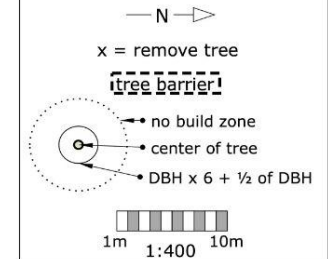
Date: March 23, 2023

PAVING WORK IS ENGINEERED TO ENABLE TREE RETENTION. INSTALLATION TO CONFORM WITH ARBORICULTURE BMP'S



Tree Inventory			
Tag	Species	DBH (cm)	TPZ (m)
1-514	Blue Spruce	49	2.94
2-515	Mountain Ash	85	5.10
3-516	Sugar Maple	109	6.54
4-517	Weeping Sequoia	24	1.44
5-518	Honey Locust	52	3.12
6-519	Corkscrew Willow	40	2.40
7-520	Catalpa	43	2.58
8-521	Katsura	55	3.30
9-522	Red Maple	38	2.28
10-530	Japanese Maple	39	2.34
11-531	Weeping Willow	32	1.92
12-532	Plum	35	5.34
13-533	Apple	39	2.34
14-534	Norway Maple	50	3.00
15-535	Corkscrew Willow	70	4.20
16-536	Weeping Willow	42	2.52
17-537	Corkscrew Willow	34	2.04
18-538	Plum	34	2.04
19-539	Weeping Willow	38	2.28
Os1	Mountain Ash	35	2.10
Os2	Douglas Fir	60	3.60
Os3	Douglas Fir	64	3.84
os4	Western Red Cedar	57	3.42
os5	Western Red Cedar	68	4.08
os6	Douglas Fir	50	3.00
os7	Western Red Cedar	65	3.90
os8	Douglas Fir	35	2.10
os9	Douglas Fir	50	3.00
os10	Douglas Fir	38	2.28
Os	False Cypress	21-4	1.50
Hedge		3	

Legend



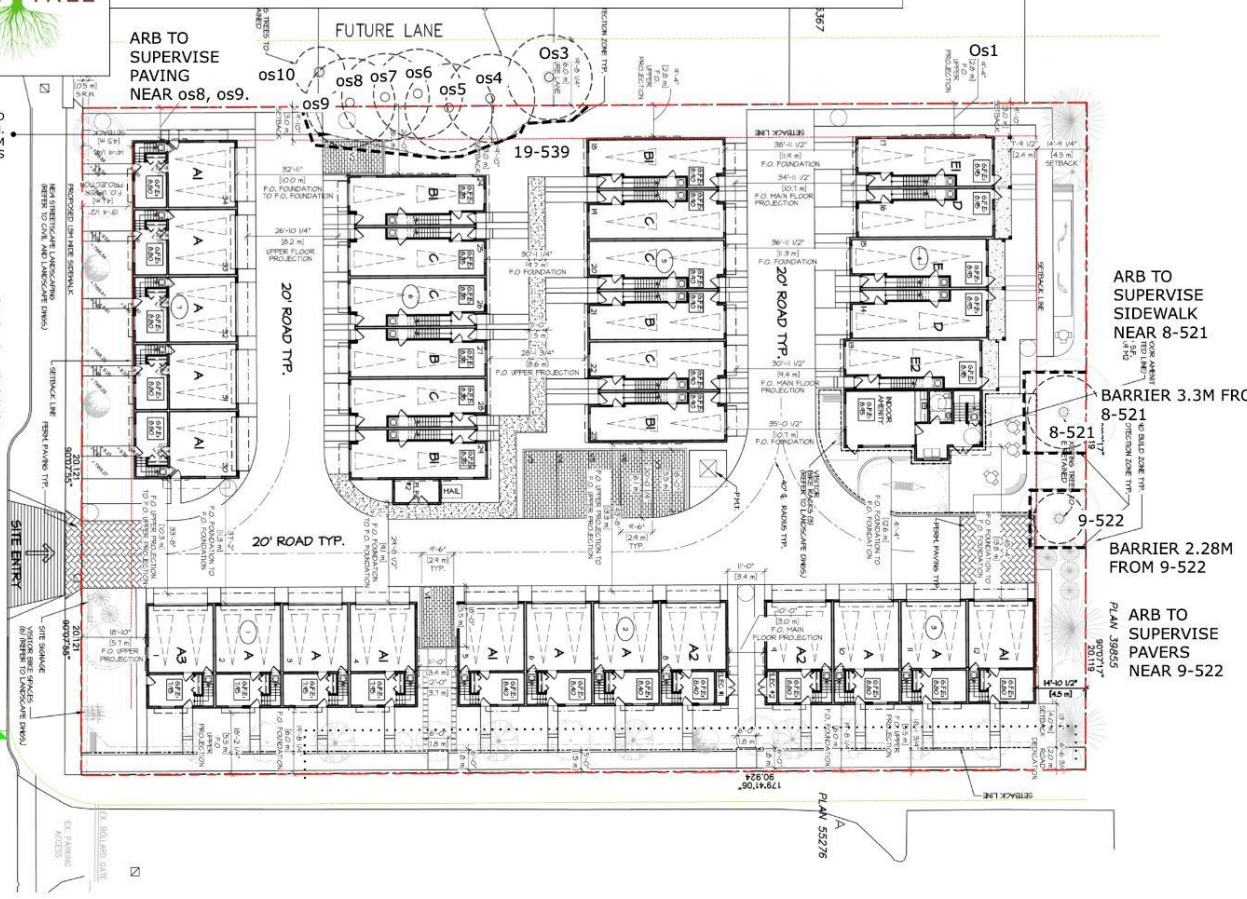


Arborist Report for planning of development at 17421 17411 and 17399 59 Avenue, Surrey

Date: March 23, 2023

PAVING WORK IS ENGINEERED TO ENABLE TREE RETENTION. INSTALLATION TO CONFORM WITH ARBORICULTURE BMP'S

59 AVENUE



Tree Inventory

Tag	Species	DBH (cm)	TPZ (m)
1-514	Blue Spruce	49	2.94
2-515	Mountain Ash	85	5.10
3-516	Sugar Maple	109	6.54
4-517	Weeping Sequoia	24	1.44
5-518	Honey Locust	52	3.12
6-519	Corkscrew Willow	40	2.40
7-520	Catalpa	43	2.58
8-521	Katsura	55	3.30
9-522	Red Maple	38	2.28
10-530	Japanese Maple	39	2.34
11-531	Weeping Willow	32	1.92
12-532	Plum	35	2.10
13-533	Apple	39	2.34
14-534	Norway Maple	50	3.00
15-535	Corkscrew Willow	70	4.20
16-536	Weeping Willow	42	2.52
17-537	Corkscrew Willow	34	2.04
18-538	Plum	34	2.04
19-539	Weeping Willow	38	2.28
Os1	Mountain Ash	35	2.10
Os2	Douglas Fir	60	3.60
Os3	Douglas Fir	64	3.84
Os4	Western Red Cedar	57	3.42
Os5	Western Red Cedar	68	4.08
Os6	Douglas Fir	50	3.00
Os7	Western Red Cedar	65	3.90
Os8	Douglas Fir	35	2.10
Os9	Douglas Fir	50	3.00
Os10	Douglas Fir	38	2.28
Os	False Cypress	21-4	1.50
Hedge		3	

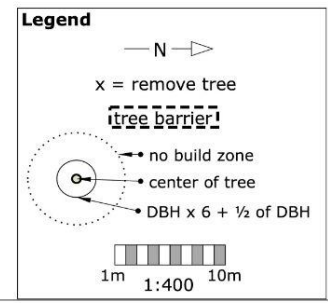
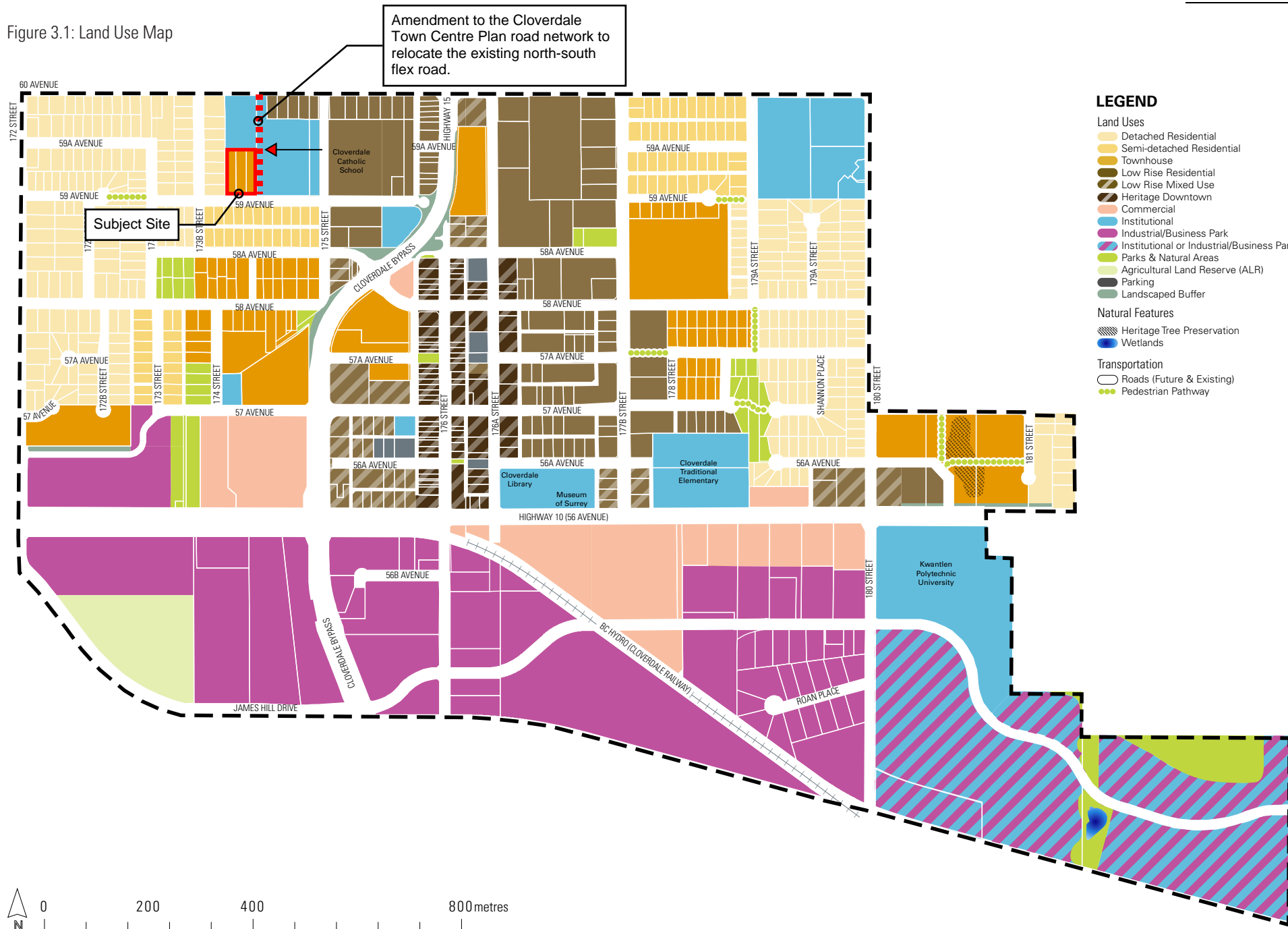


Figure 3.1: Land Use Map



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0301-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-072-012

Lot 31 Section 7 Township 8 New Westminster District Plan 15367
17399 - 59 Avenue

Parcel Identifier: 010-072-021

Lot 32 Section 7 Township 8 New Westminster District Plan 15367
17411 - 59 Avenue

Parcel Identifier: 010-072-047

Lot 33 Section 7 Township 8 New Westminster District Plan 15367
17421 - 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F. Yards and Setbacks of Part 22 "Multiple Residential 30 Zone (RM-30)", the minimum east street side yard setback is varied from 4.5 metres to 4.0 metres to the principal building face of Building 1, 2 and 3;
 - (b) In Section F. Yards and Setbacks of Part 22 "Multiple Residential 30 Zone (RM-30)", the minimum west street side yard setback is varied from 4.5 metres to 2.8 metres to the principal building face for Building 4, 5, 6 and 7; and
 - (c) In Section F. Yards and Setbacks of Part 22 "Multiple Residential 30 Zone (RM-30)", the minimum north rear yard setback is varied from 6.0 metres to 4.5 metres to the principal building face for Building 3.
 - (d) In Sub-Section H.2. Off-Street Parking and Loading/Unloading of Part 22 "Multiple Residential 30 Zone (RM-30)", one (1) visitor parking space is permitted within the west side yard setback of proposed Building 6.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown as Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

SCHEDULE A

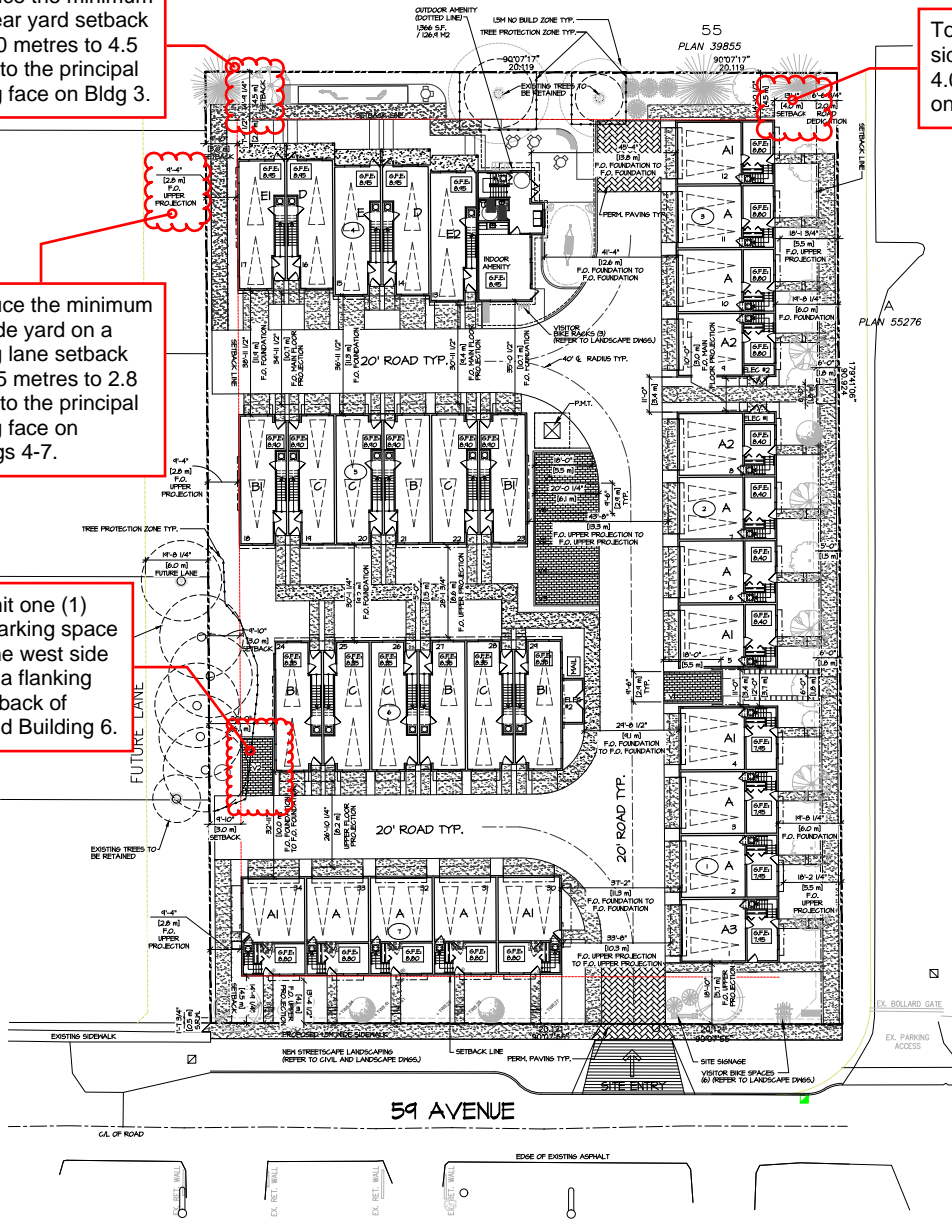
COPYRIGHT INFRINGEMENT INCLUDES IDEAS GAINED AND CONVERSION THEREOF INTO ANY MATERIAL FORM CANADA COPYRIGHT ACT R.S.C. 1970.

To reduce the minimum north rear yard setback from 6.0 metres to 4.5 metres to the principal building face on Bldg 3.

To reduce the minimum west side yard on a flanking lane setback from 4.5 metres to 2.8 metres to the principal building face on Buildings 4-7.

To permit one (1) visitor parking space within the west side yard on a flanking lane setback of proposed Building 6.

To reduce the minimum east street side yard setback from 4.5 metres to 4.0 metres to the principal building face on Buildings 1-3.



DEVELOPMENT DATA

GRAND TOTAL	57,064 S.F.	1.36 ACRES	5,481.64 SQ.M.	0.544 Ha
ROAD DEDICATION	1,451 S.F.	0.04 ACRES	181.81 SQ.M.	0.018 Ha
NET AREA (TOTAL)	57,112 S.F.	1.31 ACRES	5,305.85 SQ.M.	0.531 Ha
DENSITY	26 UPA	64 UPHa	(34 TOTAL UNITS)	
F.A.R.	0.85	(48,503 S.F.)	4506 M2	- (TOTAL UNIT AREA)
SITE COVERAGE	41.90%	23,933 S.F.	2223 M2	- (TOTAL GROUND FLOOR AREA)
INDOOR AMENITY	REQUIRED:	3.0 M2 X X	(34 UNITS)	= 102.00 M2
	PROVIDED:			
	INDOOR AMENITY	1,117.00 S.F.	103.71 M2	

OUTDOOR AMENITY & PARKING DATA

PARKING:	REQUIRED:				
	RESIDENTIAL:	2	X	(34 UNITS)	= 60 SPACES
	VISITOR:	0.2	X	(34 UNITS)	= 6.80 SPACES
	TOTAL:				75 SPACES
PROVIDED:	RESIDENTIAL:	60 SPACES			
	VISITOR:	7 SPACES			
	TOTAL:	75			
TANDEM PARKING	17 (TANDEM PARKING)			= 50 (%)	
OUTDOOR AMENITY	REQUIRED:	3.0 M2 X X	(34 UNITS)	= 102.00 M2	
	PROVIDED:	1,366 S.F.	126.90 M2		

UNIT BREAKDOWN

UNIT TYPE	# OF BEDROOMS	# OF UNITS	BASEMENT S.F.	MAIN S.F.	UPPER S.F.	TOTAL S.F. PER UNIT (EXCLUDING GARAGE)	TOTAL S.F. (EXCLUDING GARAGE)
UNIT 'A'	3 BEDROOMS	4	210 S.F.	603 S.F.	654 S.F.	1,472 S.F.	13,248 S.F.
UNIT 'A1'	3 BEDROOMS	5	212 S.F.	608 S.F.	668 S.F.	1,488 S.F.	7,440 S.F.
UNIT 'A2'	3 BEDROOMS	2	172 S.F.	608 S.F.	671 S.F.	1,451 S.F.	2,902 S.F.
UNIT 'A3'	3 BEDROOMS	1	212 S.F.	608 S.F.	671 S.F.	1,491 S.F.	1,491 S.F.
UNIT 'B'	3 BEDROOMS	2	106 S.F.	608 S.F.	646 S.F.	1,360 S.F.	2,720 S.F.
UNIT 'B1'	3 BEDROOMS	4	106 S.F.	615 S.F.	661 S.F.	1,382 S.F.	5,528 S.F.
UNIT 'C'	3 BEDROOMS	6	106 S.F.	608 S.F.	646 S.F.	1,360 S.F.	8,160 S.F.
UNIT 'D'	3 BEDROOMS	2	106 S.F.	626 S.F.	636 S.F.	1,368 S.F.	2,736 S.F.
UNIT 'E'	3 BEDROOMS	1	106 S.F.	626 S.F.	636 S.F.	1,368 S.F.	1,368 S.F.
UNIT 'E1'	3 BEDROOMS	1	106 S.F.	641 S.F.	651 S.F.	1,398 S.F.	1,398 S.F.
UNIT 'E2'	3 BEDROOMS	1	106 S.F.	626 S.F.	686 S.F.	1,418 S.F.	1,418 S.F.
ELEC. RM.							94 S.F.
						TOTAL # OF UNITS: 34	48,503 S.F.

PROJECT DATA

CIVIC ADDRESS: 17349 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 31, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT PART SE 1/4 010-072-012
 P.I.D.:

CIVIC ADDRESS: 17411 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 32, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT PART SE 1/4 010-072-021
 P.I.D.:

CIVIC ADDRESS: 17421 54 AVENUE, SURREY, B.C. V3S 1P3
 LEGAL DESCRIPTION: LOT 33, SECTION 1, TWP 8, NWP15367, NEW WESTMINSTER DISTRICT 010-072-047
 P.I.D.:

EXISTING ZONING: RF
 PROPOSED ZONING: RM-30

NEW BUILDINGS: RESIDENTIAL: GROUP C TO PART 1 - AS PER DIVISION A, CLAUSE 1.3.3.3. (1)(a)
 APPLICABLE CODE: B.C.B.C. 2018 EDITION, UNDER PART 3
 MAJOR OCCUPANCIES: RESIDENTIAL: GROUP C
 UP TO 3 STOREYS
 ARTICLE 3.2.2.54 - SPRINKLERED, 45 MINUTE FRR MIN.

ISSUE FOR	BY	DATE
L.P.A. DEVELOPMENT PERMIT		
DATE		
ISSUE		
REV		



DESIGN: L.P.A.	DRAWN: S.J.C.	DATE: JUN 27 22	SCALE: 1" = 20'-0"
CLIENT: SACHIN JANGHU	PROJECT: 17349 / 17411 & 17421 54 AVE. SURREY, B.C.	SHEET CONTENTS: CONCEPTUAL SITE PLAN	SITE DEVELOPMENT PLAN

barnett dembek
 UNIT 135,
 7536 130 STREET,
 SURREY, B.C.
 V3W 1H8
 PHONE: (604) 597-7100
 FAX: (604) 597-2099
 EMAIL: mail@barnett.com

CLIENT NO.	SHEET NO.
PROJECT NO.	REV. NO.
20029	AC-10

CONCEPTUAL SITE PLAN
 SCALE: 1" = 20'-0"