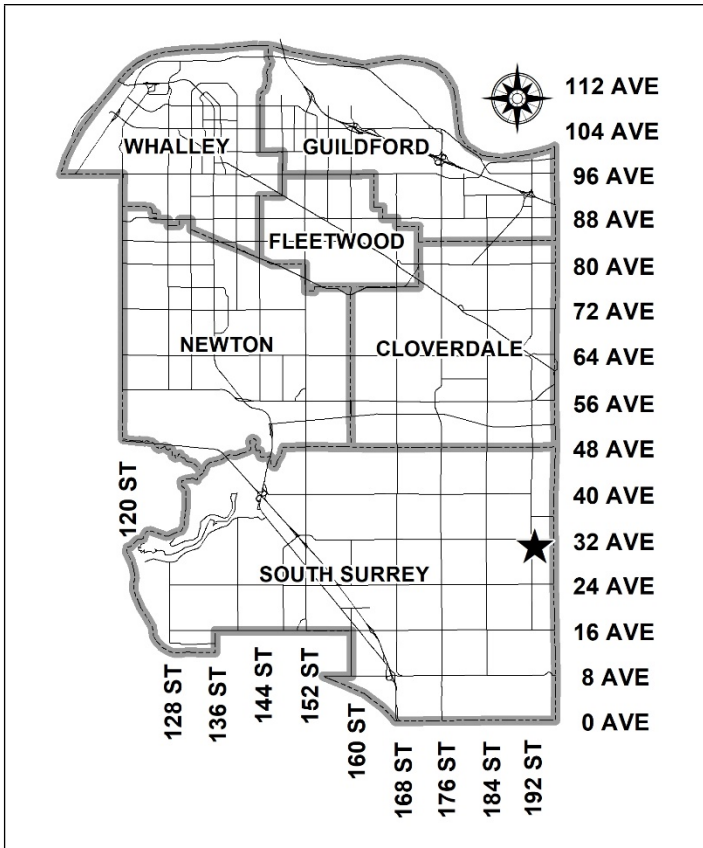


City of Surrey
PLANNING & DEVELOPMENT REPORT
 Application No.: 7918-0051-00
 Planning Report Date: November 28, 2022



PROPOSAL:

- **Rezoning** a portion of the site from A-2 to IB-2
- **Development Permit**
- **Development Variance Permit**

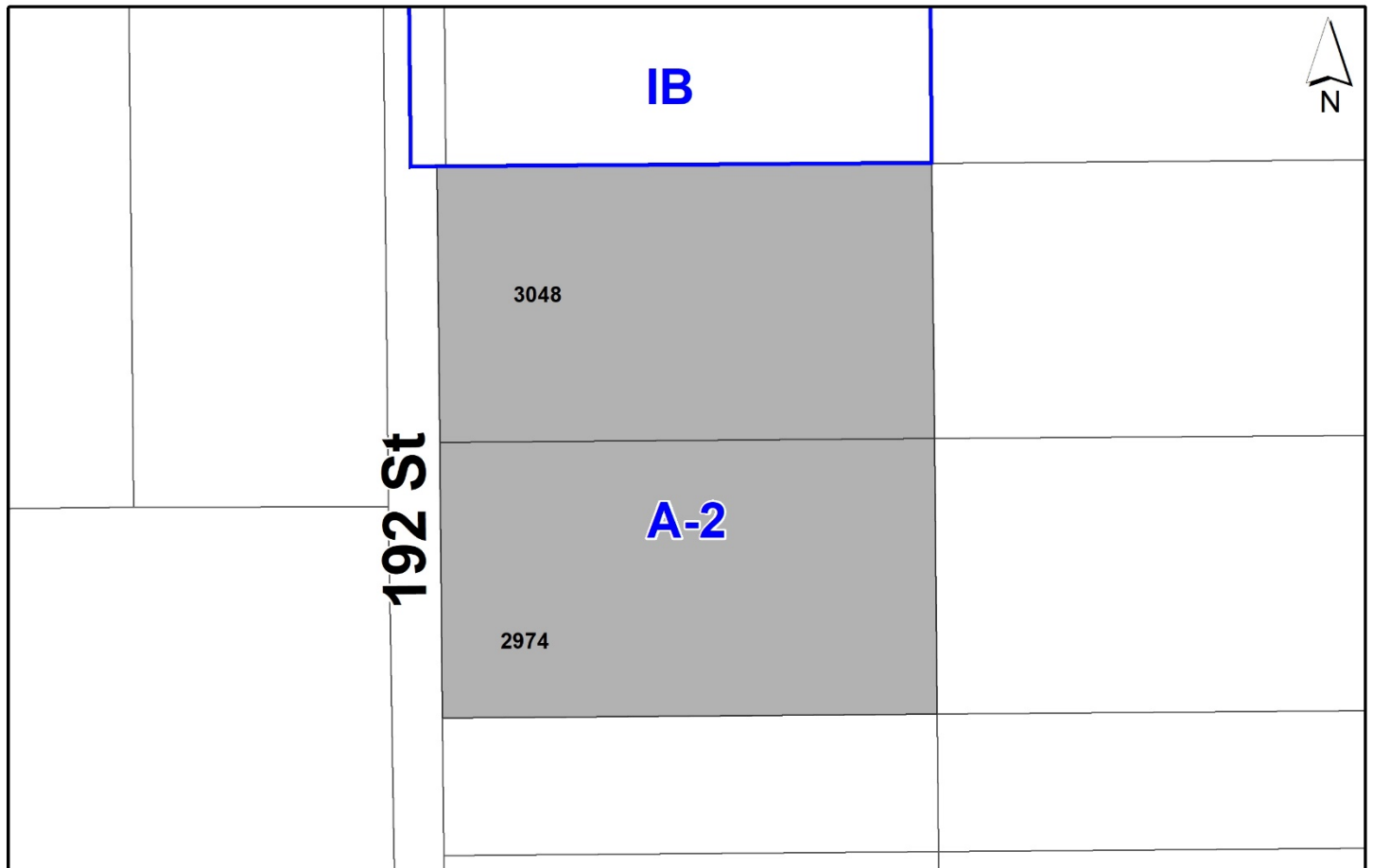
to permit the development of a 9,820-square-metre multi-tenant industrial building.

LOCATION: 3048 - 192 Street
 2974 - 192 Street

ZONING: A-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing a reduction in the rear (east) setback from 7.5 metres to 0.0 metres.
- Proposing a reduction to the required number of parking spaces from 116 to 102 spaces.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP) and in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Business Park and Landscaping Strips designation in the Campbell Heights Local Area Plan (LAP)
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed sign has been comprehensively designed to be integrated with the design of the building and provides a comprehensive look for the development. Building one has one additional projecting sign, to help direct visitors to the Office area, or the Parts area.
- There are two industrial buildings proposed. The proposed east building setback reduction is consistent with other industrial sites where one of the setbacks adjacent to other industrial land can be reduced to 0 metres. The site is bounded by two roads, and the frontage is on 192 Street to the west, so the east setback is considered the rear yard, and a variance is proposed. The property to the east is also designated Business Park in the Campbell Heights Local Area Plan (LAP).
- Regarding the proposed parking reduction from 116 to 102 stalls for this site, the applicant has demonstrated less demand for parking. As the site is intended mostly for a single occupant, with the larger west building for Advantex, and the smaller east building proposed as a multi-tenant building at this time, and for possible future expansion of Advantex.

RECOMMENDATION

The Planning & Development Department recommends that:

1. a By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "Intensive Agriculture Zone (A-2)" to "Business Park 2 Zone (IB-2)" , and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0051-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7918-0051-00 (Appendix V) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum rear yard setback (east) of the IB-2 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) to reduce the minimum number of on-site parking spaces from 116 to 102.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) completion of Development Application No. 7922-0279-00, including for the registration of the subdivision plans associated with this application;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
 - (i) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family dwelling and truck parking	Business Park and Landscaping Strips	A-2
North:	True Blue Wire (industrial)	Business Park and Landscaping Strips	IB
East:	1 single family dwelling unit and truck parking	Business Park	A-2
South (Across 30 Avenue):	Truck parking. Site under Development Application No. 7920-0321-00.	Business Park and Landscaping Strips	A-2
West (Across 192 Street):	1 single family dwelling unit and farming	Business Park and Landscaping Strips	A-2

Context & Background

- The subject 2.02 hectares (5 acres) site is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Intensive Agricultural Zone (A-2)".
- The site is also under Development Application No. 7922-0279-00, which was considered by Council at the Regular Council - Land Use Meeting on October 03, 2022. This application proposes a Development Variance Permit and a subdivision to facilitate the 30 Avenue road alignment along the southern property line. Completion of Development Application No. 7922-0279-00 is a condition of approval for the subject application.
- As part of Development Application No. 7922-0279-00, the northern property will incorporate a portion of the southern property, due to the curving 30 Avenue road alignment. The subject development proposal is only for the portion north of 30 Avenue.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "Intensive Agricultural Zone (A-2)" to "Business Park 2 Zone (IB-2)" and a Development Permit for Form and Character to permit the development of an industrial business park, with two buildings and a gross floor area of 10,381 square metres (FAR 0.54).
- With a gross site area of 20,253 square metres, and a road dedication of 2,577 square metres, and incorporation of 523 square metres from the southern property, the total net site area is 18,199 square metres. A portion of the site at the southwest corner is proposed to be consolidated through Development Application No. 7922-0279-00, to facilitate achieving the 30 Avenue road alignment.

- The site has 2 buildings proposed. Building 1 (west) is intended as a single occupant, Advantex, and Building 2 (east) is proposed as a multi-tenant building with up to 9 units.
- Road dedication for the subject property is to be achieved through Development Application No. 7922-0279-00.

Proposed	
Lot Area	
Gross Site Area:	20,253 square metres + 523 square metres
Road Dedication:	2,577 square metres
Net Site Area:	18,199 square metres
Number of Lots:	1
Building Height:	11.3 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.54
Floor Area	
Industrial:	8.466 square metres
Commercial/Office:	1,796.6 square metres
Residential:	118.4 square metres
Total:	10,381 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	No concerns. Latimer Park is the closest active park, which contains a recreational trail network, and natural areas. The park is 450 metres walking distance from the development.
Surrey Fire Department:	No concerns.
Advisory Design Panel:	The application was not referred to the ADP but was reviewed by staff and found satisfactory.

Transportation Considerations

- All road dedications are being completed through Development Application No. 7922-0279-00, which will adjust the lot lines and provide the road dedication for 192 Street and for 30 Avenue. The east-west 30 Avenue alignment curves to the south as it connects to 192 Street to achieve the future signalized intersection requirements on 192 Street.
- The site will be accessed via two driveways, one on 30 Avenue and one on 192 Street, both for trucks and employee vehicles. The access on 192 Street will be restricted to right-in and right-out.

- The proposed truck bays are located on the eastern portion of the site, with some landscaping and screening from 30 Avenue.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- The future buildings on the site will be designed with a high-albedo roof with a minimum Solar Reflectance Index value of 75.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development is oriented towards 192 Street and 30 Avenue with expansive two-level spandrel glazing at the corner).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the south portion of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been located/designed to allow for the buildings to be used as screening from the public realm. The loading is screened by the building on 192 Street and there will be screened by a screening wall and landscaping along 30 Avenue).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park and Landscaping Strips designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corner and along the 192 Street and 30 Avenue frontages. There is also added articulation and visual anchoring of the building at the southwest corner of the site).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates building anchoring and articulation at the intersection of 192 Street and 30 Avenue).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to rezone the subject site from "Intensive Agriculture Zone (A-2)" to "Business Park 2 Zone (IB-2)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 2 Zone (IB-2)", streamside setbacks and parking requirements.

IB-2 Zone (Part 47B)	Permitted and/or Required	Proposed
----------------------	---------------------------	----------

IB-2 Zone (Part 47B)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.00	0.54
Lot Coverage:	60%	52%
Yards and Setbacks		
North (Side):	7.5 m or 0.0 m	0.0 m
East (Rear):	7.5 m	0.0 m (DVP)
South (Side Flanking Street):	7.5 m (landscaping)	7.5 m
West (Front):	7.5 m (landscaping) or 16 m	7.5 m and 16 m
Height of Buildings		
Principal buildings:	14 metres	11.3 metres
Accessory buildings:	6 metres	n/a
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Commercial:	30 stalls	30 stalls
Industrial:	85 stalls	71 stalls
Residential	1 stall	1 stall
Total:	116 stalls	102 stalls (DVP)

Setback and Parking Variances

- The applicant is requesting the following variances:
 - to reduce the rear yard (east) setback from 7.5 metres to 0.0 metres; and
 - to reduce the minimum number of on-site parking spaces from 116 to 102.
- The proposed rear yard setback on the east portion of the site is consistent with other industrial sites where one of the setbacks adjacent to other industrial land can be reduced to 0 metres. In this case, the site fronts two roads, and the frontage is on 192 Street, so the east setback is considered the rear yard, and a variance is required.
- The property to the east is also designated Business Park in the Campbell Heights Local Area Plan (LAP). The applicant is also proposing 0.0 metres setback to the north for the eastern building, as permitted in the IB-2 Zone.
- The applicant is proposing a total of 102 stalls on site, which is 7 stalls (12% reduction) less than the minimum Zoning Bylaw requirements for the proposed use on the site.
- The east-west alignment of 30 Avenue curves to the south (which is required to meet technical requirements at the future signalized intersection on 192 St.) resulting in a unique site configuration that presents constraints and challenges to achieving typical parking efficiencies. As such, staff can support the proposed minor reduction in parking rate, which will allow the applicant to better utilize the entirety of the site for the industrial use, meeting the policy recommendations in the Official Community Plan and trends in the region for employment intensification.
- The applicant has demonstrated less demand for parking, as the majority of the site (Building 1) will have a single occupant.

- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 08, 2022, and the Development Proposal Signs were installed on November 09, 2022. Staff received no responses.
- The subject application was also referred to the Little Campbell Watershed Society for consideration. No concerns were received in response to this referral.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to visually anchor the western building at the southwest corner of the site and enhance screening to the loading bays from 30 Avenue.
- The general site design consists of two large industrial buildings oriented north-south, with a 7.5-metre landscape buffer along 30 Avenue, and a 6-metre landscape buffer along 192 Street, except at the southwest corner, where the building is proposed without parking in front, and with a 7.5-metre landscape buffer to anchor the corner.
- The western building is proposed for a single user, Advantex, and the eastern building is set up as a multi-tenant building, and for possible future expansion of the main user.
- For Building 1, there is a 6-m landscape buffer along 192 Street, which is increased to 7.5 metres at the corner, where the building is closer to the street without parking in front. On 30 Avenue, there is a 7.5-metre landscape buffer adjacent to the building. A publicly accessible open space plaza is featured at the southwest corner of the site at the future intersection.
- For Building 2, 0.0 m setbacks are proposed to the north and east. Along the south, a 3-metre landscape buffer with 7.5-metre setback is proposed on 30 Avenue.

- The site contains two buildings. The western building features loading bays facing north and screened by the building from both 192 Street and 30 Avenue. For the eastern building, the loading bays are perpendicular to 30 Avenue, with a screening wall proposed. The buildings are proposed to be concrete tilt-up panels in shades of white and grey, with red accents.
- Vehicular and truck access is proposed on 192 Street and 30 Avenue. The loading area will be screened from public view by the building on 192 Street and a combination of landscaping and a screening wall along 30 Avenue.
- Signage is proposed and coordinated with the building design. The western building has the main fascia sign with Advantex (company name), and also two projecting signs proposed, directing visitors to “office” and “parts”. Signs are proposed in channel letters and architecturally coordinated with the building. The eastern building is proposed with fascia signs using channel letters, one for each unit.
- A free-standing sign is proposed on 30 Avenue, adjacent the access. The proposed free-standing sign complies with the Signage By-law, and is coordinated architecturally with the building.

Landscaping

- A landscape buffer is provided along both abutting roads, with 6 metres provided on 192 Street, and 7.5 metres provided along 30 Avenue.
- Along the south portion of the site, the landscaping is proposed adjacent to the buildings, and on the western edge, there is a 6 m landscape buffer in front of the parking, except at the southwest portion of the site, where the building is anchoring the corner and a 7.5-metre landscape buffer is proposed up to the building. A publicly accessible open space plaza is proposed at the southwest corner.
- The new trees on the site will consist of a variety of trees including Globe Norway Maple, Forest Pansy Eastern Redbud, American Sweetgum, Green vase Zelkova and Swiss Stone Pine.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include further articulation of the eastern building and improvements to the landscaping.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Alex Groenewold, ISA Certified Arborist of KD Planning and Design Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	10	10	0
Cottonwood	16	16	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Sycamore Maple	3	3	0
Beaked Hazelnut	2	2	0
Coniferous Trees			
Western Red Cedar	1	1	0
Deodar Cedar	6	6	0
Spruce	3	3	0
Shore Pine	1	1	0
Total (excluding Alder and Cottonwood Trees)	17	17	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		35	
Total Retained and Replacement Trees		35	
Contribution to the Green City Program		\$10,000	

- The Arborist Assessment states that there are a total of 17 mature trees on the site, excluding Alder and Cottonwood trees. 26 existing trees, approximately 60% of the total trees on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. The table above includes both on-site and off-site trees.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 60 replacement trees on the site. Since only 35 replacement trees can be accommodated on the site, the deficit of 25 replacement trees will require a cash-in-lieu payment of \$10,000, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Globe Norway Maple, Forest Pansy Eastern Redbud, American Sweetgum, Green vase Zelkova and Swiss Stone Pine.
- In summary, a total of 35 trees are proposed to be retained or replaced on the site with a contribution of \$10,000 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Block Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Proposed Variances to the Sign By-law
- Appendix V. Development Variance Permit No. 7918-0051-00

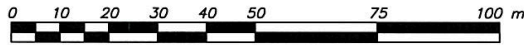
approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

LFM/ar

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING
BYLAW NO _____ OF LOTS 5 AND 6, BOTH OF SECTION 22,
TOWNSHIP 7, NWD, PLAN 1467**

City of Surrey B.C.G.S. 92G.007

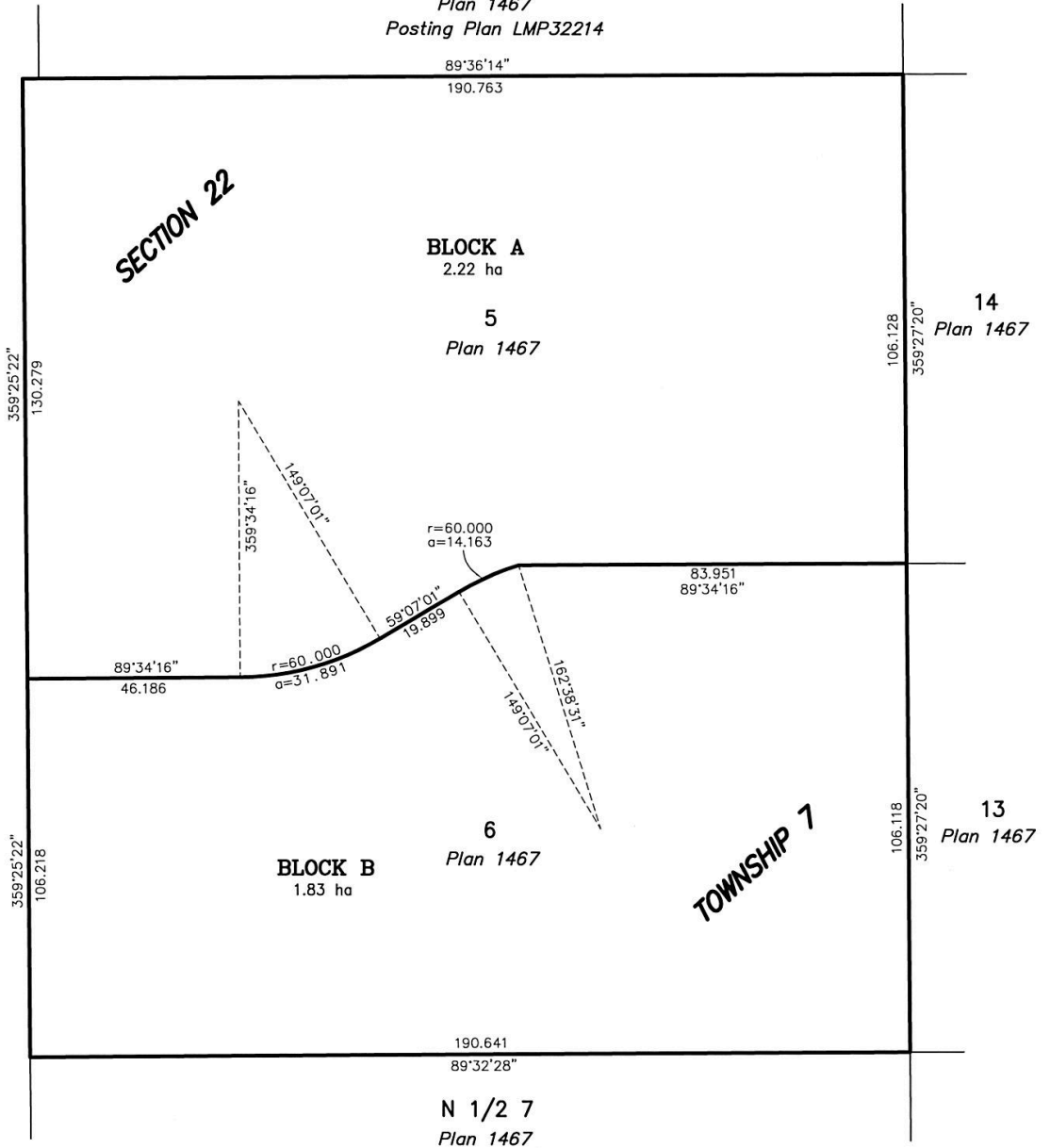


SCALE 1 : 1000

All distances are in metres



Rem 4
Plan 1467
Posting Plan LMP32214



Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 6560-block



Certified correct to survey dated
this 22nd day of November, 2022.

Sean Costello, B.C.L.S.

This plan lies within the Metro Vancouver Regional District



--IMAGE FOR ILLUSTRATION PURPOSES ONLY--

ADVANTEKX

3048 192nd ST
SURREY, BC V3Z 9V2

ORION CONSTRUCTION LTD.

SHEET LIST

ARCHITECTURAL

- A01 PERSPECTIVES
- A02 PERSPECTIVES
- A03 PERSPECTIVES
- A04 CONTEXT PLAN AND PHOTOS
- A05 3D RENDERING VIEWS
- A10 SUBDIVISION PLAN
- A11 SITE PLAN
- A12 SITE ELEVATIONS AND RETAINING WALL SECTIONS
- A13 SITE DETAILS
- A14 SITE DETAILS
- A21 MAIN FLOOR PLAN-BLDG 1
- A22 SECOND FLOOR PLAN - BLDG 1
- A23 ROOF PLAN - BLDG 1
- A24 MAIN FLOOR PLAN - BLDG 2
- A25 MEZZANINE FLOOR PLAN - BLDG 2
- A26 ROOF PLAN - BLDG 2
- A41 ELEVATIONS - BLDG 1
- A42 ELEVATIONS - BLDG 1
- A43 ELEVATIONS - BLDG 1
- A44 ELEVATIONS - BLDG 2
- A45 ELEVATIONS - BLDG 2
- A46 SIGNAGE
- A60 RTU VISIBILITY STUDY

KRAHN PROJECT No. 170444

PROJECT TEAM

ARCHITECT OF RECORD

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PROJECT MANAGER: SHANI TENNISON

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NO.	DATE	YMD	DESCRIPTION
18	2021/10/09		RE-ISSUED for DP
12	2020/02/18		RE-ISSUED FOR DP
11	2020/01/30		DP SET FOR CLIENT REVIEW
9	2019/01/04		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc

192 BRACKMAN WAY NORTH SANNORA, B.C. V1L 1C2

PROJECT NAME

ADVANTEKX

PROJECT ADDRESS
3048 192ND ST
SURREY, BC V3Z 9V2

DRAWING TITLE
COVER

SCALE	
DRAWN	BW
REVIEWED	
PROJECT NO.	170444
DRAWING NO.	

A0.0



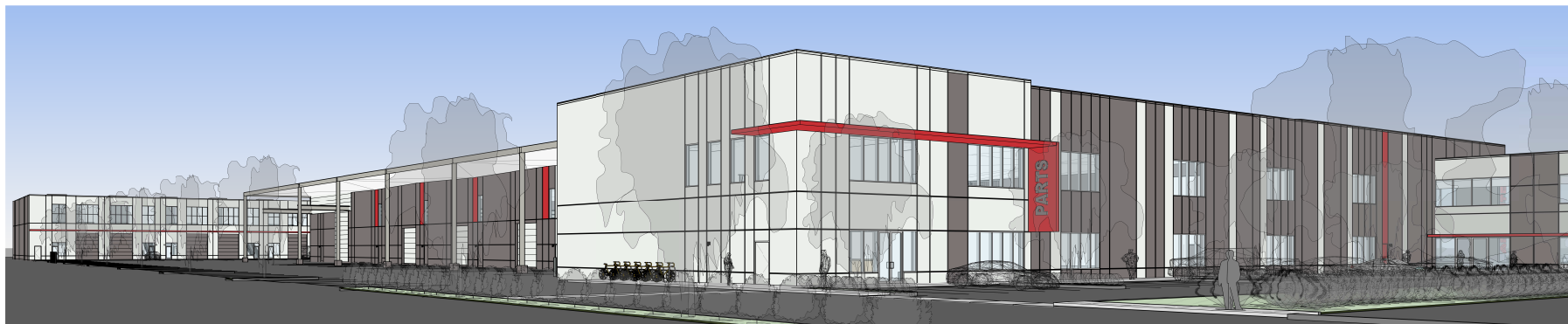
FUTURE 30 AVE VIEW (BUILDINGS 1 & 2)

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1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL



192 STREET ACCESS VIEW (BUILDINGS 1 & 2)

larry podhora | architecture inc

192 DRACOMAN WAY NORTH GRANBY, B.C. V1L 0L2

PROJECT NAME
ADVANTEX

PROJECT ADDRESS
**3048 152ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
PERSPECTIVES

SCALE	DRAWN	REVIEWED	PROJECT NO.	DRAWING NO.
	BW		170444	

A0.1



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NORTHWEST CORNER (BUILDING 1)

NO.	DATE	BY	DESCRIPTION
18	2021/10/09		RE-ISSUED FOR DP
12	2020/02/18		RE-ISSUED FOR DP
11	2020/01/30		DP SET FOR CLIENT REVIEW
9	2019/01/04		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

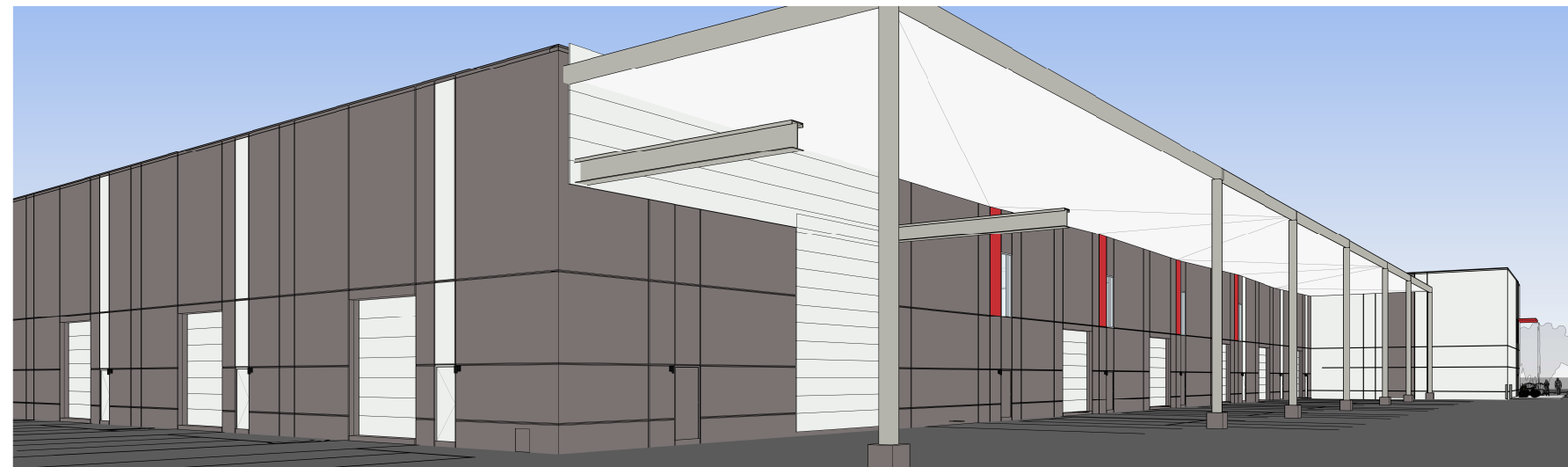
larry podhora | architecture inc
1922 BRADSHAW WAY NORTH SUITE 101, SURREY, BC V3R 4G2

PROJECT NAME
ADVANTEX

PROJECT ADDRESS
**3048 162ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
PERSPECTIVES

SCALE
DRAWN BY
REVIEWED
PROJECT NO. 170444
DRAWING NO.



NORTHEAST CORNER (BUILDING 1)



SOUTHEAST CORNER (BUILDING 1 & 2)

This drawing has been prepared solely for the use of ORION CONSTRUCTION LTD. and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.



SOUTHWEST CORNER (BUILDING 1 & 2)

NO.	DATE	TIME	DESCRIPTION
18	2023/1/10		RE-ISSUED FOR DP
12	2020/2/18		RE-ISSUED FOR DP
11	2020/0/10		DP SET FOR CLIENT REVIEW
9	2019/0/14		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/1/10		ISSUED FOR REVIEW

NO.	DATE	TIME	DESCRIPTION
ISSUES AND REVISIONS			

SEAL

larry podhora | architecture inc
 1922 BRADSHAW WAY NORTH SURREY, B.C. V3R 0C2

PROJECT NAME
ADVANTEK

PROJECT ADDRESS
**3048 152nd ST
 SURREY, BC V3Z 9V2**

DRAWING TITLE
PERSPECTIVES

SCALE
 DRAWN BW
 REVIEWED

PROJECT NO. 170444
 DRAWING NO.

A0.3



3D VIEW FROM 192 ST LOOKING TOWARD SOUTH



3D VIEW FROM FUTURE 30 AVE LOOKING TOWARD EAST



3D VIEW FROM SITE ENTRANCE OF FUTURE 30 AVE LOOKING TOWARD BLDG 2



3D VIEW FROM PLAZA LOOKING TOWARD WEST



3D VIEW FROM FUTURE 30 AVE LOOKING TOWARD WEST - BLDG 1

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NO.	DATE	BY	DESCRIPTION
19	2022/11/21	ISSUED FOR CITY COMMENTS	
18	2022/11/09	RE-ISSUED FOR DP	
12	2020/02/18	RE-ISSUED FOR DP	
11	2020/01/30	DP SET FOR CLIENT REVIEW	
9	2019/01/04	RE-ISSUED FOR DP	
8	2018/12/20	ISSUED FOR CLIENT REVIEW	
7	2018/12/10	ISSUED FOR CONSULT REVIEW	
1	2017/11/09	ISSUED FOR REVIEW	

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
1922 BRACKENBURY WAY NORTH, GRANBY, B.C. V0L 0C0

PROJECT NAME
ADVANTEK

PROJECT ADDRESS
**3048 162ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
3D RENDERING VIEWS

SCALE
DRAWN: BW
REVIEWED:
PROJECT NO.: 170444
DRAWING NO.:

A0.5

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NO.	DATE	BY	DESCRIPTION
18	2022/1/09		RE-ISSUED FOR DP
15	2022/1/13		ISSUED FOR REVIEW
12	2020/2/18		RE-ISSUED FOR DP
11	2020/1/30		DP SET FOR CLIENT REVIEW
9	2019/1/14		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
1822 BRADSHAW BAY NORTH SAANICH, B.C. V8L 0C8

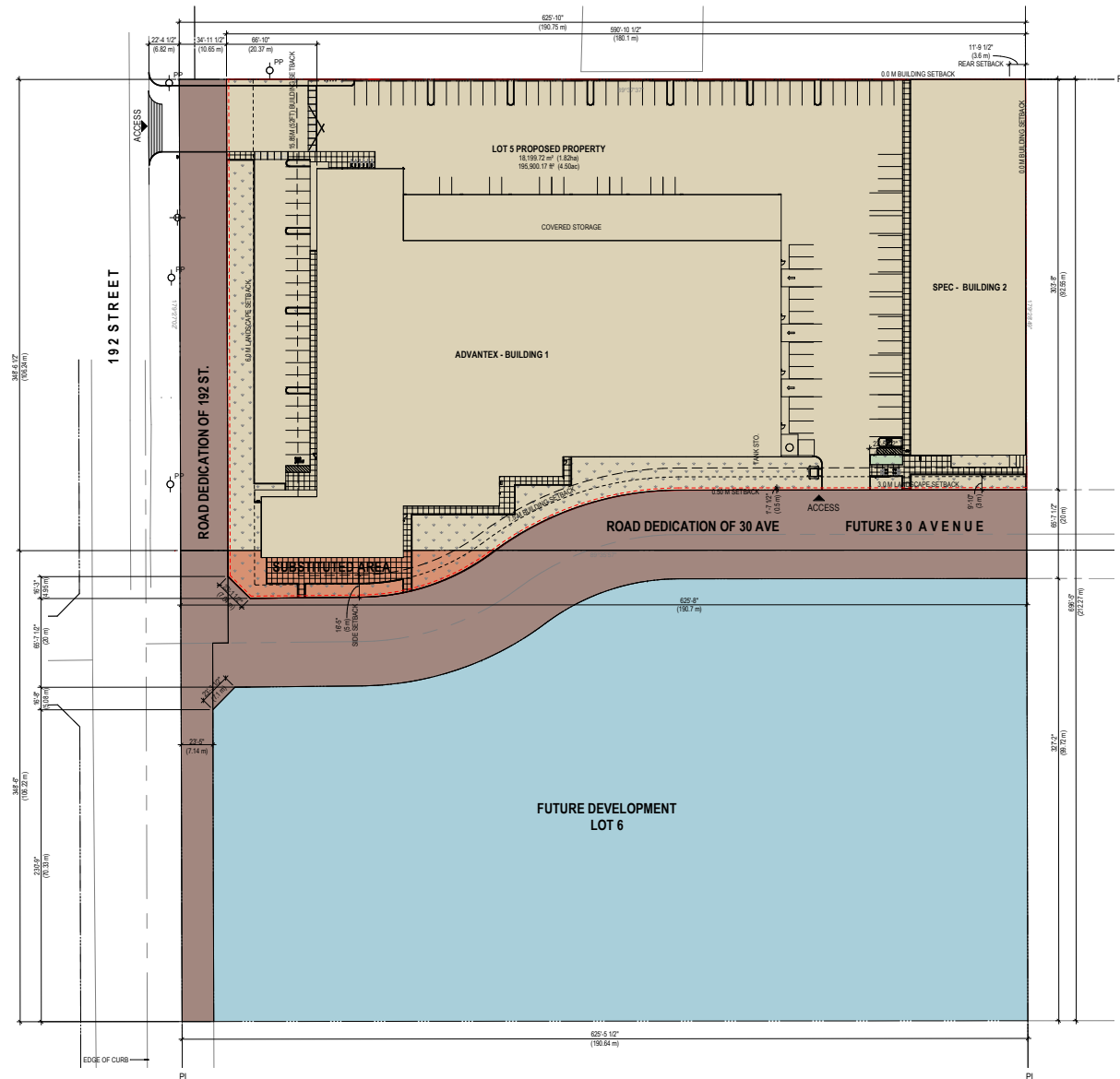
PROJECT NAME
ADVANTECH

PROJECT ADDRESS
**3048 192ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
SUBDIVISION PLAN

SCALE	As indicated
DRAWN	BW
REVIEWED	
PROJECT NO.	170444
DRAWING NO.	

A1.0



PROJECT DATA

CIVIC ADDRESS: 3048 192 STREET, SURREY, BC
LEGAL ADDRESS: LOT 5 SECTION 22 TOWNSHIP 7 PLAN NWP1487 MIND MANUFACTURED HOME REG. 438652
ZONING: EXISTING INTENSIVE AGRICULTURAL ZONE (A-2) PROPOSED BUSINESS PARK 2 ZONE (B-2)
BUILDING USE: MIXED-USE LIGHT INDUSTRIAL

SUBDIVISION DATA

- 1. ZONING:**
EXISTING INTENSIVE AGRICULTURAL ZONE (A-2)
PROPOSED BUSINESS PARK 2 ZONE (B-2)
- 2. EXISTING SITE AREA:**
EXISTING LOT 5 : 218,008.97 SQ FT (20,253.7 SQ M)
EXISTING LOT 6 : 217,896.39 SQ FT (20,243.24 SQ M)
EXISTING LOT 5 + 6 : 435,905.36 SQ FT (40,496.94 SQ M)
- 3. ROAD DEDICATION AREA:**
- LOT 5:**
ROAD DEDICATION OF 192 ST : 12,174.19 SQ FT (1,131.02 SQ M)
ROAD DEDICATION OF 30 AVE : 15,572.83 SQ FT (1,446.76 SQ M)
TOTAL ROAD DEDICATION OF LOT 5 : 27,747.02 SQ FT (2,577.78 SQ M)
- LOT 6:**
ROAD DEDICATION OF 192 ST : 8,581.83 SQ FT (831.65 SQ M)
ROAD DEDICATION OF 30 AVE : 24,863.79 SQ FT (2,318.28 SQ M)
TOTAL ROAD DEDICATION OF LOT 6 : 33,445.62 SQ FT (3,149.94 SQ M)
- 4. SUBSTITUTED AREA:**
AREA ADDED TO LOT 5 AND DECREASED OF LOT 6 : 5,638.20 SQ FT (523.81 SQ M)
- 5. PROPOSED SITE AREA:**
- LOT 5:**
EXISTING LOT - TOTAL ROAD DEDICATION - SUBSTITUTED AREA = 218,008.97 SQ FT (20,253.7 SQ M) - 27,747.02 SQ FT (2,577.78 SQ M) + 5,638.20 SQ FT (523.81 SQ M) = 195,900.17 SQ FT (18,199.72 SQ M)
- LOT 6:**
EXISTING LOT - TOTAL ROAD DEDICATION - SUBSTITUTED AREA = 217,896.39 SQ FT (20,243.24 SQ M) - 33,445.62 SQ FT (3,149.94 SQ M) + 5,638.20 SQ FT (523.81 SQ M) = 179,352.76 SQ FT (16,569.81 SQ M)

1 SUBDIVISION SITE PLAN
SCALE: 1" = 40'-0"



NOTE:
AREAS SHOWN ARE APPROXIMATE AND
WILL BE REFINED WHEN A MORE DETAILED
ANALYSIS OF PROPOSED DESIRED SPACES IS
COMPLETED.

PROJECT DATA
CHVC ADDRESS: 5048 192 STREET, SURREY, BC
LEGAL ADDRESS: LOT 5 SECTION 22 TOWNSHIP 1 PLAN NWP #87 NWD
MANUFACTURED HOME # 3062.
ZONING: EXISTING: INTENSIVE AGRICULTURAL ZONE (A-2)
PROPOSED: BUSINESS PARK ZONE (B-2)
ZONING BYLAW ANALYSIS (CITY OF SURREY)

3. SITE COVERAGE:
EXISTING: INTENSIVE AGRICULTURAL ZONE (A-2)
PROPOSED: BUSINESS PARK ZONE (B-2)

2. SITE AREA: EXISTING: 218,008.97 SQ FT (20,253.7 SQ M)
PROPOSED: 193,900.17 SQ FT (18,199.72 SQ M)

3. SITE COVERAGE:
BUILDING FOOTPRINT AREA CALCULATIONS

Name	PROP. SITE COVERAGE AREA (SF)	BUILD. AREA (SF)	SITE AREA	MAX. SITE COVERAGE	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SQ M)
BUILDING 1 - ADVANTEX	34.83%	68,227.34	199,800.17	60.00%	117,540.10	10,919.83
BUILDING 2 - LEASABLE	12.06%	23,630.00	2,195.30	60.00%	117,540.10	10,919.83
TOTAL LOT COVERAGE	51.74%	101,355.32	9,416.22			

4. GROSS BUILDING AREA AND FAR:
GROSS FLOOR AREA CALCULATIONS

BUILDING	OCCUPANCY	LEVEL	AREA (SF)	AREA (SQ M)
BUILDING 1	SHOP	MAIN FLOOR	34,067.55	3,164.88
BUILDING 1	WAREHOUSE	MAIN FLOOR	24,374.94	2,264.51
BUILDING 1	PARTS	MAIN FLOOR	3,081.22	286.28
BUILDING 1	PARTS OFFICE	MAIN FLOOR	1,071.35	99.42
BUILDING 1	OFFICE	MAIN FLOOR	5,412.38	502.83
BUILDING 1	CARETAKER SUIT EN.	MAIN FLOOR	273.88	25.44
BUILDING 1	CARETAKER SUIT	SECOND FLOOR	1,001.03	93.00
BUILDING 1	MEZZANINE	MEZZANINE	5,972.39	554.85
BUILDING 1	OFFICE (2ND FLOOR)	SECOND FLOOR	5,343.26	496.40
BUILDING 2	LEASABLE WAREHOUSE	MAIN FLOOR	23,630.00	2,195.30
BUILDING 2	OFFICE	MEZZANINE	7,566.91	702.99
GROSS FLOOR AREA			111,740.91	10,381.07

FAR CALCULATIONS

PROPOSED FAR	ALLOWABLE FAR
0.54	1.00

5. BUILDING HEIGHT:
MAXIMUM HEIGHT: 45.92 (14.00 M)
PROPOSED HEIGHT ADVANTEX: 37.17 (11.33 M)
PROPOSED HEIGHT LEASABLE: 34.02 (10.36 M)

6. REQUIRED SETBACKS:

FRONT YARD (WEST):	52.00 (15.85 M)
PROPOSED SETBACK:	24.82 (7.58 M)
SIDE YARD (NORTH):	0.00 (0.0 M)
PROPOSED SETBACK:	0.00 (0.0 M)
SIDE YARD (SOUTH):	24.81 (7.5 M)
PROPOSED SETBACK:	24.81 (7.5 M)
REAR YARD (EAST):	24.81 (7.5 M)
PROPOSED SETBACK:	0.00 (0.0 M) VARIANCE REQUIRED
LANDSCAPE SETBACK (SOUTH):	19.89 (6.0 M)
PROPOSED LANDSCAPE SETBACK:	19.89 (6.0 M)
LANDSCAPE SETBACK (WEST):	19.89 (6.0 M)
PROPOSED LANDSCAPE SETBACK:	19.89 (6.0 M) VARIANCE REQUIRED

7. LANDSCAPING REQUIREMENTS:
ALL DEVELOPED PORTIONS OF THE LOT NOT COVERED BY BUILDINGS OR PAVED AREAS IS LANDSCAPED. GARABAGE CONTAINERS ARE SCREENED.

8. PARKING AND LOADING:

BUILDING	OCCUPANCY	LEVEL	AREA (SF)	STALLS
BUILDING 1	SHOP	MAIN FLOOR	34,067.55	31.69
BUILDING 1	WAREHOUSE	MAIN FLOOR	24,374.94	22.67
BUILDING 1	PARTS	MAIN FLOOR	3,081.22	2.87
BUILDING 1	CARETAKER SUIT EN.	MAIN FLOOR	273.88	0.25
BUILDING 1	CARETAKER SUIT	SECOND FLOOR	1,001.03	0.93
BUILDING 1	MEZZANINE	MEZZANINE	5,972.39	5.56
BUILDING 1	OFFICE	MEZZANINE	66,771.02	63.97
BUILDING 2	LEASABLE WAREHOUSE	MAIN FLOOR	23,630.00	21.98
BUILDING 2	OFFICE	MEZZANINE	7,566.91	7.18
TOTAL STALLS				92,401.02

BUILDING	OCCUPANCY	LEVEL	AREA (SF)	STALLS
BUILDING 1	OFFICE	MAIN FLOOR	5,412.38	12.89
BUILDING 2	OFFICE	MEZZANINE	7,566.91	17.60
TOTAL STALLS				12,979.29

TOTAL STALLS REQUIRED INCLUDING 1 REQUIRED ACCESSIBLE STALLS: 116.26 (116)
TOTAL STALLS PROVIDED INCLUDING 2 PROPOSED ACCESSIBLE STALLS: 102 (VARIANCE REQUIRED)

LOADING:
ALL INDUSTRIAL BUILDINGS MUST PROVIDE AN OFF-STREET LOADING/UNLOADING SPACE ADJACENT TO EACH OVERHEAD LOADING DOOR OF THE BUILDING, OR WHERE NO LOADING DOOR IS PROVIDED, ADJACENT TO A DOOR OUTSIDE THE BUILDING.

LOADING STALLS PROVIDED: 11 LOADING STALLS
STANDARD LOADING STALL DIMENSIONS: 13'-0" (4.00 M) WIDE, 30'-0" (9.2 M) LONG

PARKING DIMENSIONS:

STALL DIMENSIONS:

STANDARD STALL DIMENSIONS:	9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG
ACCESSIBLE STALL DIMENSIONS:	13'-0" (4 M) WIDE, 18'-0" (5.5 M) LONG
TANDEN STALL DIMENSIONS:	8'-7" (2.6 M) WIDE, 22'-0" (6.7 M) LONG
DRIVE AISLE WIDTH:	22'-0" (7.00 M) AT 90°

9. BICYCLE PARKING:
BICYCLE PARKING PROVIDED: 10 STALLS

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NO.	DATE	ISSUED FOR CONSULT REVIEW	DESCRIPTION
19	2022/11/21	ISSUED BY CITY COMMENTS	
18	2022/11/09	RE-ISSUED TO DP	
16	2022/10/20	ISSUED BY COORDINATION	
15	2022/10/13	ISSUED FOR REVIEW	
14	2022/09/04	ISSUED BY COORDINATION	
12	2020/02/18	RE-ISSUED FOR DP	
11	2020/01/03	DP SET FOR CLIENT REVIEW	
10	2019/12/10	RESPONSE TO DP COMMENTS	
9	2019/10/14	RE-ISSUED FOR DP	
8	2018/12/20	ISSUED FOR CLIENT REVIEW	
7	2018/12/10	ISSUED FOR CONSULT REVIEW	

ISSUES AND REVISIONS

SEAL

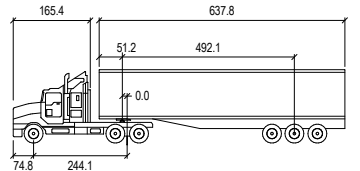
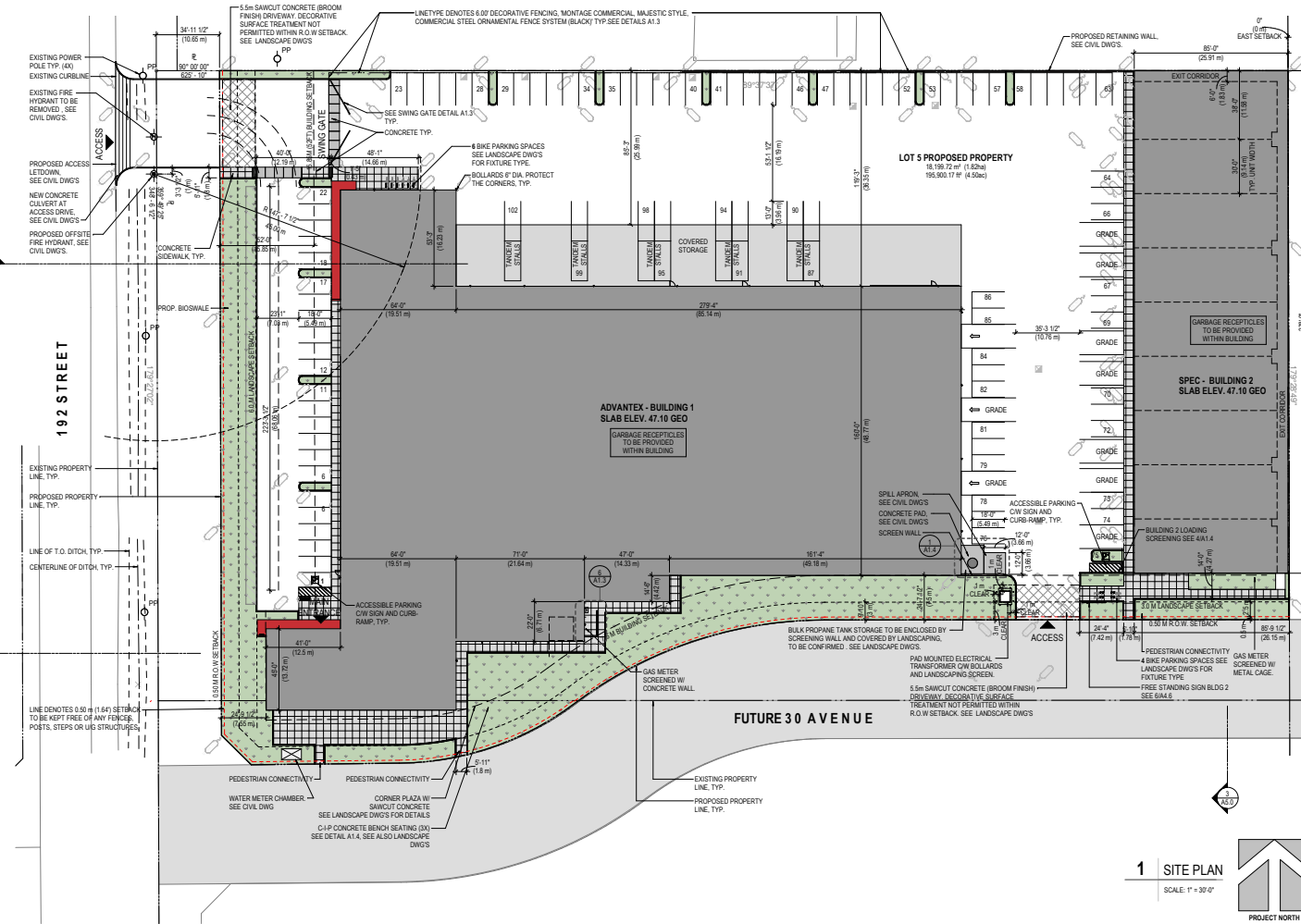
larry podhora | architecture inc.
192 DROGHDA WAY NORTH SUITE 200, B.C. V4A 1C6

ADVANTECH

PROJECT ADDRESS:
**5048 192ND ST
SURREY, BC V3Z 9V2**

SITE PLAN

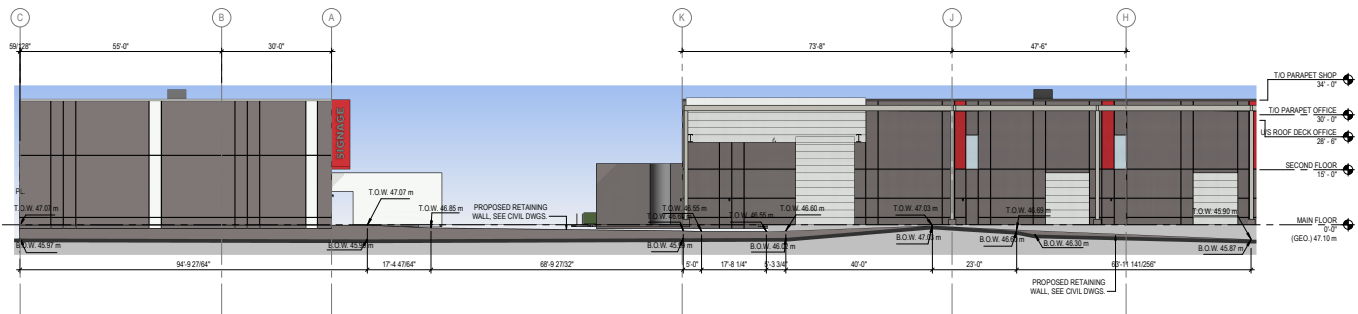
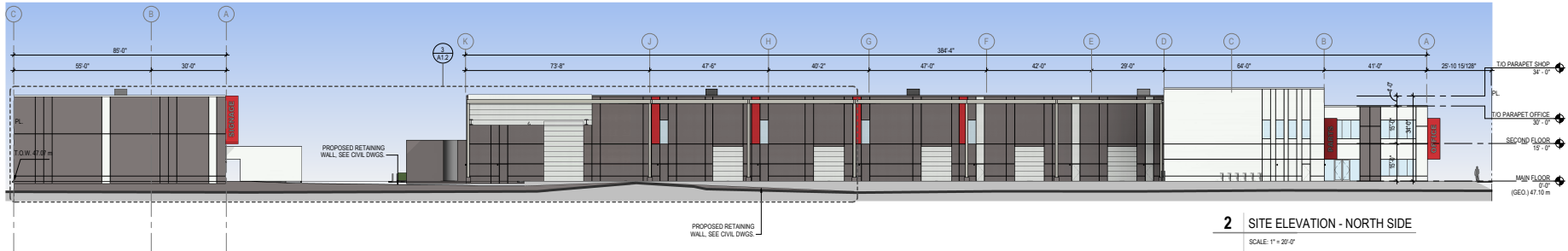
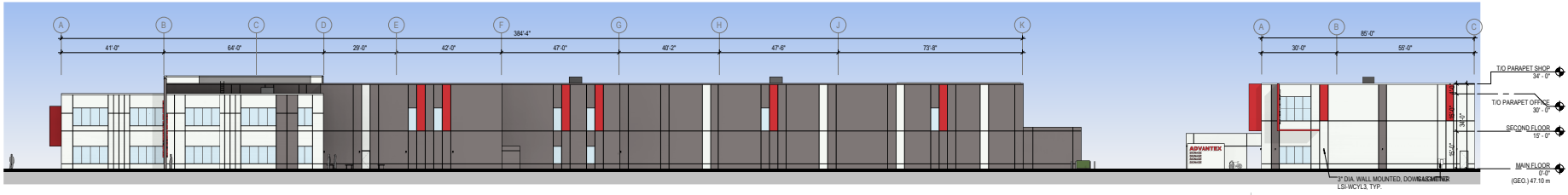
SCALE: As indicated
DRAWN: BW
REVIEWED:
PROJECT NO.: 170444
DRAWING NO.:



WB21

	inches		
Tractor Width	102.4	Lock to Lock Time	6.0
Trailer Width	102.4	Steering Angle	26.6
Tractor Track	102.4	Articulating Angle	70.0
Trailer Track	102.4		

3 TRUCK PROFILE
SCALE: 1" = 10'-0"



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- 18 2022/11/09 RE-ISSUED FOR DP
- 12 2020/02/18 RE-ISSUED FOR DP
- 11 2020/01/30 DP SET FOR CLIENT REVIEW
- 9 2019/01/04 RE-ISSUED FOR DP
- 8 2018/12/20 ISSUED FOR CLIENT REVIEW
- 7 2018/12/10 ISSUED FOR CONSULT REVIEW
- 1 2017/11/09 ISSUED FOR REVIEW

NO.	DATE	BY	DESCRIPTION
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
1902 DRACONARI WAY NORTH-SANRAIC BC V1C 0C8

PROJECT NAME
ADVANTEX

PROJECT ADDRESS
**3048 152ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
**SITE ELEVATIONS AND
RETAINING WALL
SECTIONS**

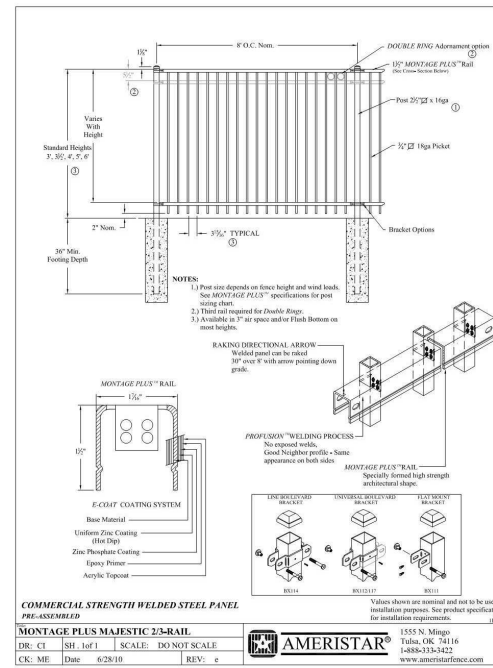
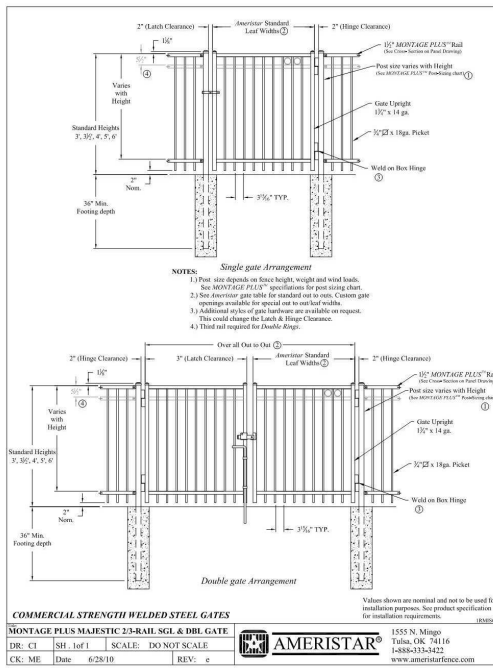
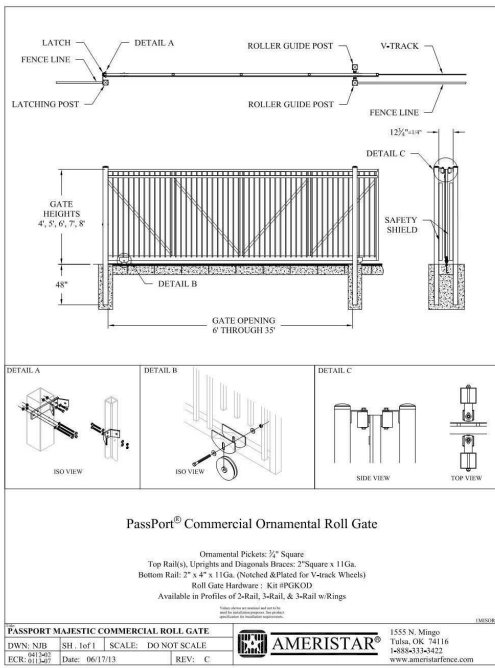
SCALE As indicated

DRAWN BW

REVIEWED

PROJECT NO. 170444

DRAWING NO.



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12	2020/02/18		RE-ISSUED FOR DP
11	2020/01/30		DP SET FOR CLIENT REVIEW
9	2019/01/04		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
 1922 DRACONIAN WAY NORTH SAUNDERS, B.C. V0L 0C0

ADVANTEX

PROJECT ADDRESS:
**3048 152nd ST
 SURREY, BC V3Z 9V2**

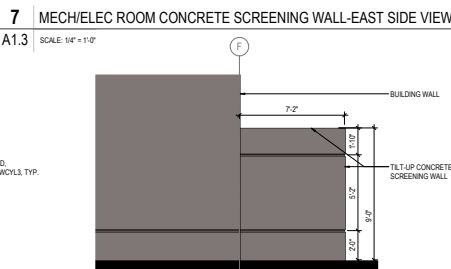
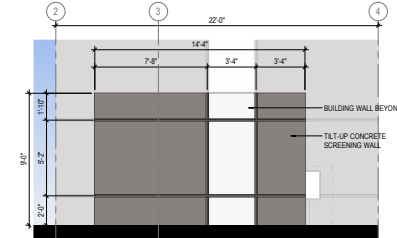
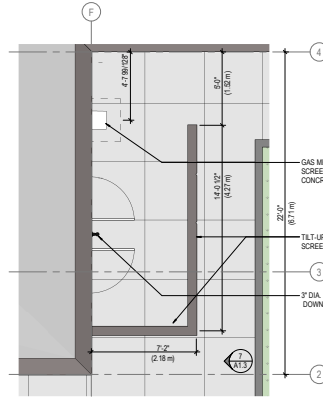
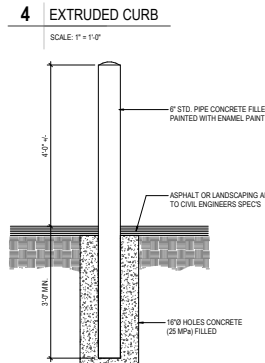
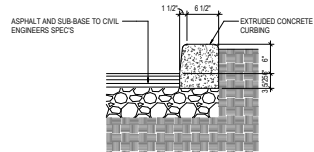
DRAWING TITLE:
SITE DETAILS

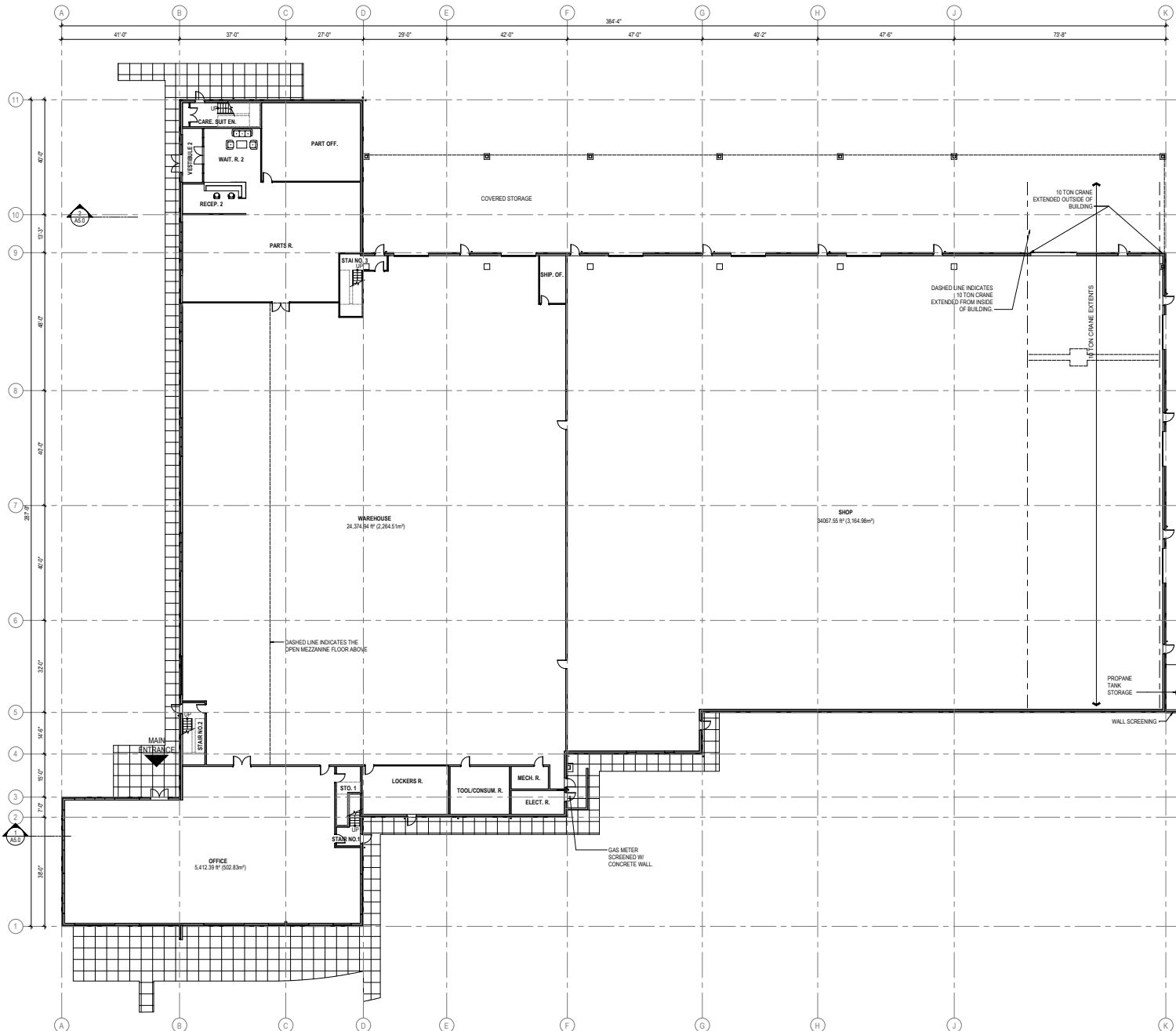
SCALE:	As indicated
DRAWN:	BW
REVIEWED:	
PROJECT NO.:	170444
DRAWING NO.:	

1 TYP. 6.00' HIGH DECORATIVE SLIDING GATE - FINISHED BLACK
 SCALE: 1/2" = 1'-0"

2 TYP. 6.00' HIGH DECORATIVE SWING GATE - FINISHED BLACK
 SCALE: 1/2" = 1'-0"

3 TYP. 6.00' HIGH DECORATIVE FENCE - FINISHED BLACK
 SCALE: 1/2" = 1'-0"





- FIRE-RESISTANCE RATING LEGEND**
- 45 MIN FIRE-RESISTANCE RATING
 - 1 HOUR FIRE-RESISTANCE RATING
 - 2 HOUR FIRE-RESISTANCE RATING
 - 3 HOUR FIRE-RESISTANCE RATING
 - 4 HOUR FIRE-RESISTANCE RATING

- SYMBOL LEGEND**
- ⊕ WINDOW OR DOOR TAGS (SEE SCHEDULES ON SHEETS AB.1.AB.2 & AB.3)
 - ⊕ STRUCTURAL PANEL NUMBERS (SEE STRUCTURAL DRAWINGS)
 - ⊕ WALL TAG (SEE ASSEMBLY SCHEDULE ON SHEET A1.1)
 - ⊕ BUILDING SECTION REFERENCE (IN A SPECIFIC ROOM AS SHOWN)
 - ⊕ DETAIL REFERENCE
 - ⊕ GRIDLINE

MAIN FLOOR GENERAL NOTES

SEE SCHEDULE DRAWING FOR ALL FLOOR, WALL, CEILING, AND ROOF ASSEMBLIES.

EXIT SIGNAGE
EXIT SIGNAGE TO BE PROVIDED PER ELECTRICAL DRAWINGS.

FIRESTOPPING
FIRESTOPPING SHALL COMPLY TO CANULC-S115-M STANDARDS.

FINISHES
FINISHES ARE NOT SHOWN ON THESE DRAWINGS. FINISHES ARE TO BE SPECIFIED BY OWNER OR OWNERS INTERIOR DESIGNER AT THE OWNERS REQUEST, AND INCLUDES ALL INTERIOR FINISHES INCLUDING MILLWORK, CEILING TYPES AND INTERIOR SIGNAGE. NEITHER THE KRAHN GROUP OF COMPANIES NOR LARRY PODHORA ARCHITECTS HAVE BEEN RETAINED TO CHOOSE, SPECIFY OR DESIGN INTERIOR FINISHES, MILLWORK OR INTERIOR SIGNAGE, AND THEREFORE ASSUME NO LIABILITY OR RESPONSIBILITY FOR SELECTED FINISHES, THEIR INSTALLATION OR THEIR PERFORMANCE. NEVERTHELESS, ALL FINISHES SELECTED BY OWNER OR OWNERS REPRESENTATIVE MUST COMPLY WITH CURRENT PROVINCIAL BUILDING CODE, CURRENT EDITION, AND MUST MEET THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS CONTAINED WITHIN.

DOOR SIGNAGE
ALL DOORS NOT SPECIFIED IN DOOR AND DOOR HARDWARE SCHEDULE SHALL BE BY THE OWNER OR OWNERS INTERIOR DESIGNER.

FIRE SAFETY PLAN
FIRE SAFETY PLAN TO BE PROVIDED BY FIRE PROTECTION CONSULTANT, INSTALLED TO THEIR REQUIREMENTS, AND TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.

PORTABLE FIRE EXTINGUISHERS
FIRE EXTINGUISHERS SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE BC FIRE CODE AND TO THE SATISFACTION OF THE FIRE PROTECTION CONSULTANT.

SPRINKLERED BUILDING
BUILDING IS FULLY SPRINKLERED PER CODE ANALYSIS. DRAWINGS AND PERMIT APPLICATION FOR SPRINKLER SYSTEM IS THE RESPONSIBILITY OF OTHERS. DESIGN PARAMETERS ARE PER THE MECHANICAL CONSULTANT'S DRAWINGS. WALL STATIONS AND FIRE ALARM SPECIFICATIONS FOR INSTALLATION AND MONITORING ARE PER THE ELECTRICAL DRAWINGS.

CLASSIFICATION AND USE

Comments	OCCUPANCY TYP.	AREA (SQF)	AREA (SQ M)	Level	OCCUPANT LOAD FACTOR (SQ MPERSON)	ACCUPANT LOAD
BUILDING 1 SHOP		34,097.55 sq ft	3,164.98 m ²	MAIN FLOOR	28	113
BUILDING 1 WAREHOUSE		24,374.84 sq ft	2,248.51 m ²	MAIN FLOOR	28	81
BUILDING 1 PARTS		3,081.22 sq ft	286.26 m ²	MAIN FLOOR	28	10
BUILDING 1 PARTS OFFICE		1,017.35 sq ft	94.52 m ²	MAIN FLOOR	9.3	10
BUILDING 1 OFFICE		5,412.39 sq ft	502.81 m ²	MAIN FLOOR	9.3	54
BUILDING 1 MEZZANINE FLOOR		5,972.39 sq ft	554.86 m ²	SECOND FLOOR	28	20
BUILDING 1 OFFICE(2ND FLOOR)		5,343.26 sq ft	496.40 m ²	SECOND FLOOR	9.3	53
Grand total		79,265.11 sq ft	7,364.34 m²			341

CLASSIFICATION AND USE FOR CARETAKER SUIT

Comments	OCCUPANCY TYP.	AREA (SQF)	AREA (SQ M)	Level	NUMBER OF SLEEPING ROOM	ACCUPANT LOAD OF CARETAKER SUIT
BUILDING 1 CARETAKER SUIT EN.		273.88 sq ft	25.44 m ²	MAIN FLOOR	0	0
BUILDING 1 CARETAKER SUIT		1,001.03 sq ft	93.00 m ²	SECOND FLOOR	1	2
Grand total		1,274.91 sq ft	118.44 m²			2



ABBOTSFORD OFFICE
ABBOTSFORD • EDMONTON • VANCOUVER

1180 JEFFERSON AVE. ABBOTSFORD, BC V3Z 2R9
PH: 604.857.7777 FAX: 604.857.7778
WWW.KRAHN.COM WWW.ORIONCON.COM

ORION CONSTRUCTION

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18 2022/11/09 RE-ISSUED FOR DP
17 2022/10/24 ISSUED FOR REVIEW
12 2020/02/18 RE-ISSUED FOR DP
11 2020/01/30 DP SET FOR CLIENT REVIEW
9 2019/01/24 RE-ISSUED FOR DP
8 2018/12/20 ISSUED FOR CLIENT REVIEW
7 2018/12/10 ISSUED FOR CONSULT REVIEW
1 2017/11/09 ISSUED FOR REVIEW

NO. DATE YMDM DESCRIPTION

NO.	DATE	YMDM	DESCRIPTION
			ISSUES AND REVISIONS
			SEAL

larry podhora | architecture inc
1182 DRACONA WAY NORTH SAANICH, BC V8L 0C4

PROJECT NAME
ADVANTECH

PROJECT ADDRESS
3048 152ND ST
SURREY, BC V3Z 9V2

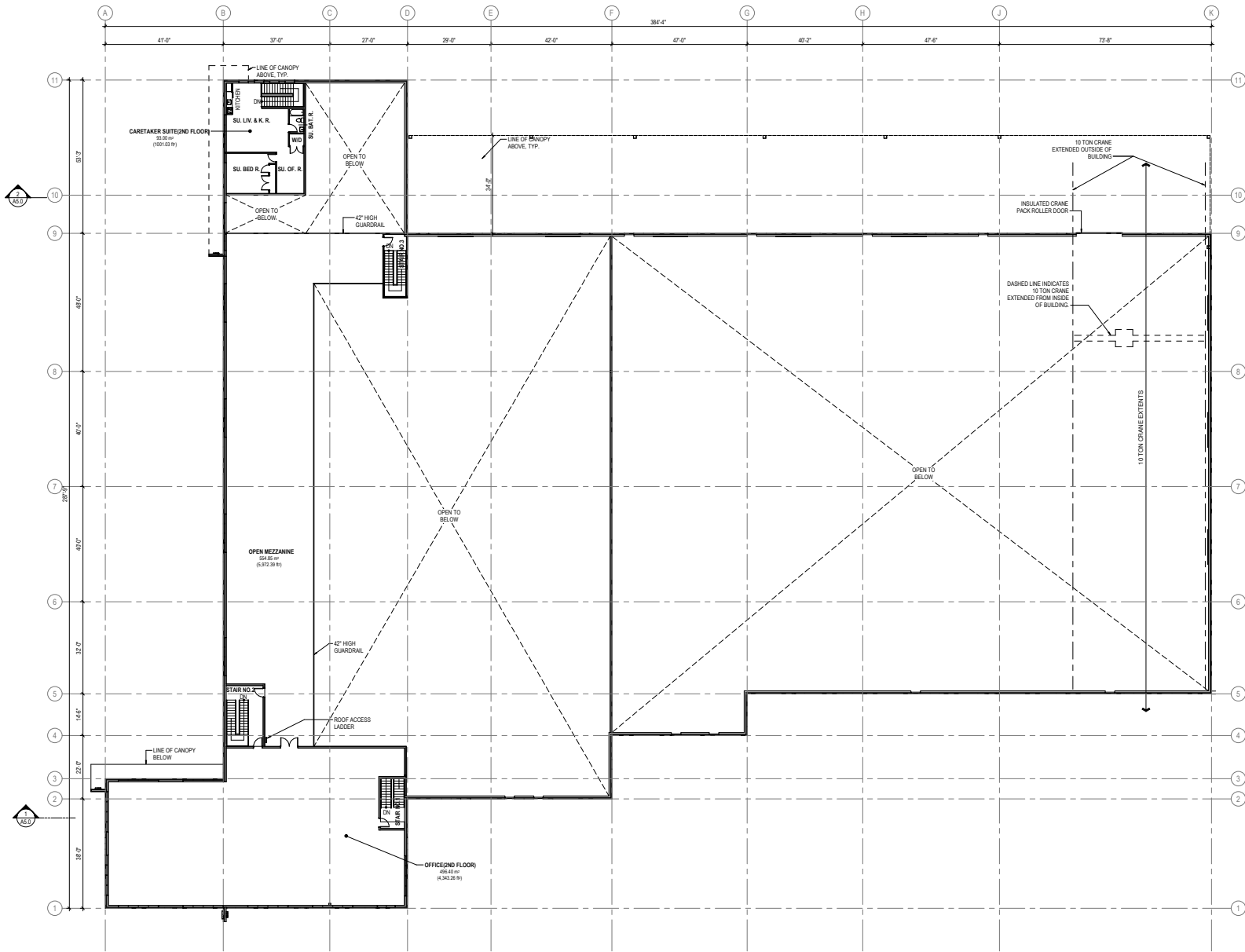
DRAWING TITLE
MAIN FLOOR PLAN-BLDG 1

SCALE As indicated
DRAWN BW
REVIEWED
PROJECT NO. 170444
DRAWING NO.

1 MAIN FLOOR PLAN-BLDG 1
SCALE: 1/16" = 1'-0"



A2.1



This drawing has been prepared solely for the use of ORION CONSTRUCTION LTD. and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. in any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

NO.	DATE	BY	DESCRIPTION
18	2022/11/09		RE-ISSUED FOR DP
17	2022/10/04		ISSUED FOR REVIEW
12	2020/02/18		RE-ISSUED FOR DP
11	2020/01/30		DP SET FOR CLIENT REVIEW
9	2019/01/04		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
1782 DRACOMAN WAY NORTH SAANICH, B.C. V8L 0G2

PROJECT NAME
ADVANTEX

PROJECT ADDRESS
**3048 152nd ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
SECOND FLOOR PLAN - BLDG 1

SCALE	1/8" = 1'-0"
DRAWN	BW
REVIEWED	
PROJECT NO.	170444
DRAWING NO.	



1 SECOND FLOOR PLAN - BLDG 1
SCALE: 1/8" = 1'-0"

A2.2

ARCH: Larry Podhora (2017) Lic. No. 10015 (2017) Reg. No. 2018
 CIVIL: Brian Chisholm (2017) Lic. No. 10017 (2017) Reg. No. 2018

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18	2021/10/09	RE-ISSUED	FOR DP
12	2020/02/18	RE-ISSUED	FOR DP
11	2020/01/30	DP SET	FOR CLIENT REVIEW
9	2019/01/04	RE-ISSUED	FOR DP
8	2018/12/20	ISSUED	FOR CLIENT REVIEW
7	2018/12/10	ISSUED	FOR CONSULT REVIEW
1	2017/11/09	ISSUED	FOR REVIEW

ISSUES AND REVISIONS
SEAL

larry podhora | architecture inc.
1822 BRADSHAW WAY NORTH GRANBY, B.C. V1L 0L2

PROJECT NAME
ADVANTEX

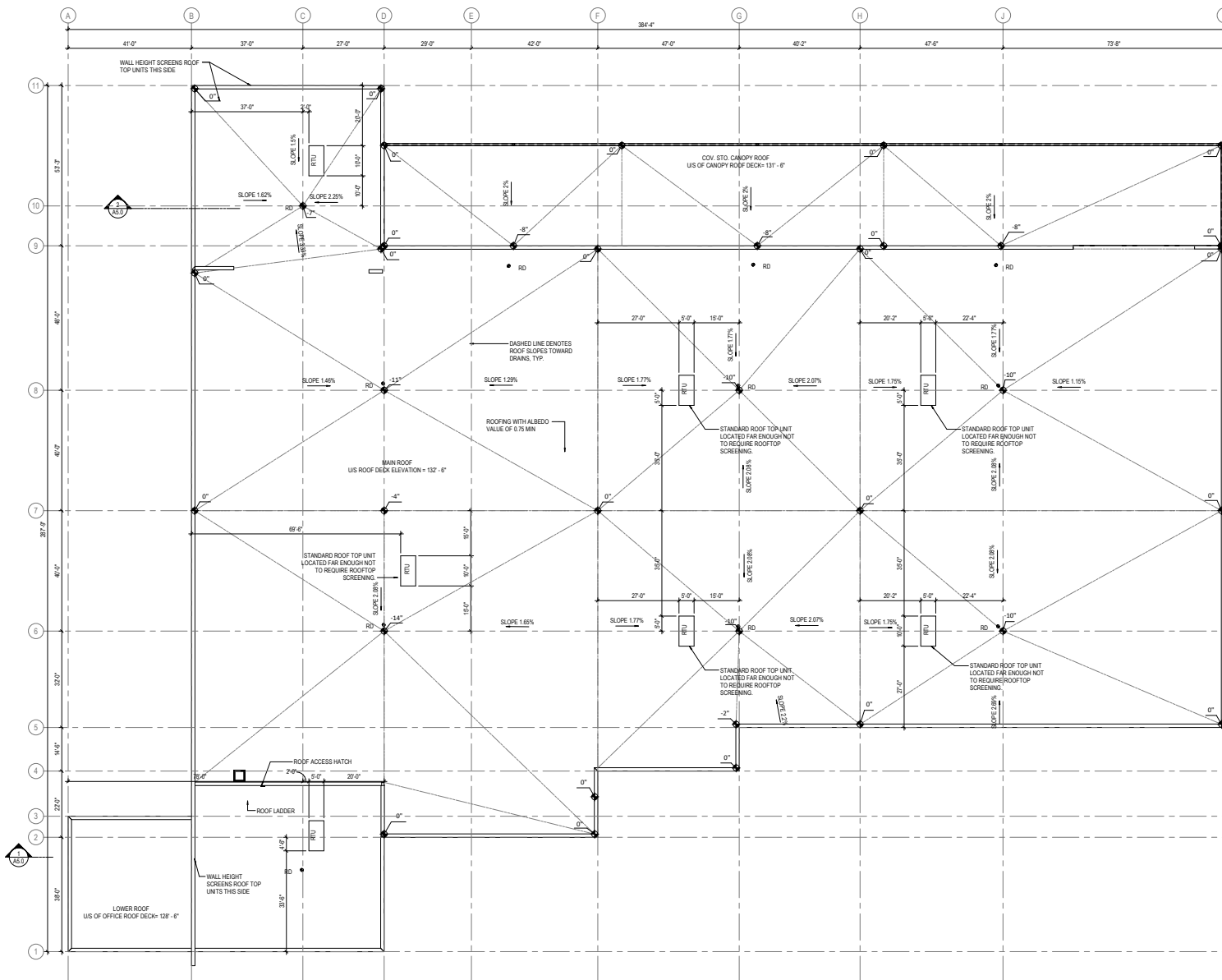
PROJECT ADDRESS
**3048 152ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
ROOF PLAN - BLDG 1

SCALE	1/8" = 1'-0"
DRAWN	BW
REVIEWED	
PROJECT NO.	170444
DRAWING NO.	

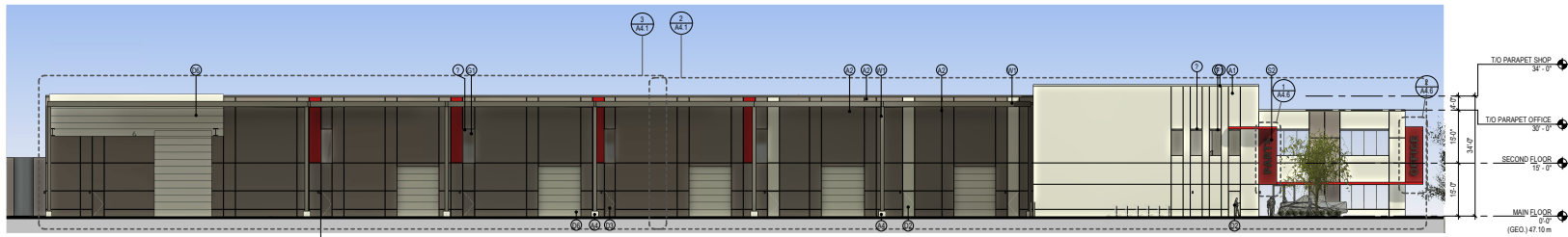


1 ROOF PLAN - BLDG 1
SCALE: 1/8" = 1'-0"

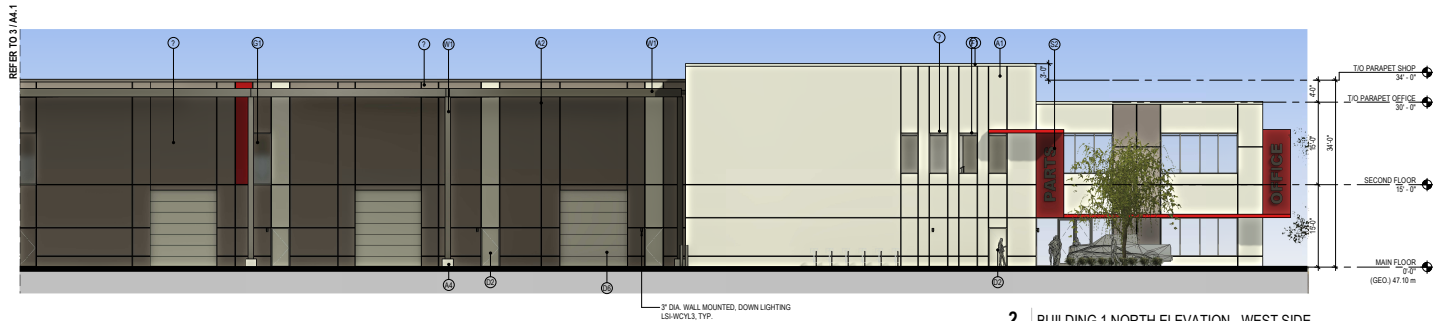


18/03/2018 10:00 AM
 C:\Users\larry\Documents\Projects\170444\170444-Roof Plan - Bldg 1.dwg

A2.3



1 BUILDING 1 NORTH ELEVATION - OVERAL
SCALE: 1/8" = 1'-0"



2 BUILDING 1 NORTH ELEVATION - WEST SIDE
SCALE: 3/32" = 1'-0"

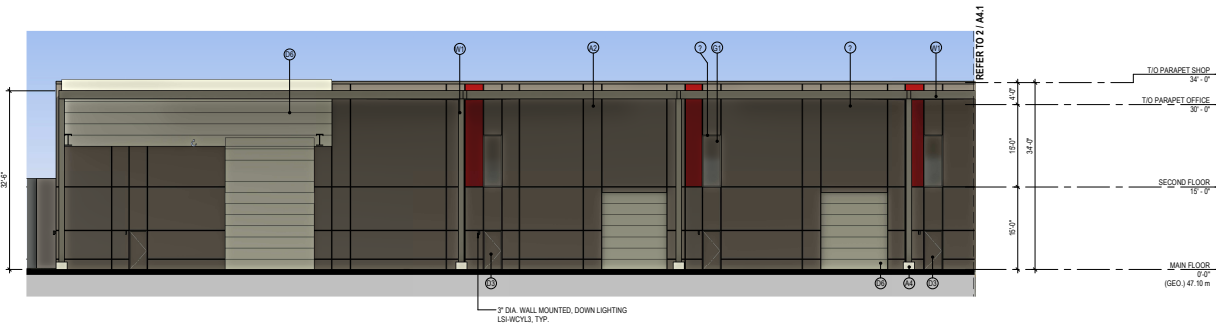
PROJECT COLOURS

C1	BENJAMIN MOORE	WHITE CHRISTMAS 872	
C2	BENJAMIN MOORE	GRAY MOUNTAIN 1462	
C3	BENJAMIN MOORE	RUBY RED 2001-10 (UV-COATED)	
C4	BENJAMIN MOORE	GRAY HUSKIE 1473	
GLASS COLOUR 1			

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION	FINISH*	COMMENTS
A1	CONCRETE TILT-UP PANEL	PAINTED COLOUR C1	
A2	CONCRETE TILT-UP PANEL	PAINTED COLOUR C2	
A3	CONCRETE TILT-UP PANEL	PAINTED COLOUR C3	
A4	CAST-IN-PLACE CONCRETE	PAINTED COLOUR C2	
D1	ALUMINUM & VISION GLASS MAIN DOOR	PRE-FINISHED CLEAR ANODIZED & GLASS COLOUR 1	
D2	STEEL MAIN DOOR & FRAME	PAINTED COLOUR C1	
D3	STEEL MAIN DOOR & FRAME	PAINTED COLOUR C2	
D4	STEEL MAIN DOOR & FRAME	PAINTED COLOUR C3	
D5	STEEL OVERHEAD DOOR	PAINTED COLOUR C1	
D6	DRAIN TRUCK ROLLER DOOR	PAINTED COLOUR C1	
F1	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C1	
F2	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C2	
F3	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C3	
G1	VISION GLAZING	GLASS COLOUR 1	
M	ALUMINUM CURTAIN WALL PANEL	PRE-FINISHED ANODIZED CLEAR	
P1	METAL PANEL COVER w/ METAL CLADDING	PRE-FINISHED COLOUR C3	
S2	METAL SIGNAGE	PRE-FINISHED COLOUR C2	
S3	METAL SIGNAGE	PRE-FINISHED COLOUR C3	
W1	METAL FRAMING	PRIMED & PAINTED COLOUR C4	

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.



3 BUILDING 1 NORTH ELEVATION - EAST SIDE
SCALE: 3/32" = 1'-0"

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NO.	DATE	BY	DESCRIPTION
18	2021/1/16	DP	RE-ISSUED FOR DP
12	2020/2/18	DP	RE-ISSUED FOR DP
11	2020/1/30	DP	SET FOR CLIENT REVIEW
9	2019/1/14	DP	RE-ISSUED FOR DP
8	2018/1/20	DP	ISSUED FOR CLIENT REVIEW
7	2018/1/21	DP	ISSUED FOR CONSULT REVIEW
1	2017/1/10	DP	ISSUED FOR REVIEW

ISSUES AND REVISIONS
SCALE

larry podhora | architecture inc
1922 BRADSHAW WAY NORTH, SURREY, B.C. V3Z 9J2

PROJECT NAME
ADVANTECH

PROJECT ADDRESS
**3048 152ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
ELEVATIONS - BLDG 1

SCALE: As indicated
DRAWN: BW
REVIEWED:
PROJECT NO.: 170444
DRAWING NO.:

A4.1



1 BUILDING 1 SOUTH ELEVATION (30 AVE) - OVERAL

SCALE: 1/16" = 1'-0"



2 BUILDING 1 SOUTH ELEVATION (30 AVE) - EAST SIDE

SCALE: 3/32" = 1'-0"

PROJECT COLOURS		
C1	BENJAMIN MOORE WHITE CHRISTMAS 872	
C2	BENJAMIN MOORE GRAY MOUNTAIN 1462	
C3	BENJAMIN MOORE RUBY RED 2001-10 (U.V.-COATED)	
C4	BENJAMIN MOORE GRAY HUSKIE 1473	
GLASS COLOUR 1		

EXTERIOR FINISH LEGEND			
MARK	DESCRIPTION	FINISH	COMMENTS
A1	CONCRETE TILT-UP PANEL	PAINTED COLOUR C1	
A2	CONCRETE TILT-UP PANEL	PAINTED COLOUR C2	
A3	CONCRETE TILT-UP PANEL	PAINTED COLOUR C3	
A4	CAST-IN-PLACE CONCRETE	PAINTED COLOUR C2	
D1	ALUMINUM & VISION GLASS MAN DOOR	PRE-FINISHED CLEAR ANODIZED & GLASS COLOUR 1	
D2	STEEL MAN DOOR & FRAME	PAINTED COLOUR C1	
D3	STEEL MAN DOOR & FRAME	PAINTED COLOUR C2	
D4	STEEL MAN DOOR & FRAME	PAINTED COLOUR C3	
D5	STEEL OVERHEAD DOOR	PAINTED COLOUR C1	
D6	CRAIN PACK ROLLER DOOR	PAINTED COLOUR C1	
F1	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C1	
F2	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C2	
F3	PRE-FORMED ALUMINUM FLASHING	PAINTED COLOUR C3	
G1	VISION GLAZING	GLASS COLOUR 1	
M1	ALUMINUM CURTAIN WALL PANEL	PRE-FINISHED ANODIZED CLEAR	
P1	METAL PANEL COVER w/ METAL CLADDING	PRE-FINISHED COLOUR C3	
S2	METAL SIGNAGE	PRE-FINISHED COLOUR C2	
S3	METAL SIGNAGE	PRE-FINISHED COLOUR C3	
W1	METAL FRAMING	PRIMED & PAINTED COLOUR C4	

NOTE: THE ABOVE LEGEND ITEMS ARE SHOWN ONLY ON A SMALL AREA OF THE ELEVATIONS. HOWEVER, THEY APPLY TO ALL SIMILARLY MARKED AREAS THROUGHOUT THE BUILDING.



3 BUILDING 1 SOUTH ELEVATION (30 AVE) - WEST SIDE

SCALE: 3/32" = 1'-0"

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9	2019/1/14		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW
1	2017/11/09		ISSUED FOR REVIEW

ISSUES AND REVISIONS
SEAL

larry podhora | architecture inc

1902 BRADSHAW WAY NORTH SUITE 101 SURREY, BC V3Z 3G4

PROJECT NAME
ADVANTECH

PROJECT ADDRESS
**3048 150th ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
ELEVATIONS - BLDG 1

SCALE As indicated

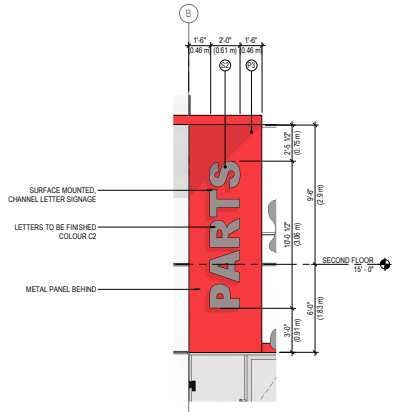
DRAWN BW

REVIEWED

PROJECT NO. 170444

DRAWING NO.

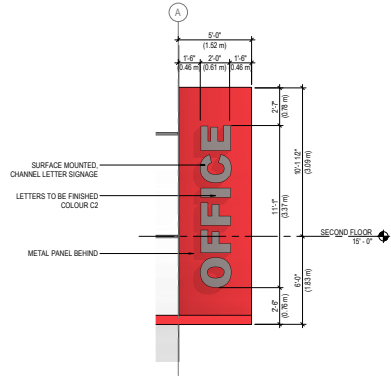
A4.2



NOTE: ATTACHMENT OF SIGNAGE & RIBBON CANOPY TO BE DESIGNED BY ENG.

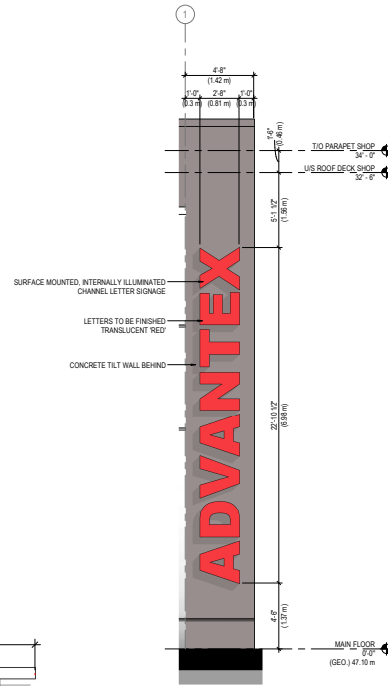
1 SECONDARY SIGNAGE - SIGN 1

SCALE: 1/4" = 1'-0"



2 SECONDARY SIGNAGE - SIGN 2

SCALE: 1/4" = 1'-0"



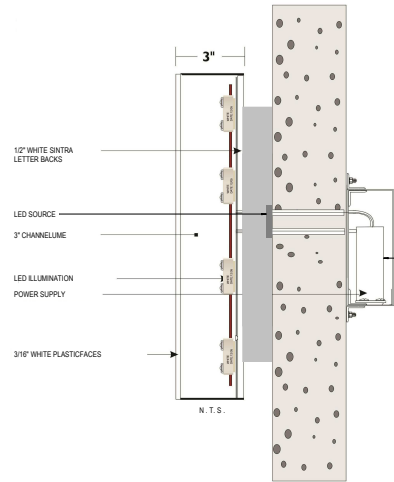
3 MAIN SIGN

SCALE: 1/4" = 1'-0"



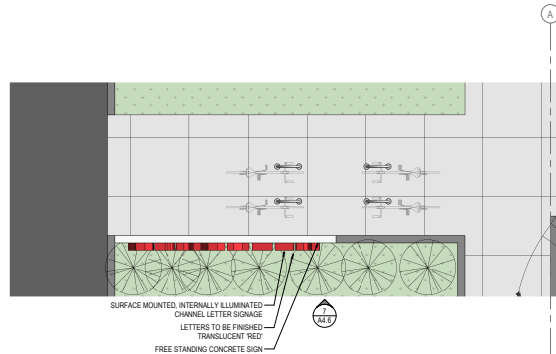
4 TYPICAL BUILDING FASCIA SIGNAGE

SCALE: 1/8" = 1'-0"



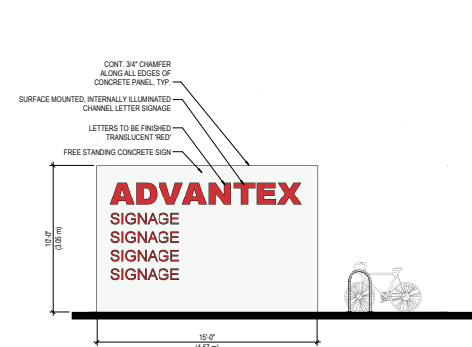
5 TYPICAL BUILDING FASCIA SIGNAGE DETAIL

SCALE: 1/8" = 1'-0"



6 FREE STANDING SIGN - BLDG 2 - PLAN VIEW

SCALE: 1/4" = 1'-0"



7 FREE STANDING SIGN - BLDG 2 - ELEVATION

SCALE: 1/4" = 1'-0"

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12	2020/2/18	RE-ISSUED FOR DP
11	2020/1/30	DP SET FOR CLIENT REVIEW
9	2019/1/14	RE-ISSUED FOR DP
8	2018/1/20	ISSUED FOR CLIENT REVIEW
7	2018/1/21	ISSUED FOR CONSULT REVIEW
1	2017/1/10	ISSUED FOR REVIEW

NO.	DATE	YMD	DESCRIPTION
-----	------	-----	-------------

ISSUES AND REVISIONS

SCALE

larry podhora | architecture inc

1922 BRADSHAW WAY NORTH SAANICH, B.C. V8L 2G2

PROJECT NAME

ADVANTEX

PROJECT ADDRESS

3048 152nd ST

SURREY, BC V3Z 9V2

DRAWING TITLE

SIGNAGE

SCALE

As indicated

DRAWN

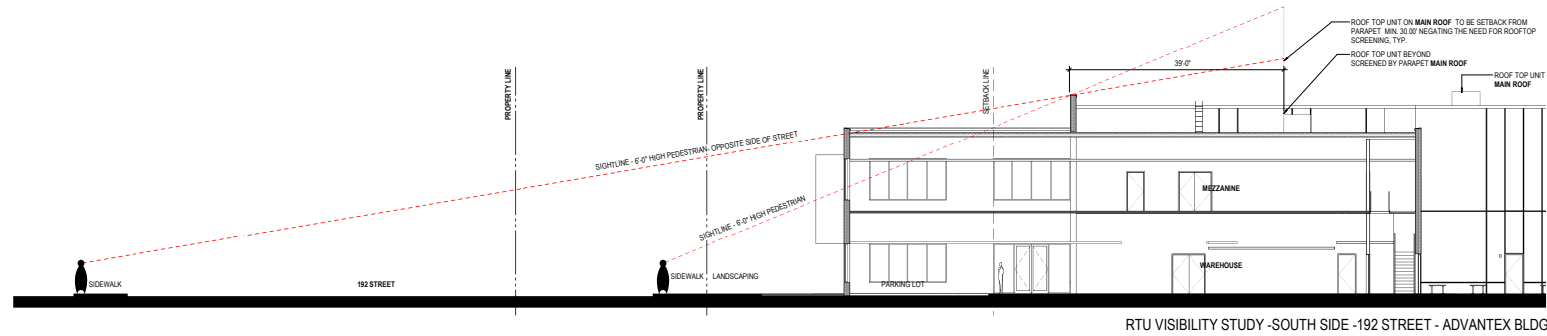
BW

REVIEWED

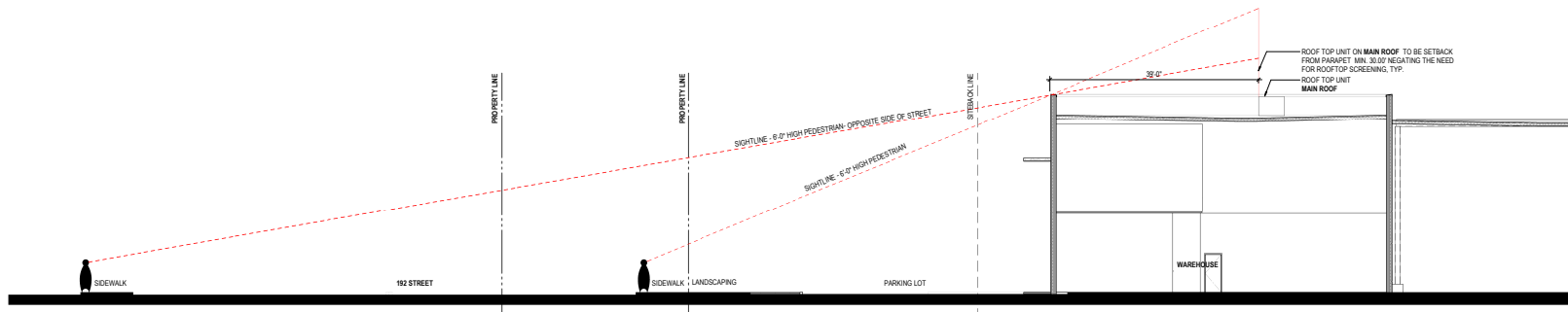
PROJECT NO.

170444

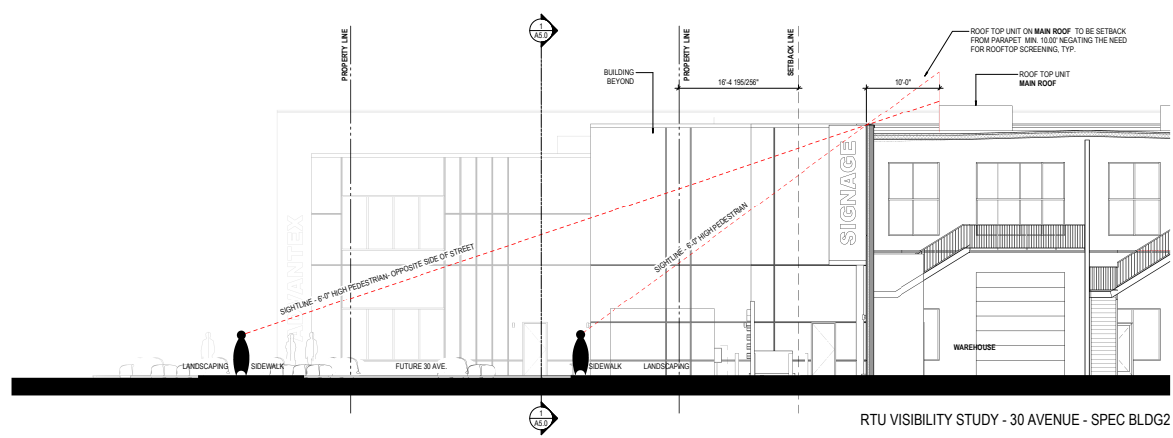
DRAWING NO.



RTU VISIBILITY STUDY - SOUTH SIDE - 192 STREET - ADVANTEX BLDG



RTU VISIBILITY STUDY - NORTH SIDE - 192 STREET - ADVANTEX BLDG



RTU VISIBILITY STUDY - 30 AVENUE - SPEC BLDG2

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NO.	DATE	TIME	DESCRIPTION
18	20211109		RE-ISSUED FOR DP
12	20200218		RE-ISSUED FOR DP
11	20200130		DP SET FOR CLIENT REVIEW
9	20190104		RE-ISSUED FOR DP
8	20181220		ISSUED FOR CLIENT REVIEW
7	20181210		ISSUED FOR CONSULT REVIEW
1	20171109		ISSUED FOR REVIEW

ISSUES AND REVISIONS

SEAL

larry podhora | architecture inc
192 DRACONIAN WAY NORTH SAANICH, B.C. V8L 0L2

PROJECT NAME
ADVANTEX

PROJECT ADDRESS
**3048 192ND ST
SURREY, BC V3Z 9V2**

DRAWING TITLE
RTU VISIBILITY STUDY

SCALE: As indicated
DRAWN: BW
REVIEWED:
PROJECT NO.: 170444
DRAWING NO.:

A5.0

10/20/2018 10:00 AM
 C:\Users\larry\OneDrive\Documents\170444\170444-RTU Visibility Study.dwg
 170444-RTU Visibility Study.dwg

LEGEND

	TURF GRASS
	CONCRETE SIDEWALK PAVING
	STAMPED CONCRETE WALKWAY
	STRUCTURAL SOIL
	SAW CUT CONCRETE
	FENCE
	RIVER ROCK

NO.	DATE (Y/M/D)	DESCRIPTION
1	201109	ISSUED FOR DP
2	201202	ISSUED FOR DP COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SEAL		



PROJECT NAME
3048 ADVANTEX

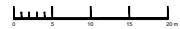
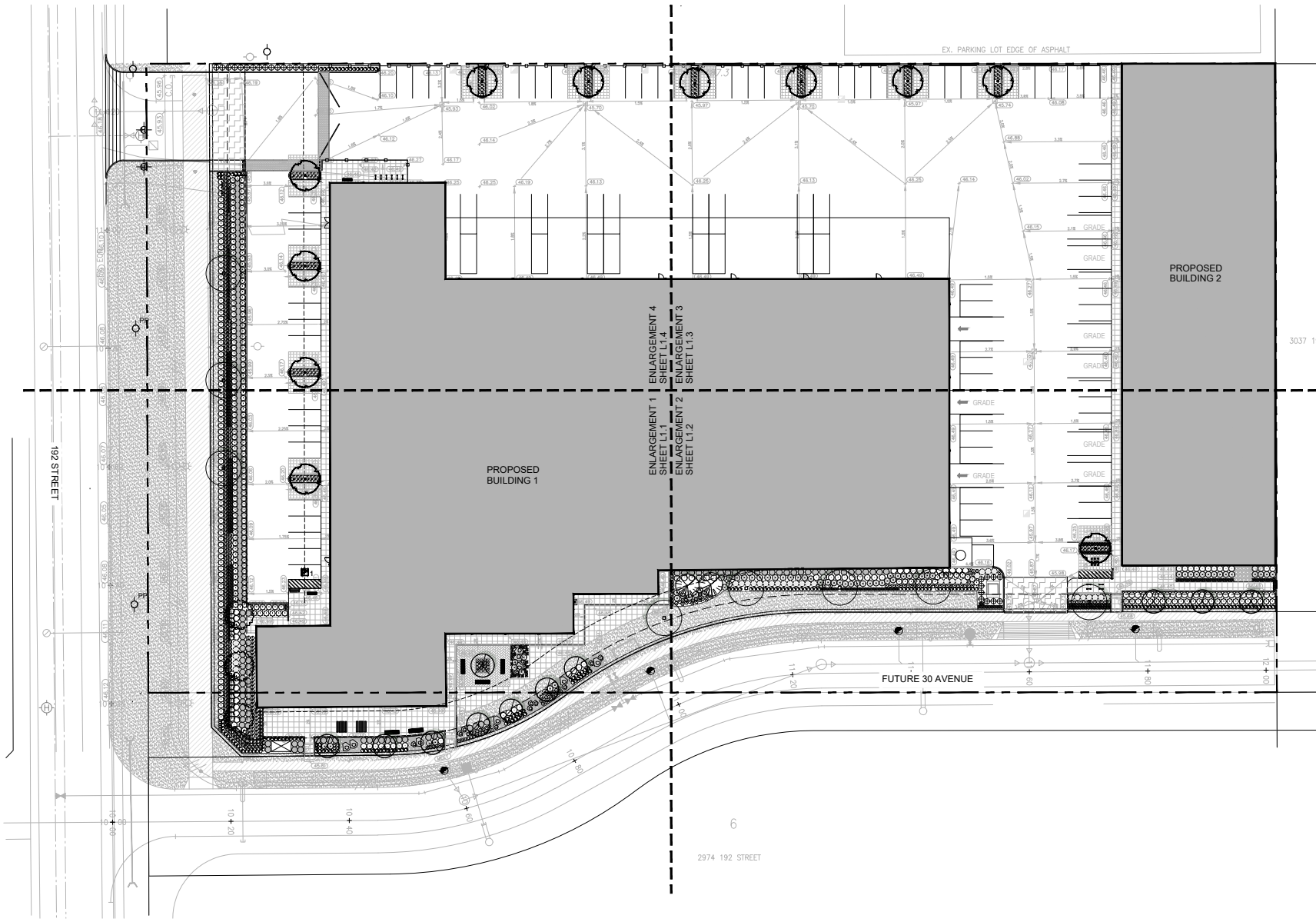
PROJECT ADDRESS
**3048 192ND ST
SURREY, BC**

DRAWING TITLE
**OVERALL
LANDSCAPE PLAN**

SCALE: 1:300
DRAWN: RMK
CHECKED: JT
PROJECT NO.: 220177-4

DRAWING NO. **L1**

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2974 192 STREET

6

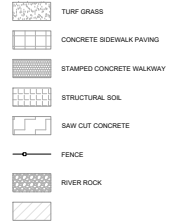
FUTURE 30 AVENUE

192 STREET

EX. PARKING LOT EDGE OF ASPHALT

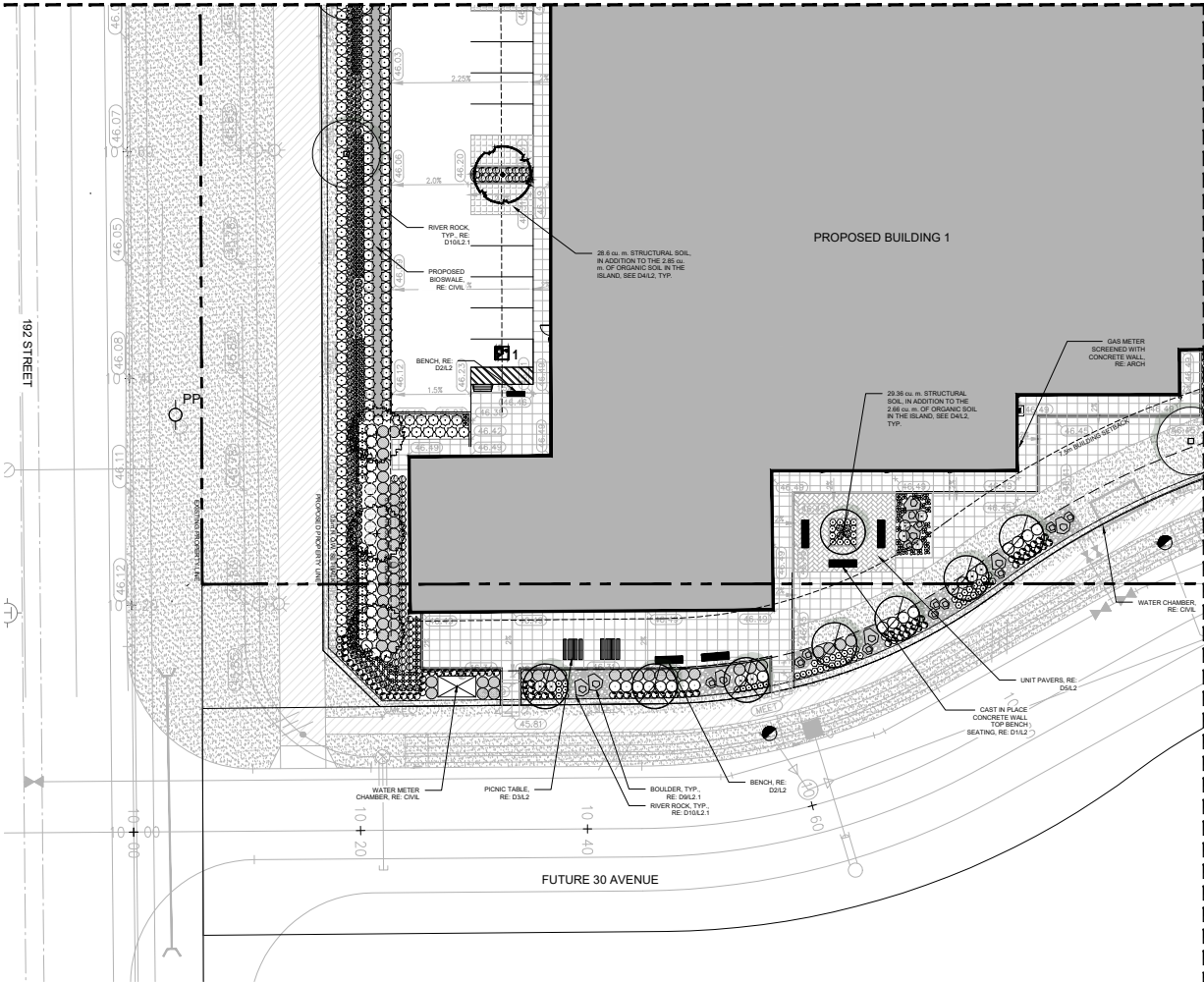
3037 19

LEGEND



ENLARGEMENT 4
SHEET L1.4

ENLARGEMENT 2
SHEET L1.2



PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	11	<i>Acer platanoides</i> 'Globevue'	Globe Norway Maple	6 cm cal.	As per plan	W.B.
	11	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Eastern Redbud	6 cm cal.	As per plan	W.B.
	8	<i>Liquidambar styraciflua</i>	American Sweetgum	6 cm cal.	As per plan	W.B.
	3	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	2	<i>Pinus cembra</i>	Swiss Stone Pine	2.5 m ht.	As per plan	W.B.
SHRUBS						
	25	<i>Betula thurbergii</i> 'Cherry Bomb'	Cherry Bomb Japanese Barberry	60 cm ht.	1.0 m	#1 Pot
	193	<i>Buxus</i> 'Green Mountain'	Green Mountain Boxwood	30 cm ht.	60 cm	#1 Pot
	318	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	50 cm ht.	60 cm	#2 Pot
	35	<i>Juniperus chinensis</i> 'Mint Julep'	Mint Julep Juniper	50 cm sp.	1.0 m	#2 Pot
	206	<i>Prunus laurocerasus</i> 'Mount Vernon'	Dwarf English Laurel	50 cm sp.	60 cm	#2 Pot
	77	<i>Rhododendron</i> 'Kash' Kousser'	Hybrid Rhododendron	50 cm ht.	1.0 m	#2 Pot
	68	<i>Spirea latifolia</i> 'Tir'	Birch Leaf Spirea	50 cm ht.	1.0 m	#2 Pot
	27	<i>Thuja occidentalis</i> 'Smiragis'	Emerald Green Cedar	1.5m ht.	1.0m	B & B
	81	<i>Vaccinium canadense</i>	Emergreen huckleberry	60 cm ht.	1.2 m	#5 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	216	<i>Carex acutiflora</i> 'Overcast'	Variiegated Reed Grass	45 cm		#1 Pot
	143	<i>Nassella tenuissima</i>	Mexican Feather Grass	45 cm		#1 Pot
	362	<i>Sedum sanguiniflorum</i> 'Firecracker'	Showstopper	45 cm		#1 Pot

J 321159 ISSUED FOR DP
J 321527 ISSUED FOR DP COORDINATION
NO. DATE (Y/M/D) DESCRIPTION
ISSUES & REVISIONS

SCALE

NORTH ARROW



PROJECT NAME

3048 ADVANTECH

PROJECT ADDRESS

3048 192ND ST
SURREY, BC

DRAWING TITLE

LANDSCAPE PLAN
ENLARGEMENT 1

SCALE

1:200

DRAWN: RMK

CHECKED: JT

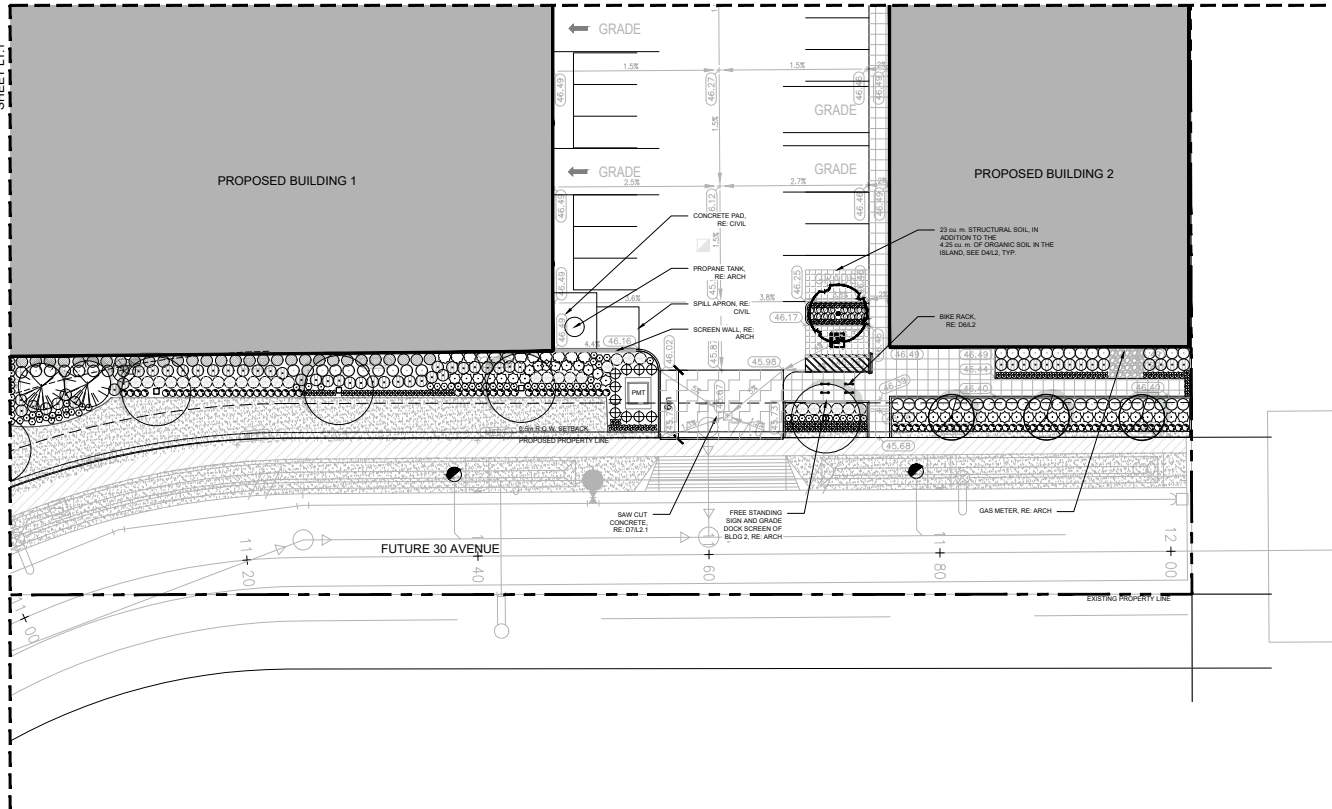
PROJECT NO. 220177.4

DRAWING NO.

L1.1



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PLANT LIST						
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	11	<i>Acer glaberrimum</i> 'Gibbosum'	Globe Norway Maple	6 cm cal.	As per plan	W.B.
	11	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Eastern Redbud	6 cm cal.	As per plan	W.B.
	8	<i>Liquidambar styraciflua</i>	American Sweetgum	6 cm cal.	As per plan	W.B.
	3	<i>Zelkova serrata</i> 'Green View'	Green View Zelkova	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	2	<i>Pinus centria</i>	Swiss Stone Pine	2.5 m ht.	As per plan	W.B.
SHRUBS						
	25	<i>Berberis thunbergii</i> 'Cherry Bomb'	Cherry Bomb Japanese Barberry	60 cm ht. 1.0 m		#3 Pot
	100	<i>Ilex aquifolium</i> 'Green Mountain'	Green Mountain Holly	30 cm ht. 60 cm		#1 Pot
	318	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	50 cm ht. 60 cm		#2 Pot
	35	<i>Juniperus chinensis</i> 'Mire Jasp'	Mire Jasp Juniper	50 cm sp. 1.0 m		#2 Pot
	206	<i>Thuja occidentalis</i> 'Mount Vernon'	Mount Vernon English Laurel	50 cm sp. 60 cm		#2 Pot
	77	<i>Rhododendron</i> 'Sunsh Kouschka'	Hybrid Rhododendron	50 cm ht. 1.0 m		#2 Pot
	68	<i>Spruce</i> 'betulafolia Tur'	Birch Leaf Spruce	50 cm ht. 1.0 m		#2 Pot
	27	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Cedar	1.5m ht. 1.0m		#1 & #2
	91	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	60 cm ht. 1.2 m		#3 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	216	<i>Carex acutiflora</i> 'Oxerdent'	Variagated Reed Grass	45 cm		#1 Pot
	143	<i>Nepeta hawkeana</i>	Mexican Feather Grass	45 cm		#1 Pot
	365	<i>Sedum spectabile</i> 'Firecracker'	Stonewort	45 cm		#1 Pot

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE SIDEWALKWAY
- STRUCTURAL SOIL
- SAW CUT CONCRETE
- FENCE
- RIVER ROCK

3	221109	ISSUED FOR DP
3	221927	ISSUED FOR DP COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SEAL		



PROJECT NAME
3048 ADVANTECH

PROJECT ADDRESS
**3048 192ND ST
SURREY, BC**

DRAWING TITLE
**LANDSCAPE PLAN
ENLARGEMENT 2**

SCALE: 1:200
DRAWN: **RMK**
CHECKED: **JT**
PROJECT NO: **220177-4**

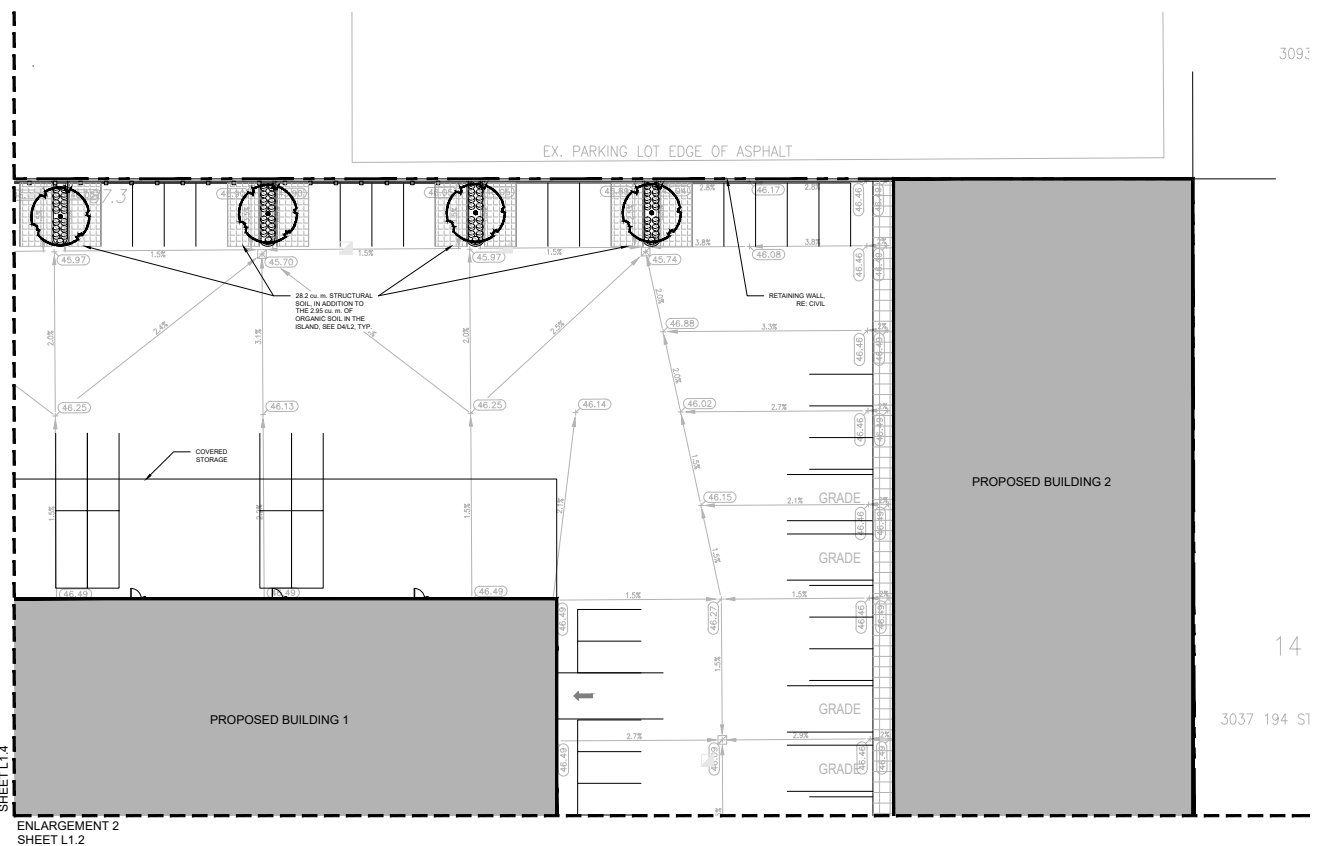
DRAWING NO: **L1.2**



LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- STRUCTURAL SOIL
- SAW CUT CONCRETE
- FENCE
- RIVER ROCK

NO.	DATE (Y/M/D)	DESCRIPTION
1	201109	ISSUED FOR DP
2	201207	ISSUED FOR DP COORDINATION
ISSUES & REVISIONS:		
SEAL:		



PLANT LIST						
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	11	<i>Acer glaberrimum</i> 'Glaberrimum'	Globe Norway Maple	6 cm cal.	As per plan	W.B.
	11	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Eastern Redbud	6 cm cal.	As per plan	W.B.
	8	<i>Liquidambar styraciflua</i>	American Sweetgum	6 cm cal.	As per plan	W.B.
	3	<i>Zelkova serrata</i> 'Green View'	Green View Zelkova	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	2	<i>Pinus cembra</i>	Swiss Stone Pine	2.5 m ht.	As per plan	W.B.
SHRUBS						
	25	<i>Berberis thunbergii</i> 'Cherry Bomb'	Cherry Bomb Japanese Barberry	60 cm ht.	1.0 m	#3 Pot
	100	<i>Rosa 'Green Mountain'</i>	Green Mountain Rosewood	30 cm ht.	60 cm	#1 Pot
	318	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Dogwood	50 cm ht.	60 cm	#2 Pot
	35	<i>Juniperus chinensis</i> 'Mire Jalap'	Mire Jalap Juniper	50 cm sp.	1.0 m	#2 Pot
	208	<i>Prunus laurocerasus</i> 'Mount Vesuvius'	David's English Laural	60 cm db.	60 cm	#3 Pot
	77	<i>Rhododendron</i> 'Sunsh Kraschka'	Hybrid Rhododendron	50 cm ht.	1.0 m	#2 Pot
	68	<i>Spirea betulifolia</i> 'Tie'	Birch Leaf Spirea	50 cm ht.	1.0 m	#2 Pot
	27	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Cedar	1.5m ht.	1.0m	5 S & S
	91	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	60 cm ht.	1.2 m	#3 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	216	<i>Campanula scutellaria</i> 'Overland'	Vanagard Rue Grass	45 cm		#1 Pot
	143	<i>Festuca ovina</i>	Mexican Feather Grass	45 cm		#1 Pot
	365	<i>Sedum sunpatia</i> 'Firecracker'	Stonewall	45 cm		#1 Pot



PROJECT NAME:
3048 ADVANTECH

PROJECT ADDRESS:
**3048 192ND ST
SURREY, BC**

DRAWING TITLE:
**LANDSCAPE PLAN
ENLARGEMENT 3**

SCALE: 1:200

DRAWN: **RMK**

CHECKED: **JT**

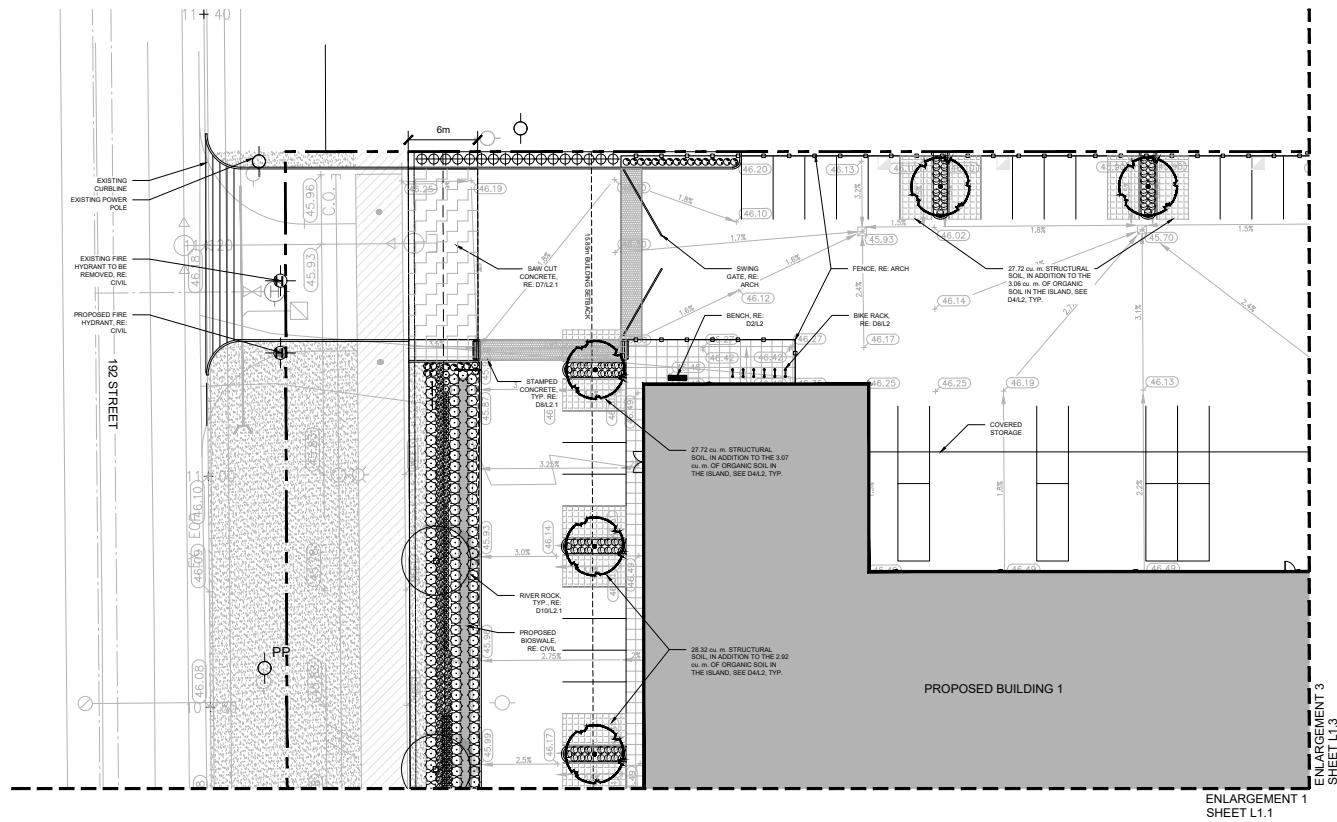
PROJECT NO.: **220177-4**

DRAWING NO.:



LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- STAMPED CONCRETE WALKWAY
- STRUCTURAL SOIL
- SAW CUT CONCRETE
- FENCE
- RIVER ROCK



ENLARGEMENT 1
SHEET L1.1

PLANT LIST						
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	11	Acer glaberrimum 'Glaberrimum'	Globe Norway Maple	6 cm cal.	As per plan	W.B.
	11	Acer canadense 'Forest Pansy'	Forest Pansy Eastern Redbud	6 cm cal.	As per plan	W.B.
	8	Liquidambar styraciflua	American Sweetgum	6 cm cal.	As per plan	W.B.
	3	Zelkova serrata 'Green Vase'	Green Vase Zelkova	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
	2	Pinus cembra	Swiss Stone Pine	2.5 m ht.	As per plan	W.B.
SHRUBS						
	25	Berberis thunbergii 'Cherry Bomb'	Cherry Bomb Japanese Barberry	60 cm ht.	1.0 m	#3 Pot
	103	Buxus 'Green Manzanita'	Green Manzanita Boxwood	30 cm ht.	60 cm	#1 Pot
	318	Comus serotina 'Arctic Fire'	Arctic Fire Dogwood	50 cm ht.	60 cm	#2 Pot
	35	Juniperus chinensis 'Mire Jolly'	Mire Jolly Juniper	50 cm sp.	1.0 m	#2 Pot
	206	Prunus laurocerasus 'Moult Venus'	Moult Venus Laurel	60 cm sp.	60 cm	#2 Pot
	77	Rhododendron 'Sunsh Kouschik'	Hybrid Rhododendron	50 cm ht.	1.0 m	#2 Pot
	68	Spirea betulifolia 'Tie'	Birch Leaf Spirea	50 cm ht.	1.0 m	#2 Pot
	27	Thuja occidentalis 'Spirange'	Everest Green Cedar	1.5m ht.	1.0m	#1 & #2
	91	Vaccinium ovatum	Evergreen Huckleberry	60 cm ht.	1.2 m	#3 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
	216	Clematis recta 'Oxydaria'	Variegated Reed Clematis	45 cm		#1 Pot
	143	Neovicia trivittata	Mexican Feather Grass	45 cm		#1 Pot
	365	Sedum sunpatheum 'Firecracker'	Stonewall	45 cm		#1 Pot

NORTH ARROW



PROJECT NAME

3048 ADVANTEX

PROJECT ADDRESS

3048 192ND ST
SURREY, BC

DRAWING TITLE

LANDSCAPE PLAN
ENLARGEMENT 4

SCALE

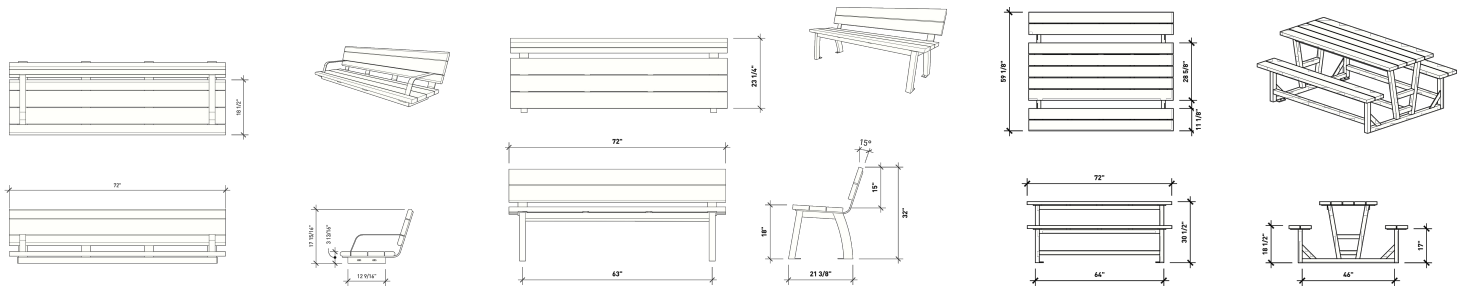
1:200
DRAWN: RMK
CHECKED: JT
PROJECT NO: 220177-4

DRAWING NO.

L1.4



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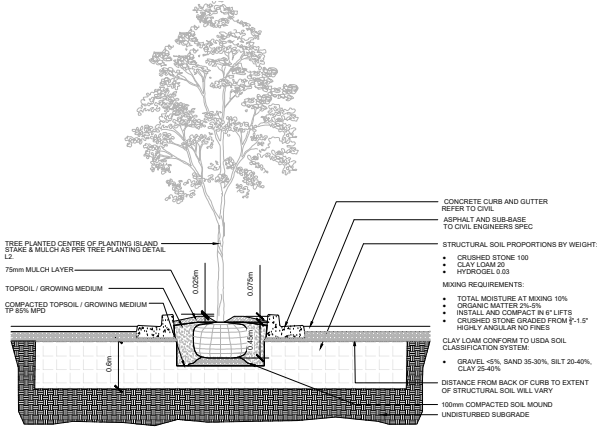


D1 WALL TOP BENCH N.T.S.
MANUFACTURER: WISHBONE SITE FURNISHINGS
MODEL: BAYVIEW/ST WALL BENCH BWS-8
POWDER COAT COLOUR: NORDIC LICHEN
RECYCLED PLASTIC LUMBER COLOUR: SAND
QUANTITY: 3
OR APPROVED EQUAL

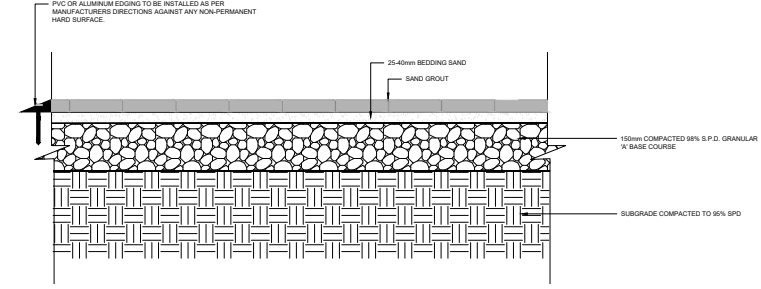
D2 BENCH N.T.S.
MANUFACTURER: WISHBONE SITE FURNISHINGS
MODEL: ANLEBBURY PARK BENCH ANA-18/ST NO ARM
RESTS
POWDER COAT COLOUR: NORDIC LICHEN
RECYCLED PLASTIC LUMBER COLOUR: SAND
QUANTITY: 3
OR APPROVED EQUAL

D3 PICNIC TABLE N.T.S.
MANUFACTURER: WISHBONE SITE FURNISHINGS
MODEL: BAYVIEW/ST PICNIC TABLE/ST FULL FRAME RPTFS-6
POWDER COAT COLOUR: NORDIC LICHEN
RECYCLED PLASTIC LUMBER COLOUR: SAND
QUANTITY: 3
OR APPROVED EQUAL

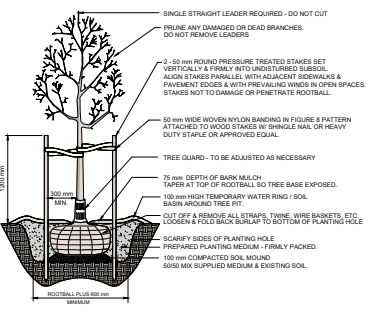
UNIT PAVER A
MODEL: CLASSIC STANDARD SERIES
PATTERN: HERRINGBONE
COLOUR: NATURAL
SIZE: 225 x 112.5 x 60mm
MANUFACTURER: ABBOTSFORD CONCRETE
CONTACT: WWW.PAVINGSTONES.COM



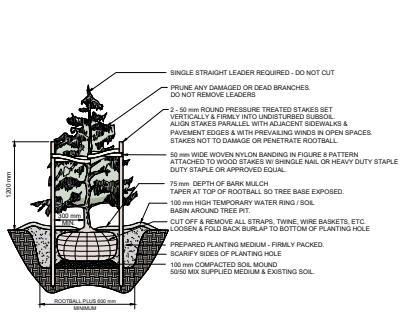
D4 STRUCTURAL SOIL N.T.S.



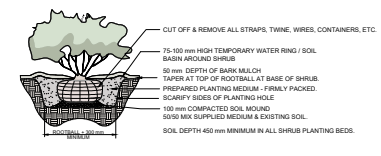
D5 UNIT PAVERS N.T.S.



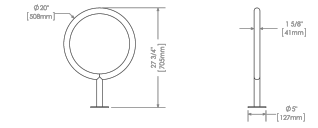
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



D6 BIKE RACK N.T.S.

MANUFACTURER: MAGLIN
MODEL: 100 SERIES MBR-100-50002
POWDERCOAT COLOUR: BLUE
QUANTITY: 4
OR APPROVED EQUAL

3	221109	ISSUED FOR DP
2	221027	ISSUED FOR DP COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SCALE		

NORTH ARROW

PROJECT NAME:
3048 ADVANTEX

PROJECT ADDRESS:
**3048 192ND ST
SURREY, BC**

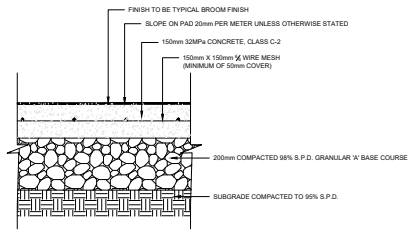
DETAILS

SCALE:	AS NOTED
DRAWN:	RMK
CHECKED:	JT
PROJECT NO.:	220177-L
DRAWING NO.:	

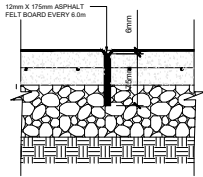
L2

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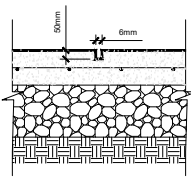
SAW CUT CONCRETE SPECIFICATIONS
PATTERN: SQUARE-CUT



EXPANSION JOINT DETAIL SECTION



SAW CUT DETAIL SECTION



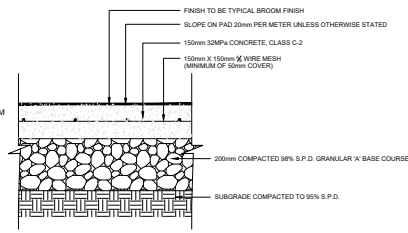
NOTES:

1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
3. EXPANSION JOINTS TO BE LOCATED AT INTERVALS OF 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
4. SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 0.6m.
5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
6. ALL DIMENSIONS ARE IN MILLIMETRES.

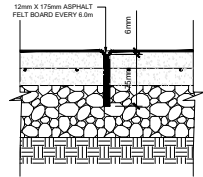
D7 SAW CUT CONCRETE

N.T.S.

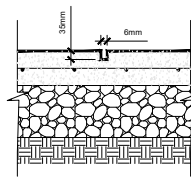
STAMPED CONCRETE SPECIFICATIONS
PATTERN: RUNNING BOND
INTEGRAL COLOUR: LIGHT GREY
ANTIQUUE RELEASE: SMOKEY BEIGE BRICKFORM
CONTACT: WWW.BRICKFORM.COM



EXPANSION JOINT DETAIL SECTION



CONTROL JOINT DETAIL SECTION



NOTES:

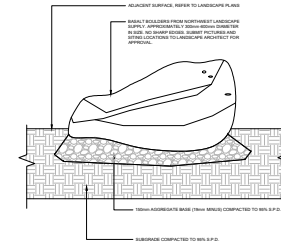
1. CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
2. CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
3. EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
4. CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDTH WALKWAY.
5. CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
6. ALL DIMENSIONS ARE IN MILLIMETRES.

D8 STAMPED CONCRETE

N.T.S.

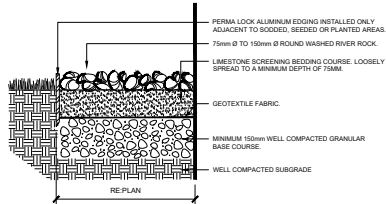
D9 BOULDER

N.T.S.



NOTES:

1. RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL.
2. RIVER ROCK SHALL BE PLACED OVER THE SCREENING COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.
3. RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES.



D10 RIVER ROCK

N.T.S.



ABBOTSFORD OFFICE
4301-3487T LAKEVIEW BLVD. ABBOTSFORD, BC V3G 2G9
T: 604-853-8631 F: 604-850-1680 www.krahn.com
VANCOUVER OFFICE
115-2600 METCAL WAY VANCOUVER, BC V5R 4Y3
T: 604-254-8892 F: 604-254-6266 www.krahn.com



3	201109	ISSUED FOR DP
1	201027	ISSUED FOR DP COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SEAL		

NORTH ARROW

PROJECT NAME

3048 ADVANTEX

PROJECT ADDRESS
**3048 192ND ST
SURREY, BC**

DRAWING TITLE

DETAILS

SCALE	AS NOTED
DRAWN	RMK
CHECKED	JT
PROJECT NO.	220177-4

DRAWING NO.

L2.1

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NOTES

GENERAL NOTES

1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
4. **TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
6. SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm
7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
9. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1.Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - 12.2.Maintenance and additional installation of mulch
 - 12.3.Weed removal
 - 12.4.Disease control

SODDING NOTES

1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBRIOUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASSUSE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
2. AREAS TO BE SODDED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
3. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
4. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
5. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
6. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
7. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

1. IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
5. USE POP-UP SPRINKLER HEADS.
6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

BIOSWALE SOIL SPECIFICATION

COARSE GRAVEL:	0-1%
ALL GRAVEL:	0-5%
SAND:	70-80%
Larger than 0.005mm	
Smaller than 2mm	5-15%
SILT:	
Larger than 0.002mm	
Smaller than 0.05mm	10-20%
CLAY:	
Smaller than 0.002mm	
CLAY AND SILT COMBINED:	MAX 25%
ORGANIC CONTENT (by weight):	15%
Organic not to be derived from food waste	
Acidity(pH):	6.0-6.5

BOULDER NOTES

BOULDERS bury average of 0.15-0.25m below surface, size at minimum:

- 00 L = LARGE AT 1m l. x 1m w. x 1m ht., 0.75m showing above surface, 2 tonne each
- 00 M = MEDIUM AT 0.75m l. x 0.75m w. x 0.75m ht., 0.6m showing above surface, 1.2 tonne each
- 00 S = SMALL AT 0.6m l. x 0.6m w. x 0.6m ht., 0.40-0.45m above surface, 0.8 tonne each

CONTRACTOR TO PROVIDE SAMPLE FOR CLIENT/PROJECT MANAGER APPROVAL BEFORE PURCHASING AND INSTALLING



ABBOTSFORD OFFICE
4301-3807T LAKEVIEW BLVD. ABBOTSFORD BC V3B 3Z9
T: 604.853.8631 F: 604.850.1680 www.krahn.com
VANCOUVER OFFICE
119-2600 VICTORIA WAY VANCOUVER BC V5R 4Y3
T: 604.254.8892 F: 604.254.6866 www.krahn.com



J	221109	ISSUED FOR DP
J	221927	ISSUED FOR DP COORDINATION
NO.	DATE (Y/M/D)	DESCRIPTION
ISSUES & REVISIONS		
SCALE		

NORTH ARROW

PROJECT NAME

3048 ADVANTEX

PROJECT ADDRESS

3048 192ND ST
SURREY, BC

DRAWING TITLE

NOTES

SCALE	AS NOTED
DRAWN	RMK
CHECKED	JT
PROJECT NO.	220177-L

DRAWING NO.

L3

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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **November 21, 2022** PROJECT FILE: **7818-0051-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3048 192 Street**

REZONE

Property and Right-of-Way Requirements

- Complete subdivision and road dedication under 7922-0279-00.
- Secure off-site road dedication or statutory right-of-way (SRW) for the storm main on 2999/3037 194 Street.
- Register 0.5 m wide SRW along all road frontages.

Works and Services

- Construct multi-use pathway on 192 Street.
- Construct the north side of 30 Avenue.
- Construct storm main on 192 Street, 30 Avenue and 2999/3037 194 Street.
- Construct sanitary main on 30 Avenue.
- Construct water main on 30 Avenue.
- Provide storm, sanitary, and water service connections.
- Construct on-site storm mitigation and water quality features.
- Register all applicable legal documents on title and secure necessary permits.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.



Jeff Pang, P.Eng.
Development Services Manager

DJS

Tree Preservation Summary

Surrey Project No:

Address: 3048 192 Street, Surrey, BC

Registered Arborist: Alex Groenewold

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	38
Protected Trees to be Removed	38
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{22} \times \text{one (1)} = 22$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{16} \times \text{two (2)} = 32$ 	54
Replacement Trees Proposed	35
Replacement Trees in Deficit	19
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	5
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $\underline{4} \times \text{one (1)} = 4$ - All other Trees Requiring 2 to 1 Replacement Ratio $\underline{1} \times \text{two (2)} = 1$ 	6
Replacement Trees Proposed	0
Replacement Trees in Deficit	6

Summary, report and plan prepared and submitted by:

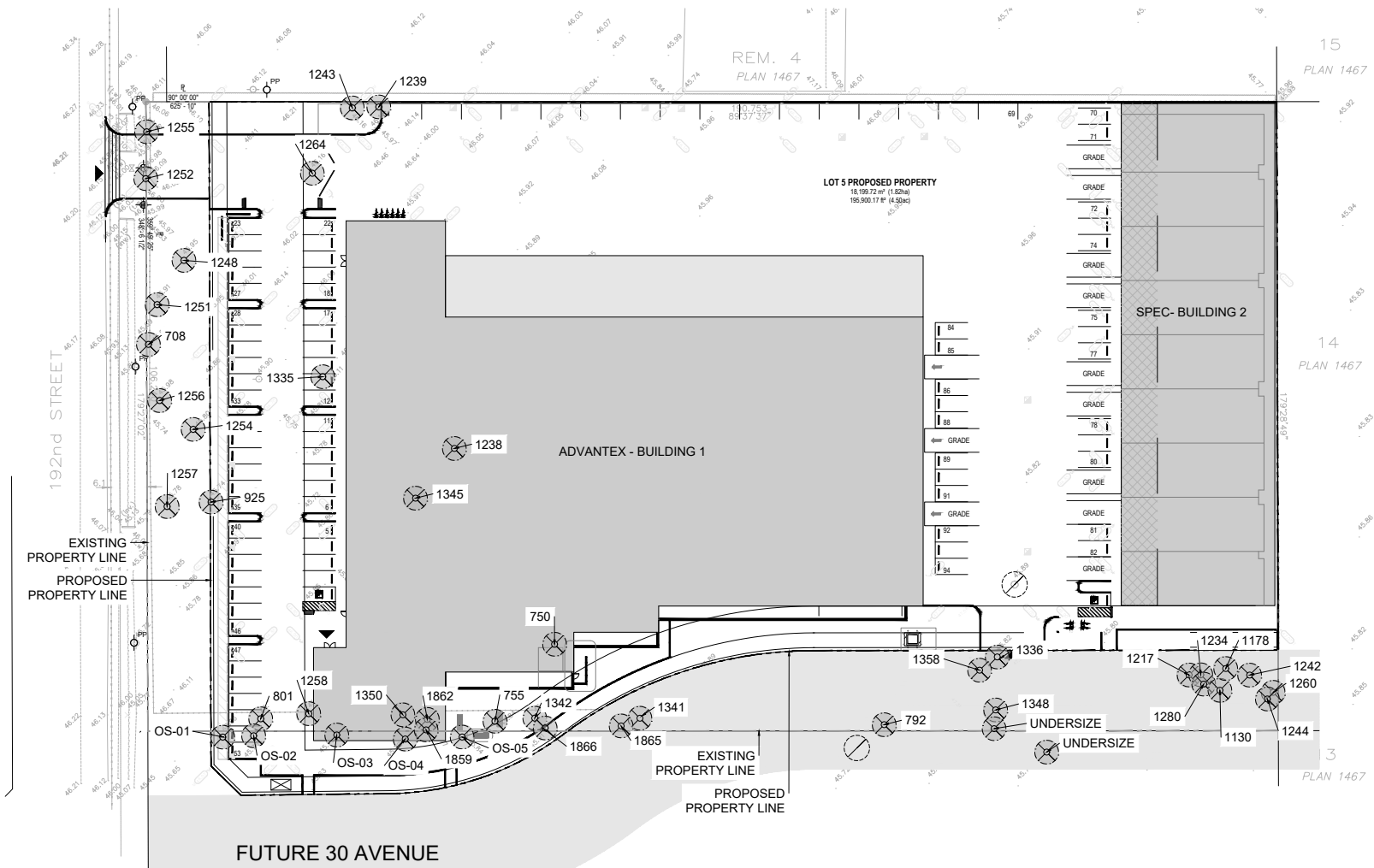


(Signature of Arborist)

October 17th, 2022

Date

Note: the trees have been split between on-site and off-site for calculation. The total number of replacement trees required is 60 trees, with 35 provided and a shortfall of 25 trees.



- LEGEND**
- EXISTING TREE PROPOSED FOR REMOVAL
 - EXISTING TREE TO BE RETAINED
 - SURVEYED TREE NOT VISIBLE ONSITE
 - TREE PROTECTION FENCING
 - TREE TAGNO.
 - CRITICAL ROOT ZONE (CRZ)
 - TREE PROTECTION ZONE (Larger of CRZ or Canopy Drip-line)

SEAL:
Assessment Done October 5th,
2022
By Alexander Groenewold
I.S.A. TRAQ



PROTECTING AND MANAGING TREES DURING CONSTRUCTION

- Upon receiving the necessary approvals and prior to the commencement of tree removals, all areas designated for preservation must be flagged in the field. All tree removals must be felled into the development area. The removals are to be completed outside of the migratory bird nesting season which is generally between mid-March to Mid-April. A Qualified Environmental Professional must provide a report indicating the presence or absence of bird nests for any permit submissions for tree removals during this time of the year.
- Upon completion of the tree removals, all felled trees are to be removed from the site, and all brush chipped and removed, unless otherwise directed by the Project Manager. No lumber or brush from the clearing is to be stored on the site.
- In the event that it become necessary to add tree protection zones to the site, the Consulting Arborist or project administrator is to be informed and the requisite reports, inventories and tree management plan is to be updated prior to any works around the affected areas.

PROJECT NAME:
220177-L ADVANTEK

PROJECT ADDRESS:
**3048 192 STREET
SURREY, BC**

DRAWING TITLE:
**TREE MANAGEMENT
PLAN**

SCALE: X:XXX AT ARCH C SIZE

DRAWN: AG

CHECKED: N/A

PROJECT NO: 220177-L

DRAWING NO:
T1

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow one (1) additional projecting sign for a total of two (2) for Building 1	A maximum of one (1) projecting sign is permitted for each premises (Part 5, Section 27(4)(a))	The proposed projecting sign will assist with wayfinding, and the signs are of an appropriate size and scale in relation to the proposed building

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0051-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 012-217-140

Lot 5 Section 22 Township 7 New Westminster District Plan 1467
3048 -192 Street

Parcel Identifier: 012-217-158

Lot 6 Section 22 Township 7 New Westminster District Plan 1467
2974 - 192 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection F. Yard and Setbacks, of Part 47B Business Park 2 Zone, the minimum rear yard setback (east) is reduced from 7.5 metres to 0.0 metres to the principal building face; and
 - (b) In Table D.1 of Part 5, Off-Street Parking and Loading/Unloading, the minimum number of required off-street parking spaces is reduced from 116 to 102.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



ABBOTSFORD • EDMONTON • VANCOUVER

1100 WEST 41ST AVENUE, ABBOTSFORD, BC, V2S 3P8
 TEL: 604.851.1111 FAX: 604.851.1112
 WWW.MALLGROUP.COM



NOTES:
 AREAS SHOWN ARE APPROXIMATE AND WILL BE REFERRED WHEN A MORE DETAILED ANALYSIS OF PROPOSED DESIRED SPACES IS COMPLETED.

PROJECT DATA
 CIVIC ADDRESS: 5048 192 STREET, SURREY, BC
 LEGAL ADDRESS: LOT 5 SECTION 22 TOWNSHIP 1 PLAN NWP #487 NWD MANUFACTURED HOME # 3862.
 ZONING: EXISTING: INTENSIVE AGRICULTURAL ZONE (A-2)
 PROPOSED: BUSINESS PARK ZONE (B-2)
 ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING:
 EXISTING: INTENSIVE AGRICULTURAL ZONE (A-2)
 PROPOSED: BUSINESS PARK ZONE (B-2)

2. SITE AREA:
 EXISTING: 218,008.97 SQ FT (20,253.7 SQ M)
 PROPOSED: 193,900.17 SQ FT (18,199.72 SQ M)

3. SITE COVERAGE:

BUILDING FOOTPRINT AREA CALCULATIONS

Name	PROP. SITE COVERAGE (%)	BLDG. COVERAGE AREA (SQ FT)	BLDG. AREA (SQ FT)	SITE AREA	MAX. SITE COVERAGE (%)	MAX. SITE COVERAGE (SQ FT)	MAX. SITE COVERAGE (SQ M)
BUILDING 1 - ADVANTEK	34.83%	68,227.34	8,191.64	199,600.17	60.00%	117,540.10	10,919.83
COVERED STORAGE	4.48%	8,487.89	882.39	199,600.17	60.00%	117,540.10	10,919.83
BUILDING 2 - LEASABLE	12.06%	23,630.00	2,195.30	199,600.17	60.00%	117,540.10	10,919.83
TOTAL LOT COVERAGE	51.74%	101,355.32	9,448.22				

4. GROSS BUILDING AREA AND FAR:

GROSS FLOOR AREA CALCULATIONS

BUILDING	OCCUPANCY	LEVEL	AREA (SQ FT)	AREA (SQ M)
BUILDING 1	SHOP	MAIN FLOOR	34,067.55	3,164.88
BUILDING 1	WAREHOUSE	MAIN FLOOR	24,374.94	2,264.51
BUILDING 1	PARTS	MAIN FLOOR	3,081.22	286.28
BUILDING 1	PARTS OFFICE	MAIN FLOOR	1,071.35	100.02
BUILDING 1	OFFICE	MAIN FLOOR	5,412.38	502.83
BUILDING 1	CARETAKER SUIT EN.	MAIN FLOOR	273.88	25.44
BUILDING 1	CARETAKER SUIT	SECOND FLOOR	1,001.03	93.00
BUILDING 1	MEZZANINE	SECOND FLOOR	5,972.39	554.85
BUILDING 1	OFFICE (GROUND FLOOR)	SECOND FLOOR	5,343.26	496.40
BUILDING 1	LEASABLE WAREHOUSE	MAIN FLOOR	23,630.00	2,195.30
BUILDING 2	OFFICE	MEZZANINE	7,566.99	702.99
GROSS FLOOR AREA			111,740.91	10,381.07

FAR CALCULATIONS

PROPOSED FAR	ALLOWABLE FAR
0.54	0.50

5. BUILDING HEIGHT:
 MAXIMUM HEIGHT: 45.00' (13.72 M)
 PROPOSED HEIGHT ADVANTEK: 37.17' (11.33 M)
 PROPOSED HEIGHT LEASABLE: 34.02' (10.36 M)

6. REQUIRED SETBACKS:

FRONT YARD (WEST):	PROPOSED SETBACK:	REQUIRED SETBACK:
52.00' (15.85 M)	24.82' (7.58 M)	0.00' (0.0 M)
24.82' (7.58 M)	0.00' (0.0 M)	0.00' (0.0 M)
0.00' (0.0 M)	0.00' (0.0 M)	0.00' (0.0 M)
0.00' (0.0 M)	0.00' (0.0 M)	0.00' (0.0 M)
24.82' (7.58 M)	24.82' (7.58 M)	24.82' (7.58 M)
24.82' (7.58 M)	24.82' (7.58 M)	24.82' (7.58 M)
24.82' (7.58 M)	0.00' (0.0 M)	VARIANCE REQUIRED
0.00' (0.0 M)	0.00' (0.0 M)	VARIANCE REQUIRED
19.69' (6.00 M)	19.69' (6.00 M)	19.69' (6.00 M)
19.69' (6.00 M)	19.69' (6.00 M)	19.69' (6.00 M)
19.69' (6.00 M)	19.69' (6.00 M)	VARIANCE REQUIRED

7. LANDSCAPING REQUIREMENTS:
 ALL DEVELOPED PORTIONS OF THE LOT NOT COVERED BY BUILDINGS OR PAVED AREAS IS LANDSCAPED. GARAGE CONTAINERS ARE SCREENED.

8. PARKING AND LOADING:

BUILDING	OCCUPANCY	LEVEL	AREA (SQ FT)	STALLS
BUILDING 1	SHOP	MAIN FLOOR	34,067.55	31.69
BUILDING 1	WAREHOUSE	MAIN FLOOR	24,374.94	22.67
BUILDING 1	PARTS	MAIN FLOOR	3,081.22	2.87
BUILDING 1	CARETAKER SUIT EN.	MAIN FLOOR	273.88	0.25
BUILDING 1	CARETAKER SUIT	SECOND FLOOR	1,001.03	0.93
BUILDING 1	MEZZANINE	SECOND FLOOR	5,972.39	5.56
BUILDING 1	OFFICE	SECOND FLOOR	66,771.02	63.97
BUILDING 2	LEASABLE WAREHOUSE	MAIN FLOOR	23,630.00	21.98
TOTAL STALLS				92,401.02

BUILDING	OCCUPANCY	LEVEL	AREA (SQ FT)	STALLS
BUILDING 1	OFFICE	MAIN FLOOR	5,412.39	12.89
BUILDING 2	OFFICE	MEZZANINE	7,566.99	17.60
TOTAL STALLS				30.48

TOTAL STALLS REQUIRED INCLUDING 1 REQUIRED ACCESSIBLE STALL: 116.26 (116)
 TOTAL STALLS PROVIDED INCLUDING 2 PROPOSED ACCESSIBLE STALLS: 102 (VARIANCE REQUIRED)

LOADING:
 ALL INDUSTRIAL BUILDINGS MUST PROVIDE AN OFF-STREET LOADING UNLOADING SPACE ADJACENT TO EACH OVERHEAD DOOR OR DOOR TO THE STREET, OR WHERE NO LOADING DOOR IS PROVIDED, ADJACENT TO A DOOR OUTSIDE THE BUILDING.

LOADING STALLS PROVIDED: 11 LOADING STALLS
 STANDARD LOADING STALL DIMENSIONS: 13'-0" (4.00 M) WIDE, 30'-0" (9.2 M) LONG

PARKING DIMENSIONS:

STALL DIMENSIONS:
 STANDARD STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG
 ACCESSIBLE STALL DIMENSIONS: 13'-0" (4 M) WIDE, 18'-0" (5.5 M) LONG
 TANDEN STALL DIMENSIONS: 8'-7" (2.6 M) WIDE, 22'-0" (6.7 M) LONG

DRIVE AISLE WIDTH: 22'-0" (7.00 M) AT 90°

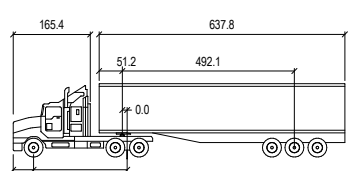
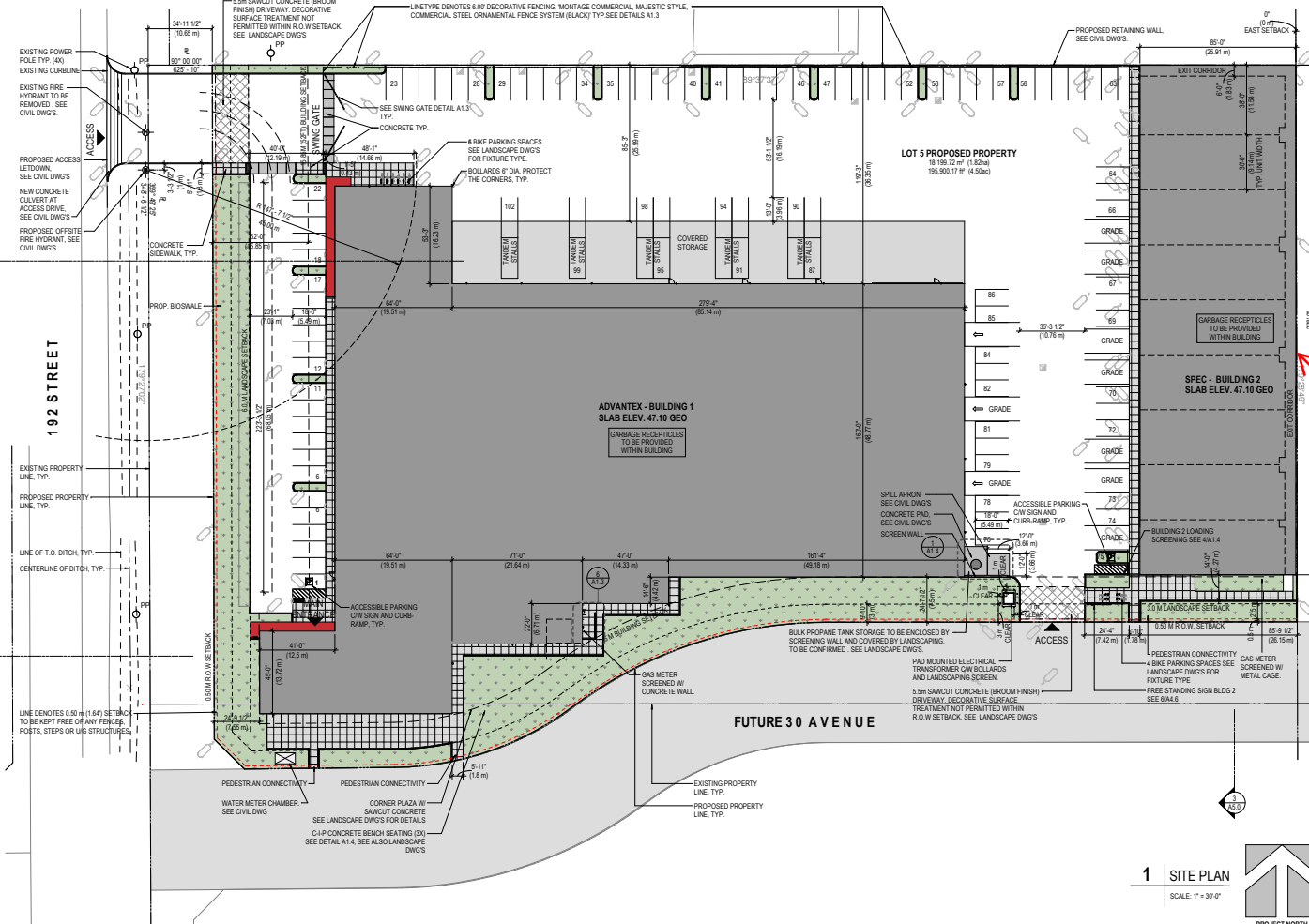
9. BICYCLE PARKING:
 INSERT OCCUPANCY: B-2 AND ANCILLARY OFFICE
 BICYCLE PARKING PROVIDED: 10 STALLS

minimum rear yard setback (east) is reduced from 7.5 metres to 0.0 metres

This drawing has been prepared solely for the use of ORION CONSTRUCTION LTD. and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose:

NO.	DATE	BY	DESCRIPTION
19	2022/11/21		ISSUED BY CITY COMMENTS
18	2022/11/09		RE-ISSUED TO DP
16	2022/10/20		ISSUED BY COORDINATION
15	2022/10/13		ISSUED FOR REVIEW
14	2022/09/04		ISSUED BY COORDINATION
12	2020/02/18		RE-ISSUED FOR DP
11	2020/01/03		DP SET FOR CLIENT REVIEW
10	2019/12/10		RESPONSE TO DP COMMENTS
9	2019/10/14		RE-ISSUED FOR DP
8	2018/12/20		ISSUED FOR CLIENT REVIEW
7	2018/12/10		ISSUED FOR CONSULT REVIEW

ISSUES AND REVISIONS



WB21

	inches		
Traction Width	102.4	Lock to Lock Time	6.0
Trailer Width	102.4	Steering Angle	26.6
Traction Track	102.4	Articulating Angle	70.0
Trailer Track	102.4		

3 TRUCK PROFILE
 SCALE: 1" = 10' - 0"

minimum number of required off-street parking spaces is reduced from 116 to 102

PROJECT NAME: ADVANTEK
 PROJECT ADDRESS: 5048 192ND ST SURREY, BC V3Z 9V2
 DRAWING TITLE: SITE PLAN
 SCALE: As indicated
 DRAWN: BW
 REVIEWED:
 PROJECT NO.: 170444
 DRAWING NO.: