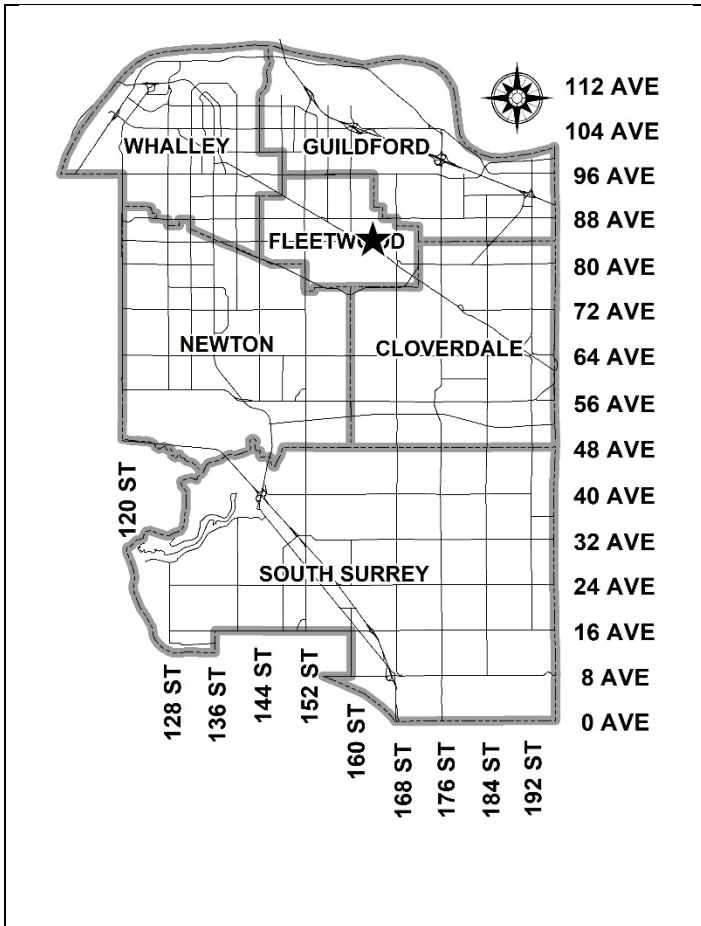


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0427-00

Planning Report Date: June 5, 2023



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **OCP Text Amendment** to allow a higher density in the Multiple Residential designation.
- **TCP Amendment** from “Townhouse” to “Low Rise”
- **Rezoning** from RF to CD (based on RM-45)
- **Development Permit**

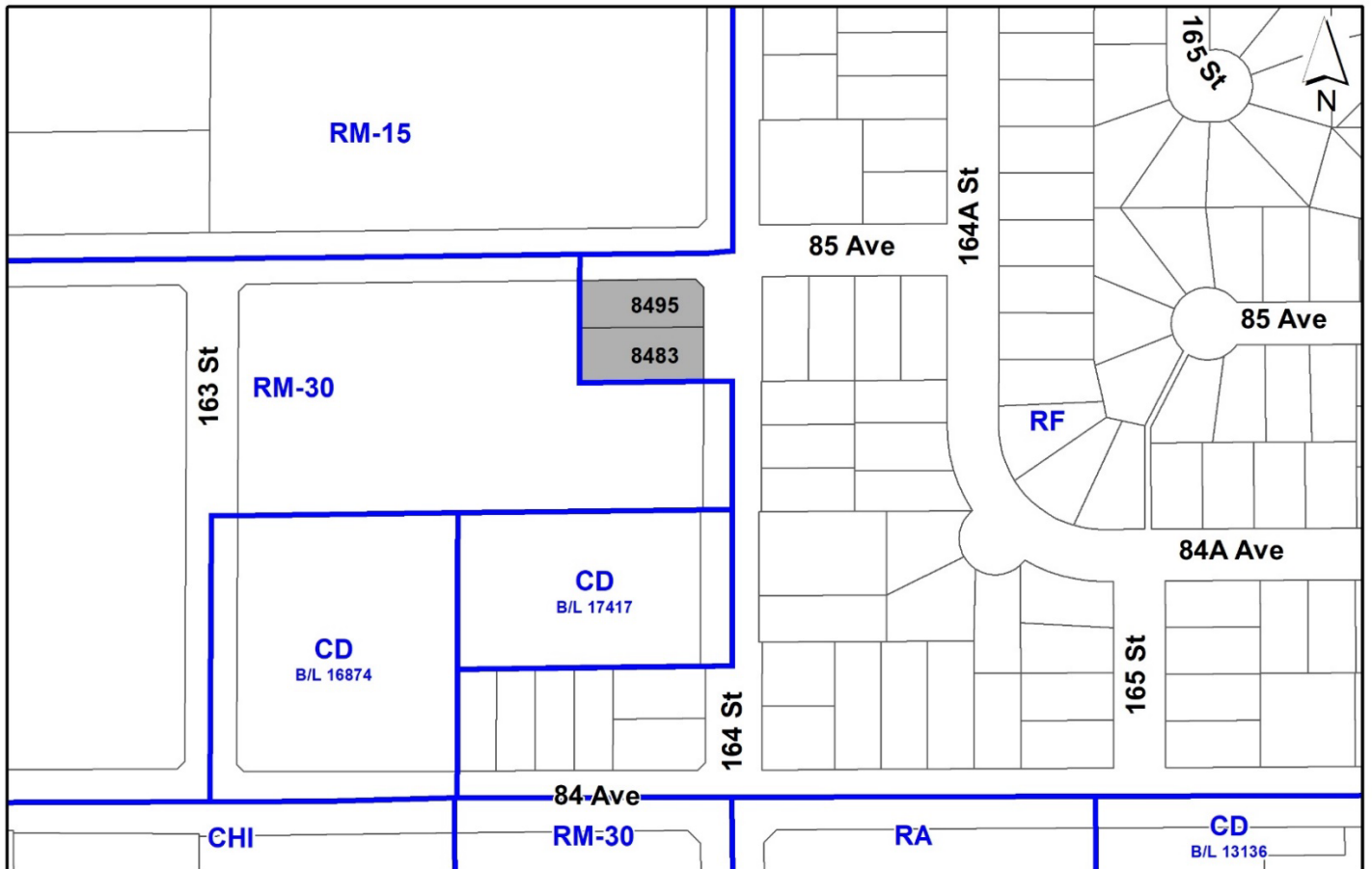
to permit the development of a 5-storey apartment building with 45 rental units.

LOCATION: 8495 – 164 Street
 8483 – 164 Street

ZONING: RF

OCP DESIGNATION: Urban

TCP DESIGNATION: Townhouse



RECOMMENDATION SUMMARY

- Council amend Rezoning Bylaw No. 20777 with the attached revisions (Appendix II) to adjust the floor area ratio (FAR), building height and setback provisions in the CD Bylaw;
- Council consider Third Reading of OCP Amendment Bylaw No. 20776; and
- Council consider Third Reading of Rezoning Bylaw No. 20777, as amended.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from "Urban" to "Multiple Residential" and to permit a maximum density of 1.88 floor area ratio (FAR) under the Multiple Residential designation.
- Proposed amendment to the Fleetwood Plan (Stage 1) from "Townhouse" to "Low Rise".

RATIONALE OF RECOMMENDATION

- At the October 3, 2022 Regular Council – Land Use meeting, Council granted First and Second Readings to the OCP Amendment Bylaw No. 20776 and Rezoning Bylaw No. 20777, and authorized staff to draft the Development Permit for Form and Character. At that time, the applicant was proposing a 5-storey apartment building, with 55 dwelling units, and a floor area ratio of 2.16.
- At the November 28, 2022 Regular Council – Public Hearing meeting, Council referred the application back to staff to work with the developer to address concerns raised at the Public Hearing (RES.R22-2195). Some of the concerns expressed at the Public Hearing were related to density, building height, traffic, parking, and the proposal not being consistent with the neighbourhood or the Fleetwood Town Centre Plan.
- In response to Council's direction, the applicant worked with their architect to explore modifications to the proposal. An in-person public information meeting (PIM) was held on Thursday, March 9, 2023 at the Fleetwood Community Centre (see PIM Section of this report for more details).
- In response to the community concerns, the applicant is proposing the following revisions to the project:
 - The gross floor area ratio (FAR) has been reduced from 2.16 to 1.83;
 - The number of dwelling units has been reduced from 55 to 45;
 - The building height has been reduced slightly and the 5th storey has been stepped back significantly and only includes indoor and outdoor amenity space. No dwelling units are proposed on the 5th floor; and
 - The applicant proposes all 45 dwelling units to be purpose-built rental, which will be secured through a Housing Agreement. The Housing Agreement will be forwarded to Council in the near future, before the project is considered for final adoption of the Rezoning.

-
- It is recommended that Council amend Rezoning By-law No. 20777 to incorporate the reduced density, reduced building height and modified setback parameters of the project, proposed by the applicant in response to the comments and concerns raised by the community through the Public Hearing and consultation process, and to consider Third Reading as amended. The corresponding OCP Amendment Bylaw No. 20776 would also therefore be in order for consideration of Third Reading.
 - Under Section 470 of the *Local Government Act*, Council may decrease the density of a bylaw without the requirement for an additional Public Hearing, with the owner's consent.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council consider Third Reading of OCP Amendment Bylaw No. 20776.
2. Council amend Rezoning Bylaw No. 20777 to incorporate the following revised provisions, as shown in Appendix II:
 - a) The maximum floor area ratio has been amended from 2.21 to 1.88;
 - b) The building height is reduced from 16 metres to 15.5 metres; and
 - c) Setback encroachments are permitted for decks, canopies and roof overhangs.
3. Council consider Third Reading of Rezoning Bylaw No. 20777 (Appendix II), as amended.
4. Council authorize staff to draft Development Permit No. 7917-0427-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) The applicant enter into a Housing Agreement with the City to secure the 45 dwelling units in the proposed 5-storey building to rental housing for a period of twenty (20 years); and
 - (b) All issues as outlined in the original Planning & Development Report for 7917-0427-00 and dated October 3, 2022.
6. Council pass a resolution to amend the Fleetwood Plan (Stage 1) to redesignate the subject site from "Townhouse" to "Low Rise" as illustrated in Appendix III when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	Fleetwood Plan Designation	Existing Zone
Subject Site	Single family residential	Townhouse	RF
North (Across 85 Avenue):	Townhouses	Townhouse	RM-15
East (Across 164 Street):	Single family residential	Townhouse	RF
South:	Townhouses	Townhouse	RM-30
West:	Townhouses	Townhouse	RM-30

Context & Background

- A Planning Report for Development Application No. 7917-0427-00 was forwarded to Council for consideration at the October 3, 2022 Council meeting (Appendix IV). At that time, the applicant was proposing a 5-storey apartment building, with 55 dwelling units, and a floor area ratio of 2.16. The proposed OCP Amendment Bylaw and Rezoning Bylaw associated with the subject development application received First and Second Readings at that meeting.
- At the November 28, 2022 Regular Council – Public Hearing meeting, Council referred the application back to staff to work with the developer (RES.R22-2195) to address concerns raised at the Public Hearing. Some of the concerns expressed at the Public Hearing include density, building height, traffic, parking, and the proposal being inconsistent with the neighbourhood or the Fleetwood Town Centre Plan.

ADDITIONAL PUBLIC ENGAGEMENT

- Since the Public Hearing on November 14, 2022, the applicant has worked with their architect to explore opportunities to revise the proposal.
- An in-person public information meeting (PIM) was held on March 9, 2023. The applicant has provided a summary of the PIM, and it is outlined in the next section.

Public Information Meeting

- A public information meeting (PIM) was held on Thursday, March 9, 2023 from 5:30 PM to 7:30 PM at the Fleetwood Community Centre.
- The applicant, as well as their Engineering consultant and architect, were in attendance. A representative from the City's Area Planning Section was also present at the meeting.
- A total of 17 people attended the PIM, including a representative from the Fleetwood Community Association (FCA).
- The applicants presented their updated proposal with display boards, and responded to any questions from the attendees.
- A total of nine (9) comment sheets were completed and returned to the applicant. Here is a breakdown of where the respondents lived / own property in relation to the subject site:
 - Three (3) respondents live or own property close to the subject site. One of these respondents is the owner of one of subject properties (8483 – 164 Street), while the other two are co-owners of a single property about 10 blocks away.
 - The remaining six (6) respondents indicate property addresses between 850 metres and 3 kilometres away from the subject site.
- Of the nine comment sheets received, only one did not support the proposal. This respondent's concerns include:
 - Too many units for the site;
 - The project should comply with the OCP and Fleetwood Plan; and

- The project should be constructed on a site that is designated for an apartment, and not the subject site which is designated for townhouses.
- Of those respondents that were in support of the proposal, the following comments were noted:
 - High density is needed in Surrey;
 - Development fits the neighbourhood;
 - Good access to the future SkyTrain; and
 - Affordable, rental units are needed.
- A representative of the Fleetwood Community Association (FCA) followed up after the PIM to express the FCA's concern that the proposed building type and height does not fit in with the neighbourhood, and that the project should comply with the Stage 1 Fleetwood Town Centre Plan ('Townhouse' designation).

MODIFICATION TO PROPOSAL

- Based on Council Resolution R22-2195 and a request to respond to concerns expressed at the November 28, 2022 Regular Council – Public Hearing meeting, the applicant has submitted a revised proposal for consideration (Appendix I).
- The applicant has made the following revisions to the proposed development:
 - A gross density decrease from 2.16 FAR to 1.83 FAR (or 2.22 to 1.88 net FAR);
 - A reduction in the number of proposed dwelling units from 55 to 45;
 - The proposed building is still 5 storeys but has been reduced slightly in overall height. The 5th storey in the current proposal is stepped back significantly and only includes indoor and outdoor amenity space. No dwelling units are proposed on the 5th floor; and
 - All 45 proposed dwelling units to be purpose-built rental. These units will be secured through a Housing Agreement, which will be forwarded to Council in the near future before the project is considered for final adoption of the Rezoning By-law.
- The following comments/responses have been provided by the applicant with respect to the updated proposal:
 - *Only the indoor and outdoor amenity spaces are located on the 5th floor. The indoor amenity has been strategically located on the 5th floor to minimize the visual impact from the roads below. The outdoor amenity on the 5th floor is in addition to the outdoor amenity being provided on the ground floor and will be contiguous with the indoor amenity space at the 5th floor level.*
 - *The Fleetwood Town Centre Plan permits 4-storey stacked townhouses with underground parking.*
 - *The applicant is proposing 100% of the units for rental housing. Due to the site context in general and availability of public transit nearby, a rental housing building is best suited in the area.*

- *The site is within walking distance to Frost Road Elementary School, Surrey Sports & Leisure Complex, rapid transit service along Fraser Highway and the SkyTrain Station proposed at 160 Street and at 166 Street along Fraser Highway. All of these are about a kilometre or so from the subject site, and therefore the site should be considered for higher density.*
- *A Public Information Meeting was held on March 09, 2023 for the current proposal, and with the limited number of neighbours who attended the meeting along with the supporting comments received, the applicant believes that there are more neighbours who are supportive of the application. The public information meeting was held in order to introduce the revised proposal to the neighborhood, and in general the response received was positive.*
- *The massing of the building is revisited and is now proposed as a 4-storey structure (5th storey is only for indoor amenity space), keeping in mind that there are 3-storey townhouses with high-pitched roofs in the immediate vicinity. The resulting height is in harmony with these existing 3-storey townhouses. The proposed building is planning for the future and not just for the present.*
- *More than 5% of the units as adaptable, based on the feedback received on the initial submission.*
- The proposed development of a 5-storey rental apartment building with 45 rental units requires the following:
 - OCP Amendment from "Urban" to "Multiple Residential";
 - OCP Text Amendment to permit a revised maximum density of 1.83 FAR (gross density) in the Multiple Residential designation;
 - Fleetwood Plan Amendment from "Townhouse" to "Low Rise";
 - Rezoning from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on the Multiple Residential 45 Zone (RM-45));
 - Development Permit for Form and Character; and
 - Subdivision / consolidation from two (2) lots into (1) lot for development.

Housing Agreement

- A Housing Agreement, which will be forwarded to Council for consideration in the near future before the project is considered for final adoption of the Rezoning By-law, will regulate the 45 dwelling units in the proposed 5-storey apartment building.
- Section 483 of the *Local Government Act* authorizes Local Governments to enter into Housing Agreements for affordable and special needs housing.
- Typically, Housing Agreements include the terms and conditions agreed to by the Local Government and the owner regarding:
 - the form of tenure of the housing units;

- the occupancy of the housing units identified in the agreement (including their form of tenure and their availability to the classes of persons identified in the agreement);
 - the administration of the units (including the means by which the units will be made available to intended occupants); and
 - the rents and lease prices of units that may be charged and the rates at which these can be increased over time.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.

UPDATED DEVELOPMENT PROPOSAL

- The updated details of the development proposal are provided below:

	Proposed
Lot Area	
Gross Site Area:	1,845 sq.m.
Road Dedication:	44 sq.m.
Net Site Area:	1,801 sq.m.
Number of Lots:	1
Building Height:	15.1 m (15.5 m noted in the CD Bylaw)
Floor Area Ratio (FAR):	1.83 FAR (gross), 1.88 FAR (net)
Floor Area	
Residential:	3,382 sq. m
Commercial:	N/A
Total:	3,382 sq. m
Residential Units:	
1-Bedroom:	18
1-Bedroom + Den:	9
2-Bedroom:	12
2-Bedroom + Den:	3
3-Bedroom:	3
Total:	45

- The CD Bylaw (No. 20777) currently species a maximum floor area ratio of 2.21 (net), and the amendment proposes to reduce this maximum floor area ratio to 1.88.
- The maximum permitted height of the building is reduced slightly from 16 metres to 15.5 metres in the CD Bylaw. Although the building height is 15.1 metres, the additional allowance is to permit the elevator shaft and possible building mechanicals that may extend beyond 15.1 metres.
- All of the required building setbacks remain the same. The exception now is that there are some additional encroachment allowances for decks, canopies and roof overhangs within the required building setbacks. Most of these encroachments were shown in the original proposal, but were not accounted for in the original CD Bylaw.

- All other aspects of the revised proposal comply with the provisions permitted under the original CD Bylaw No. 20777.
- The changes to the Rezoning Bylaw do not impact the proposed OCP Amendment Bylaw (No. 20776).
- It is recommended that Council amend Rezoning By-law No. 20777 to incorporate the reduced density, building height reduction and modified setback parameters of the project. These changes are proposed by the applicant in response to the comments and concerns raised by the community at the original Public Hearing. Council may then consider Third Reading of Rezoning By-law No. 20777, as amended. The corresponding OCP Amendment Bylaw No. 20776 would also then be in order for consideration of Third Reading.
- Under Section 470 of the Local Government Act, Council may decrease the density of a bylaw without the requirement for a Public Hearing, with the owner's consent (provided).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Amended CD Bylaw No. 20777
Appendix III.	TCP Redesignation Map
Appendix IV.	Initial Planning & Development Report No. 7917-0427-00, dated October 3, 2022.

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

DN/ar



PROJECT TEAM

CLIENT:
8483, 8495 164 STREET
SURREY B.C.

ARCHITECTURAL:
FLAT ARCHITECTURE INC.
6321 KING GEORGE BLVD.
SURREY, BC. V3X 1G1
CONTACT: JASWINDER SINGH
GABRI
T : 604 593 2141
jaswinder@flatarchitecture.ca

LANDSCAPE ARCHITECT:
**PMG Landscape Architects
Ltd.**
C100 4185 Still Creek Dr.
Burnaby, BC V5C6G9
CONTACT: Caelan L. Griffiths
T : 604-294-0011 ext. 116

**8483, 8495 164TH STREET
SURREY BC**



EXISTING RESIDENCES



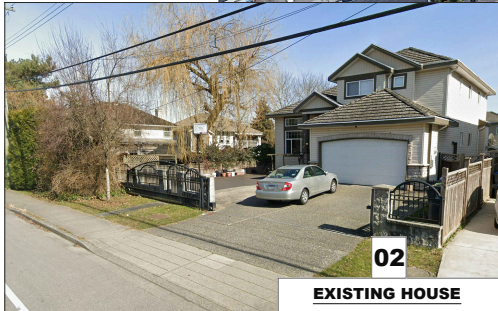
SUBJECT SITE



EXISTING TOWNHOUSES



EXISTING MULTIFAMILY



EXISTING HOUSE



EXISTING TOWNHOUSES

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



ADP 0.3

CONTEXT
PLAN

MAY 23, 2023

PROJECT RECONCILIATION				
CIVIC ADDRESS:		8483,8495 164 ST. SURREY,BC		
LOT AREA				
GROSS AREA	1,845.68 SQM	19867.88 SQFT		
DEDICATION	44.03 SQM	474 SQFT		
NET	1,801.65 SQM	19393.88 SQFT		
ZONING				
CURRENT	RF			
PROPOSED	CD			
SETBACKS				
	TO BALCONY	TO ROOF PROJECTIONS	TO BUILDING FACE (FT.)	TO BUILDING FACE (M.)
NORTH	3.19 M	3.56 M	14.79'	4.51 M.
SOUTH	4.4 M	3.94 M	14.76'	4.50 M.
EAST:	3.48 M	3.89 M	14.75'	4.50 M.
WEST:	6.03 M	5.57 M	19.67'	6.00 M.
HEIGHT 15.09 M.				
STOREYS 4-STOREYS				
SITE COVERAGE (NET)		920.10 SQM	1801.65	51.07%
F.A.R CALCULATIONS		9,904.00 Sq.Ft. / 19,393.88 Sq.Ft.		
FAR ALLOWED				
FAR PROPOSED(GROSS)	1.83			
FAR PROPOSED(NET)	1.88			
FLOOR AREA (EXCLUDING PARKING)				
LEVELS		RESIDENTIAL (GROSS)		
1	803.23 8,646.00 Sq.Ft.			
2	859.61 9,252.87 Sq.Ft.			
3	859.61 9,252.87 Sq.Ft.			
4	859.61 9,252.87 Sq.Ft.			
		3382.07 36,404.61 Sq.Ft.		
INDOOR AMENITY:		SQ.M.	SQ.FT.	OUTDOOR AMENITY:
REQUIRED	135	1453.14	155	REQUIRED 135 SQM
PROPOSED	142.5120773	1534		PROPOSED 280.2 SQM
UNIT COUNT:		APARTMENT UNITS=45		
	1 BED-RM.	18 UNITS		
	1BED+DEN	9 UNITS		
	2 BED-RM.	12 UNITS		
	2BED RM + DEN	3 UNITS		
	3 BED-RM.	3 UNITS		
		45 UNITS		
BIKE- PARKINGS		REQUIRED		PROVIDED
		4		6
OFF STREET PARKING		REQUIRED		PROVIDED
		6 VISITOR		71
REQUIRED:		REQUIRED		PROVIDED
RATIO		REQUIRED		PROVIDED
2 BED + 3BED	1	18	18	
1 BED	1	27	27	
VISITORS	0.1	45	5	
			50	
			50	51
TOTAL ACCESSIBLE PARKINGS :				
REQUIRED:		Provided		
2 (50% AT LEAST 1 VAN ACCESSIBLE)		Accessible		1 SPACE
		Van-Accessible		1 SPACE



APARTMENT UNIT AREAS									
TYPE	BED RMS.	NOS.	LVL 1	LVL 2	LVL 3	LVL 4	AREA / UNIT		TOTAL AREA
A	1 BED -RM	18	6	4	4	4	554.00 Sq.Ft.	51.47 Sq.Mt.	9,972.00 Sq.Ft.
A1	1 BED RM + DEN	3	0	1	1	1	657.00 Sq.Ft.	61.04 Sq.Mt.	1,971.00 Sq.Ft.
A2	2 BED -RM + DEN	3	0	1	1	1	796.30 Sq.Ft.	73.98 Sq.Mt.	2,388.90 Sq.Ft.
B	2 BED-RM	4	1	1	1	1	787.00 Sq.Ft.	73.11 Sq.Mt.	3,148.00 Sq.Ft.
B1	2 BED -RM	3	0	1	1	1	763.00 Sq.Ft.	70.88 Sq.Mt.	2,289.00 Sq.Ft.
B2	1 BED -RM +DEN	3	0	1	1	1	661.00 Sq.Ft.	61.41 Sq.Mt.	1,983.00 Sq.Ft.
B4	2 BED -RM	1	1	0	0	0	902.00 Sq.Ft.	83.80 Sq.Mt.	902.00 Sq.Ft.
C	2 BED -RM	1	1	0	0	0	701.00 Sq.Ft.	65.12 Sq.Mt.	701.00 Sq.Ft.
C1	2 BED -RM	3	0	1	1	1	656.00 Sq.Ft.	60.94 Sq.Mt.	1,968.00 Sq.Ft.
CZ	3 BED -RM	3	0	1	1	1	1,115.00 Sq.Ft.	103.59 Sq.Mt.	3,345.00 Sq.Ft.
D	1 BED -RM + DEN	3	0	1	1	1	557.79 Sq.Ft.	51.82 Sq.Mt.	1,673.37 Sq.Ft.
TOTAL		45 UNITS	9	12	12	12			30,341.27 Sq.Ft.
	1 BED-RM.	18 UNITS							9,972.00 Sq.Ft.
	1BED+DEN	9 UNITS							1,971.00 Sq.Ft.
	2 BED-RM.	12 UNITS							3,148.00 Sq.Ft.
	2BED RM + DEN	3 UNITS							2,289.00 Sq.Ft.
	3 BED-RM.	3 UNITS							3,345.00 Sq.Ft.
		45 UNITS							2,818.77 Sq.Mt.

45 UNITS MULTI FAMILY DEVELOPMENT

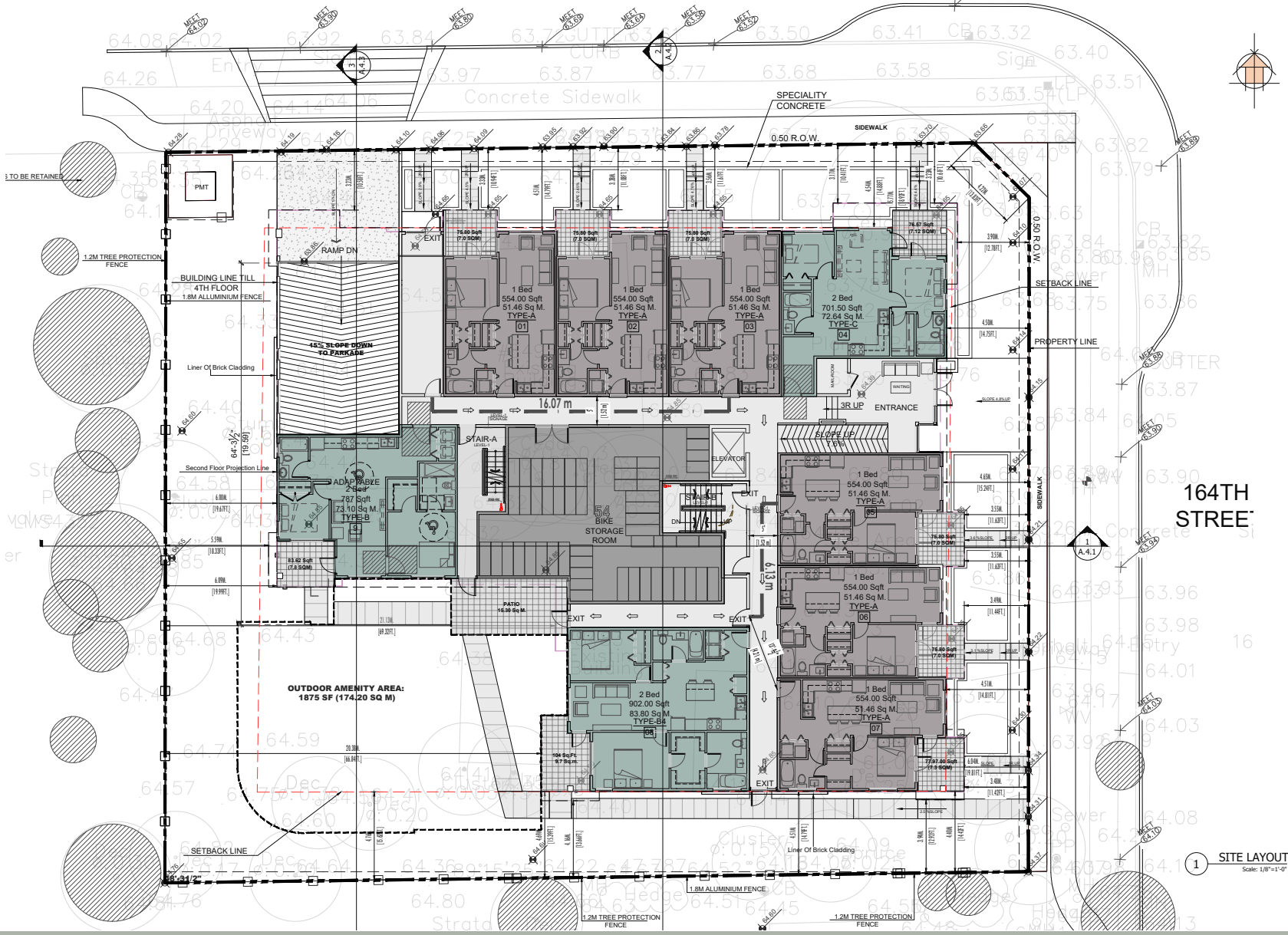
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A 0.6

PROJECT DATA

MAY 23, 2023



164TH STREET

1 SITE LAYOUT
Scale: 1/8"=1'-0"

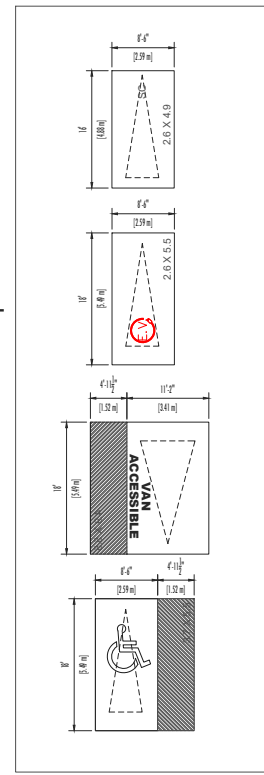
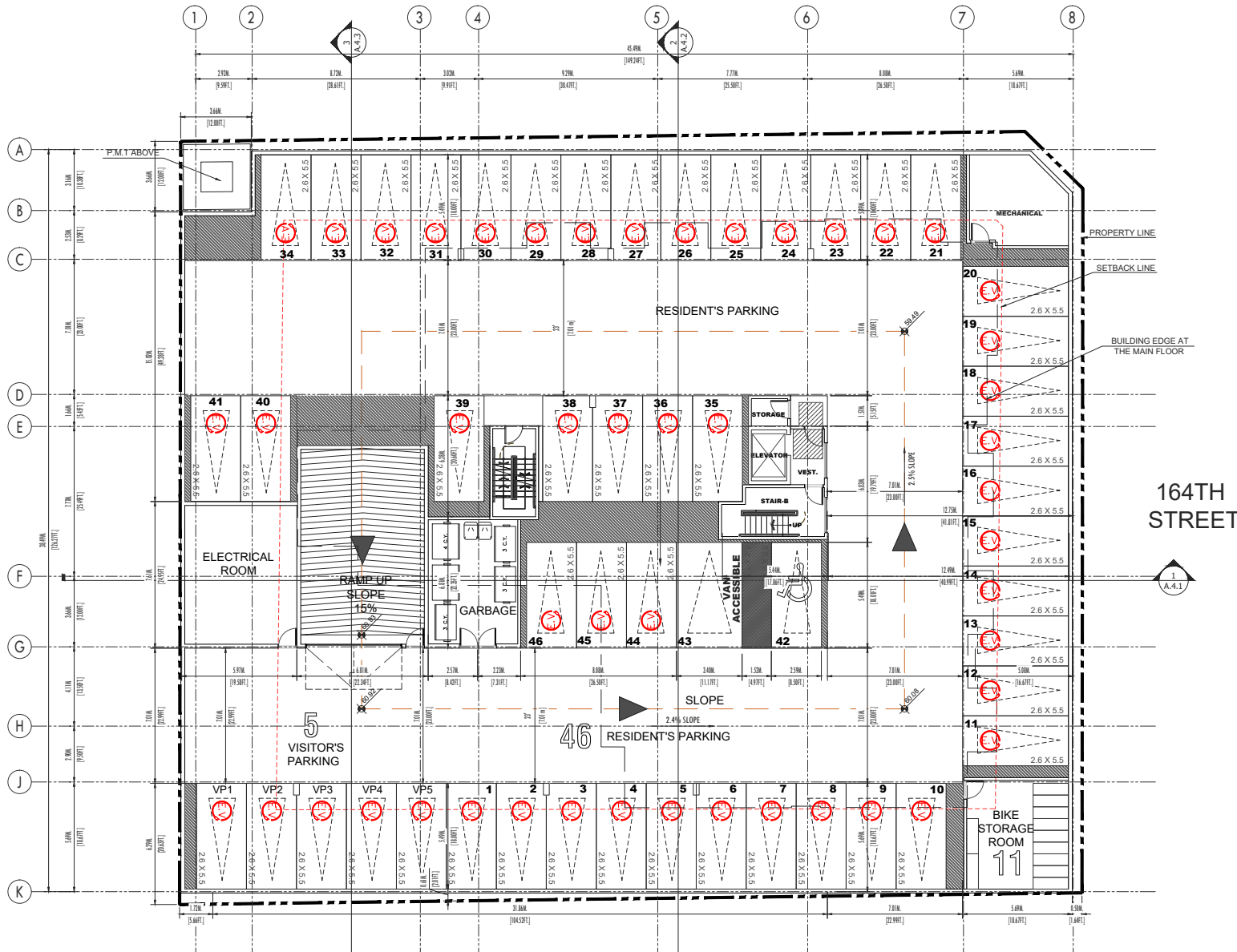
45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A 1.1 SITE-LAYOUT

85TH AVENUE



1 PARKADE LVL-1
Scale: 1/8" = 1'-0"

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC

ADP 2.0

PARKADE LVL-1





BIKE LOCKERS (FRONT)

1
EAST STAIR

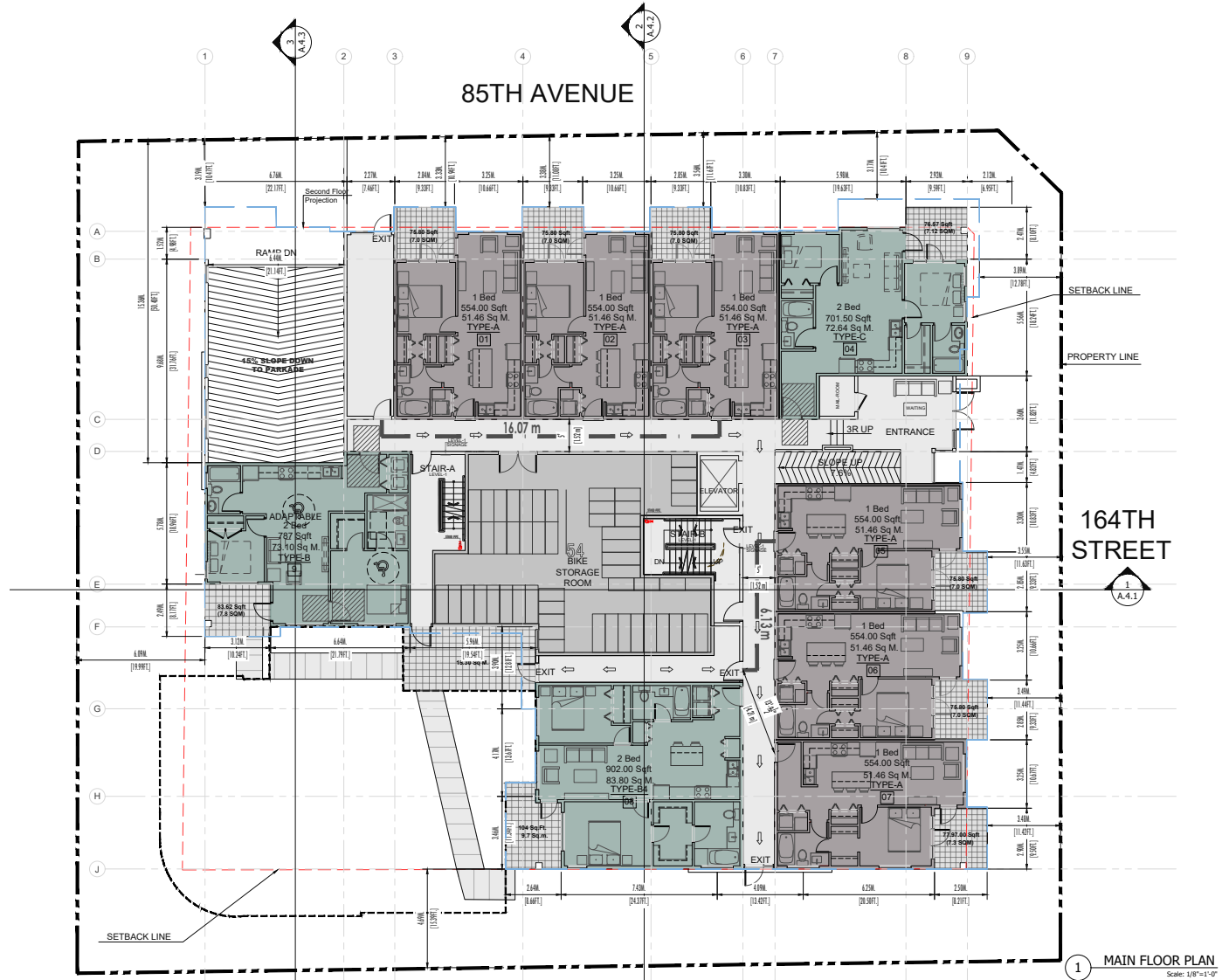
FOR STAIR-B

1
NORTH STAIR

FOR STAIR-A

- 1 BED (66.6%) - UNIT 1,2,3,5,6 & 7 = 6
- 2 BED (33.3%) - UNIT 4, 8 & 9 (4 & 9 ADAPTABLE) = 2
- 3 BED (0%)
- 1 BED + DEN (0%)
- 2 BED + DEN (0%)

TOTAL UNITS = 9 UNITS



45 UNITS MULTI FAMILY DEVELOPMENT

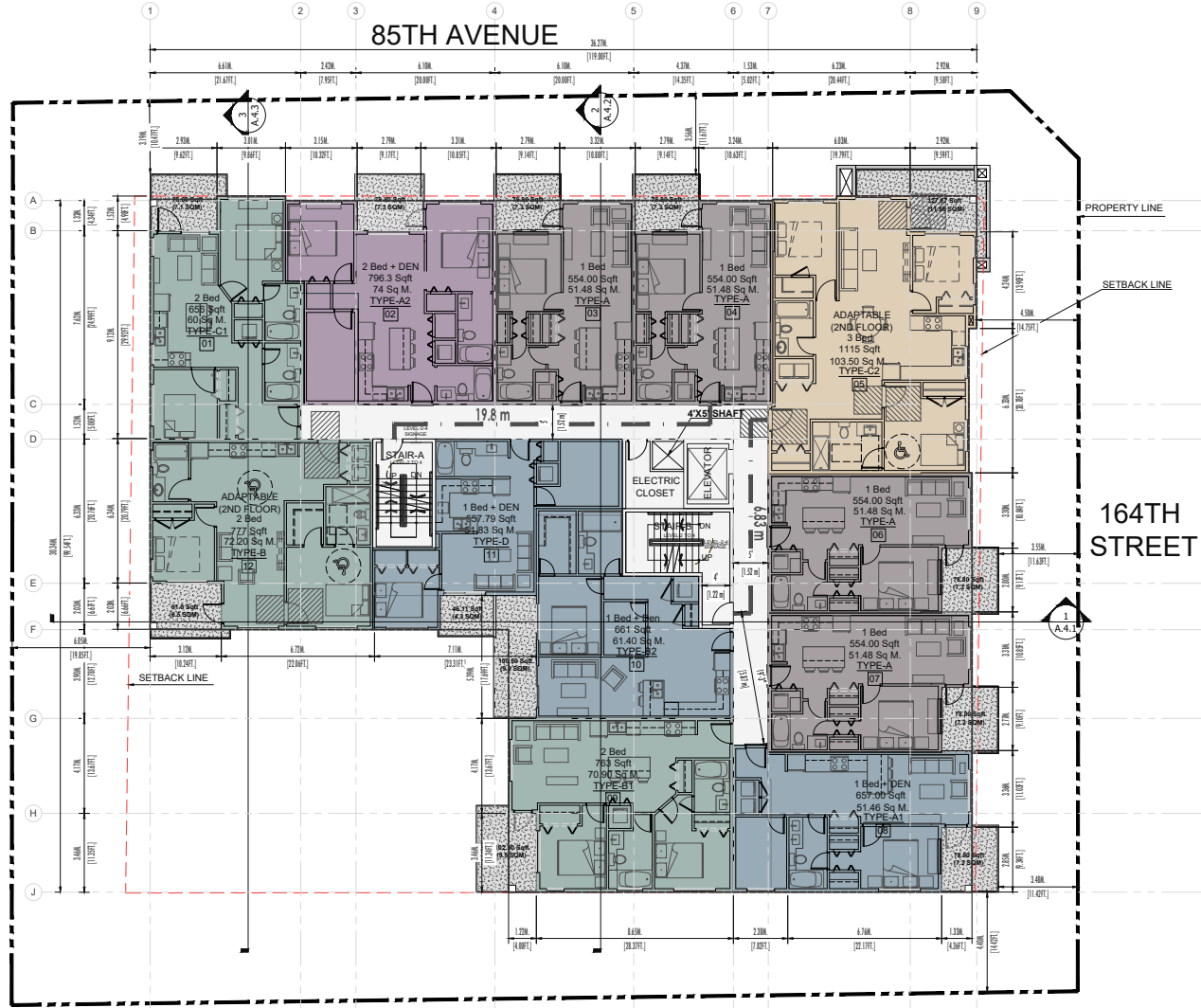
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A 2.1

MAIN FLOOR PLAN

MAY 23, 2023



	1 BED (33.33%)- UNIT 3,4,6&7	=4
	2 BED (25%) - UNIT 1,9 & 12 (# 12 ADAPTABLE)	=3
	3 BED (8.33%)-UNIT 5 (#5 ADAPTABLE)	=1
	1 BED + DEN (25%) -UNIT 8,10 & 11	=3
	2 BED + DEN (8.33%)-UNIT 2	=1
TOTAL UNITS = 12 UNITS		

2
EAST STAIR FOR STAIR-B

2
NORTH STAIR FOR STAIR-A

NOTE: 2 WILL BE REPLACED WITH 3 & 4 FOR 3RD AND 4TH LEVELS.

1 2ND TO 4TH FLOOR PLANS
Scale: 1/8"=1'-0"

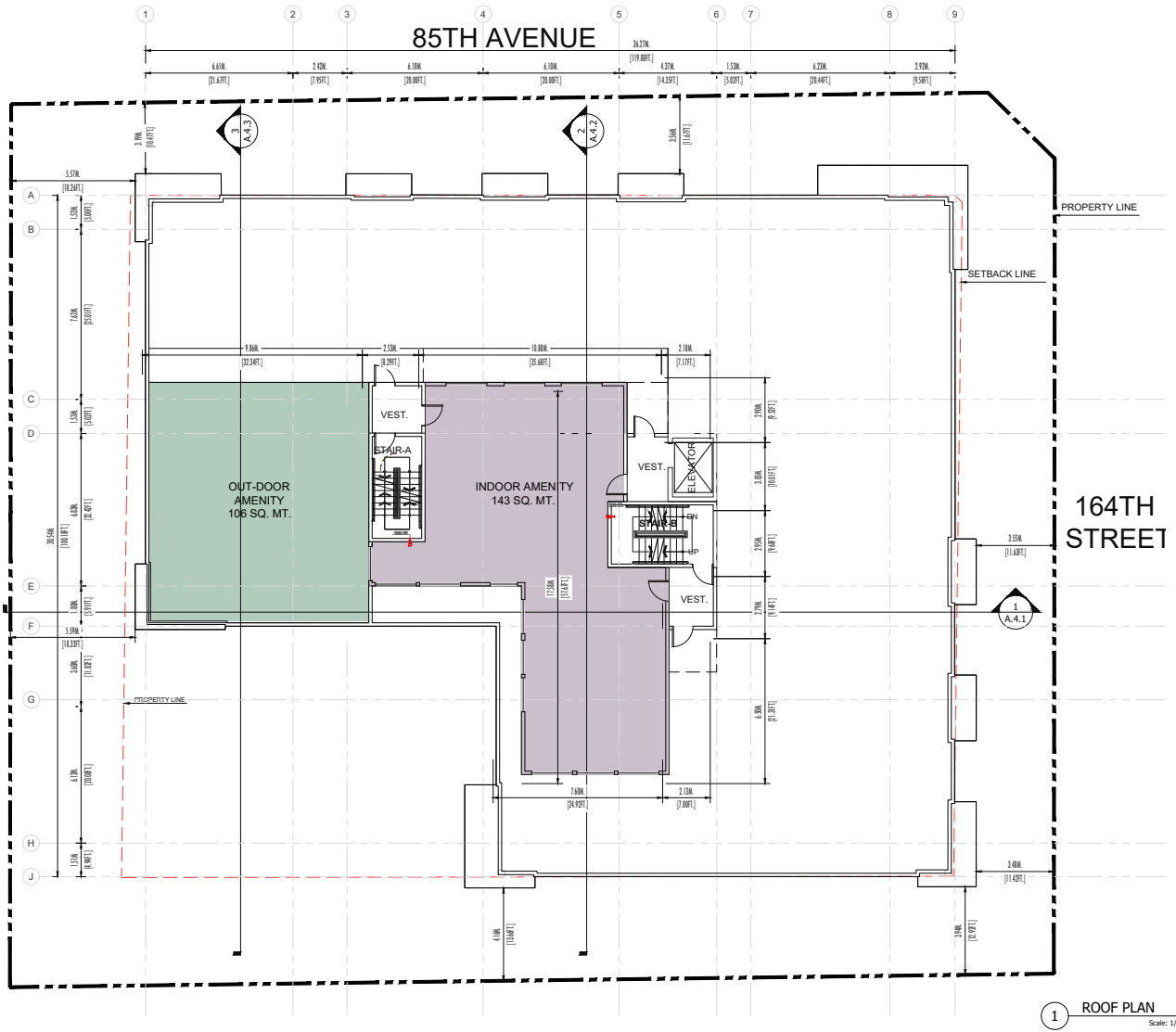
45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.2.2

2ND TO 4TH FLOOR PLANS



1 ROOF PLAN
Scale: 1/8"=1'-0"

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A 2.3

ROOF PLAN

MAY 23, 2023



1 NORTH ELEVATION (85TH AVENUE)
Scale: 1/8"=1'-0"

MATERIAL LEGEND	
1	IRONSIDE TUNDRA BRICK
2	FIBER CEMENT BOARD PANELS (OFF WHITE)
3	6" FIBER CEMENT BOARD HORIZONTAL SIDING (WHITE)
4	FIBER CEMENT BOARD PANELS (LAMP ROOM GRAY)
5	FIBER CEMENT BOARD PANELS (TRICORN BLACK)
6	FACIA (TO MATCH WITH TRICORN BLACK)
7	FACIA (TO MATCH WITH OFF-WHITE)
8	VINTAGEE - WOOD- CEDAR LONGBOARD METAL
9	GLASS RAILING
10	WOOD SOFIT



2 EAST ELEVATION (164TH STREET)
Scale: 1/8"=1'-0"

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



ADP 3.1

ELEVATIONS

MAY 23, 2023



1 SOUTH ELEVATION
Scale: 1/8"=1'-0"

MATERIAL LEGEND	
1	IRONSIDE TUNDRA BRICK
2	FIBER CEMENT BOARD PANELS (OFF WHITE)
3	6" FIBER CEMENT BOARD HORIZONTAL SIDING (WHITE)
4	FIBER CEMENT BOARD PANELS (LAMP ROOM GRAY)
5	FIBER CEMENT BOARD PANELS (TRICORN BLACK)
6	FACIA (TO MATCH WITH TRICORN BLACK)
7	FACIA (TO MATCH WITH OFF-WHITE)
8	VINTAGEE - WOOD- CEDAR LONGBOARD METAL
9	GLASS RAILING
10	WOOD SOFIT



2 WEST ELEVATION
Scale: 1/8"=1'-0"

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



ADP 3.2

ELEVATIONS

MAY 23, 2023



① VIEW ALONG 85TH AVENUE



② MAIN ENTRANCE

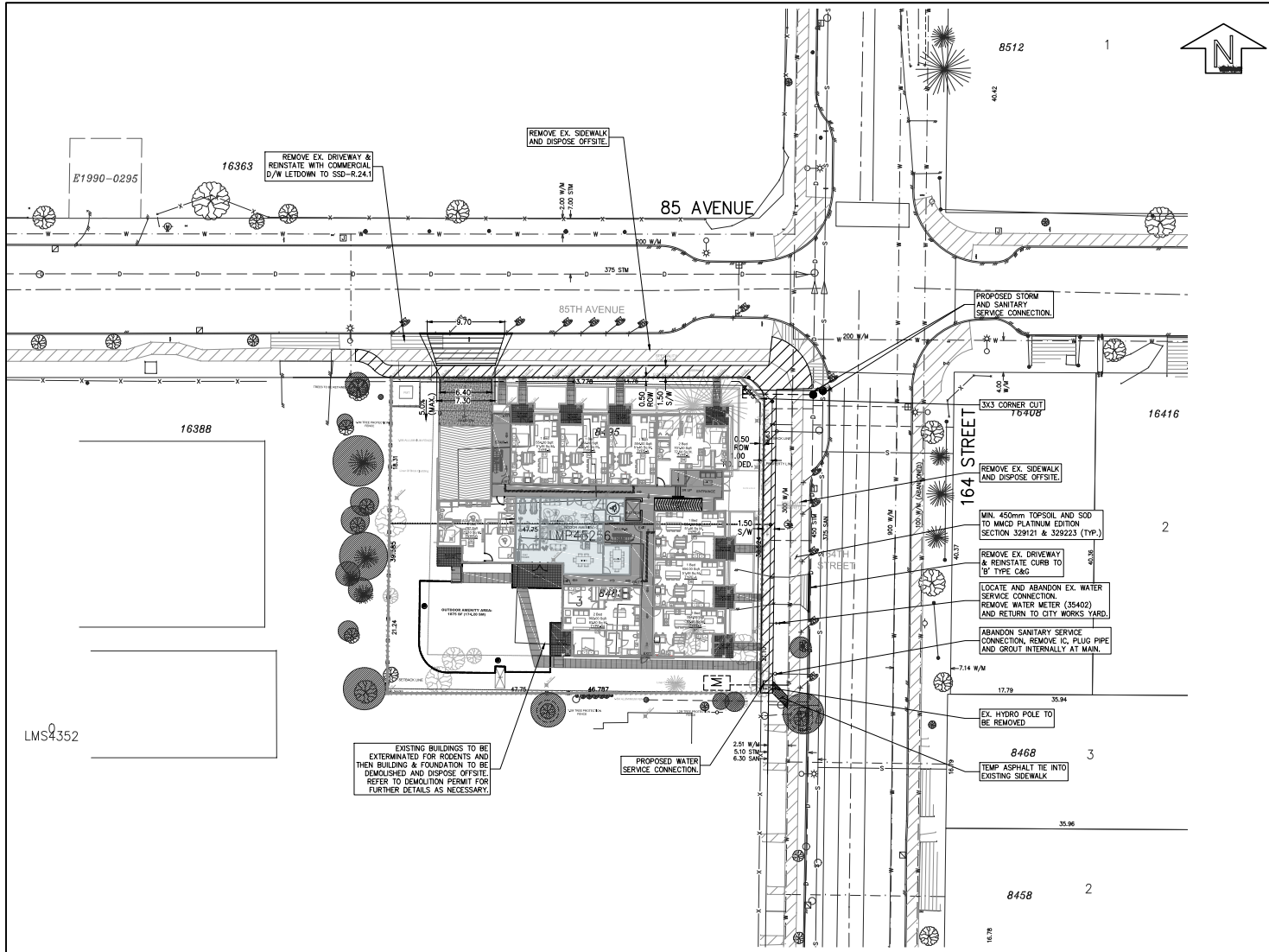


③ VIEW ALONG 164TH STREET

45 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC





BENCHMARK & CONTROL
 ALL ELEV. ARE GEODETIC AND REFER TO MON. NO. 86H1260
 LOCATED AT THE INTERSECTION OF 164 STREET AND 84 AVENUE
 ELEV. 65.513m
LEGAL DESCRIPTION OF PROPERTY
 LOTS 2 & 3, SEC 25, TWP 2, NWD, PLAN LMP45256



7	2022/03/08	MODIFIED PER NEW ARCHITECTURAL LAYOUT	LC	BC
6	2022/02/10	MODIFIED PER CITY COMMENTS	EX	BC
5	2022/01/20	MODIFIED PER NEW ARCHITECTURAL LAYOUT	EX	BC
4	2021/10/16	MODIFIED PER NEW ARCHITECTURAL LAYOUT	LC	BC
3	2020/11/16	SHIFT S/W ALONG FRONTAGE TO P/L	LC	BC
2	2020/01/31	MODIFIED PER NEW ARCHITECTURAL LAYOUT	LC	BC
1	2020/01/20	MODIFIED PER NEW ARCHITECTURAL LAYOUT	LC	BC
No.	Date	Revision	Dr	Ch

CitWest Consulting Ltd.
 No.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
 TELEPHONE 604-591-2213 FAX 604-591-5518
 E-MAIL: office@citwest.com



RAW INVESTMENTS LTD.
 16122 - 76A AVENUE, SURREY, BC, V4M 5W6, CELL: 604-442-7000
PRELIMINARY SERVICING PLAN
 CONDO AT 8483/8495 - 164 STREET, SURREY, BC

Scale:	1:250	Mun. Proj. No.	7919-0427-00	Dwg. No.	A
Drawn:	LC	Mun. Dwg. No.			
Designed:	BC				
P.W.		Job No.	19-3804R	Of	
Approved:		Date	JAN/2020	Revision	7

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C:\Users\BC01\Documents\8483-8495-164 Street.dwg - 07/2020 13:51:31 AM



FURNITURE KEY



MAGLIN BIKE RACK - 1600 series, surface-mount METAL MATE FINISH-BLACK COLOR; POWDER COATED



MAGLIN BENCH - ML1400-PCC MOUNTED AS PER MANUFACTURER SPECIFICATIONS METAL MATE FINISH-BLACK COLOR; POWDER COATED Wheelchair Accessible additional arm to be provided



The Fence Villa (A-17000) BY JAMBETTE INSTALLED AS PER MANUFACTURER SPECIFICATIONS



MAGLIN MLPT210 The table top and seats - FSC CERTIFIED HPLC slabs Wheelchair Accessible MOUNTED AS PER MANUFACTURER SPECIFICATIONS



GORIC PING PONG TABLE F30-P30-R website MOUNTED AS PER MANUFACTURER SPECIFICATIONS



CAMDEN Round floorlight (pat. by ATLAS 30" Dia x 56cm (22" wide x 22" tall)



BOLLARD LIGHT - DARK SKY CERTIFIED, LITHONIA RADEAN LED BOLLARD



STEP LIGHT - DARK SKY CERTIFIED, MODERN FORMS LUMINAIRE WAC LIGHTING, URBAN

PAVER LEGEND

	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS NATURAL BLEND
	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS SANDALWOOD BLEND
	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS CHARCOAL BLEND
	PLAY AREA RUBBER FALL TILES LIGHT BLUE AND GREEN ALTERNATING COLOUR, RUNNING BOND
	1'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS SANDALWOOD BLEND
	2'X2' STEPPING STONE
	ABBOTSFORD CONCRETE Classic Standard Series CHARCOAL BLEND; HERRINGBONE PATTERN

FENCE KEY

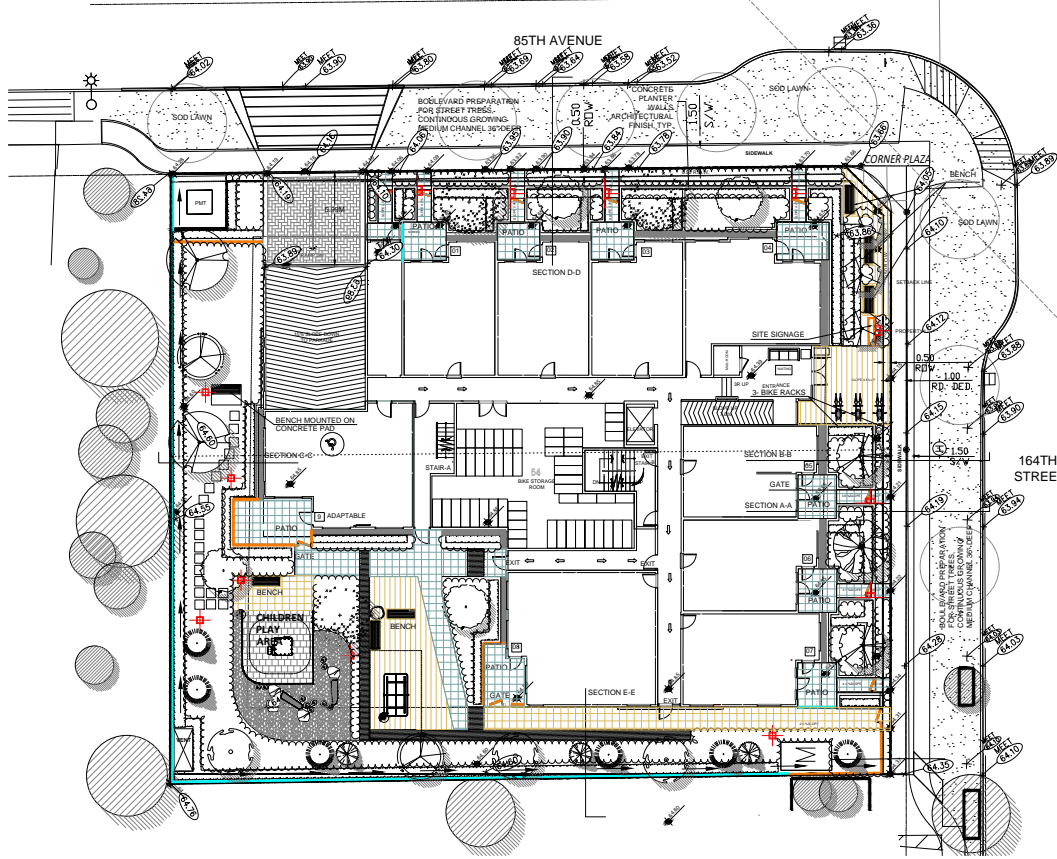
	1.8m HT. WOOD FENCE
	1.0m HT ALUMINUM FENCES GATE
	CONCRETE PLANTER WALL

SITE FURNITURE LEGEND

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/3RD MIN. 24" & MAX. 36" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE

LIGHTING LEGEND

	BOLLARD LIGHT
	STEP LIGHT



TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	2	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL. 1.8M STD; B&B
	2	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; 1.5 STD; B&B
	3	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINKOY CYPRESS	3M HT; B&B
	4	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	5CM CAL. 1.5 STD; B&B
	2	CRATAEGUS LAVALLEI	LAVALLE HAWTHORN	6CM CAL. 1.5 STD; B&B
	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR, CLIMATE CHANGE SUITABLE	6CM CAL. 2M STD; B&B
	1	MAGNOLIA ROBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. 1.5 STD; B&B
	3	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6.0CM CAL. 1.5M STD; B&B
	6	PICEA OMRIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	2.5M HT; B&B
	3	QUERCUS ROBUR 'FASTIGIATA'	FASTIGIATE ENGLISH OAK	6CM CAL. 1M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE

- All soil landscape areas to be irrigated with automatically controlled high-efficiency irrigation, installed to I.A.B.C. Standards, latest edition.

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5G 5G9
p. 604 294-0111, f. 604 294-0022

SEAL:

REV.	DATE	REVISION DESCRIPTION	DR.
17	23 MAY 01	NEW SITE PLAN	CD
18	23 MAR 02	ISSUE COLOUR PLANS FOR P.L.M.	CDL
19	22 SEP 03	UPDATE PER NEW SITE PLAN	CDL
14	22 SEP 03	UPDATE PER ADP COMMENTS	CDL
13	22 JUL 05	GARAGE AREA ADDED	CDL
12	22 JUL 05	NEW SITE PLAN CITY COMMENTS	CDL
11	22 JUN 04	REVISION AS PER CITY COMMENTS	CDL
10	22 MAY 03	NEW SITE PLAN	CDL
9	22 MAR 03	NEW SITE PLAN PLANS	CDL
8	22 FEB 03	REVISION AS PER CITY COMMENTS	CDL
7	21 JAN 03	NEW SITE PLAN	CDL
6	21 JAN 03	NEW CIVIL PLAN	CDL
5	21 OCT 02	NEW CIVIL PLAN	CDL
4	21 OCT 02	UPDATE PER NEW SITE PLAN	CDL
3	26 DEC 01	NEW SITE & CIVIL PLAN	CDL
2	26 NOV 00	UPDATE PER NEW SITE PLAN	JR
1	26 NOV 00	UPDATE PER NEW SITE PLAN	JR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CONDOMINIUM DEVELOPMENT

8483/8495 164 STREET
SURREY

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 20 JUN 11 DRAWING NUMBER:

SCALE: 1:50

DRAWN: JR

DESIGN: JR

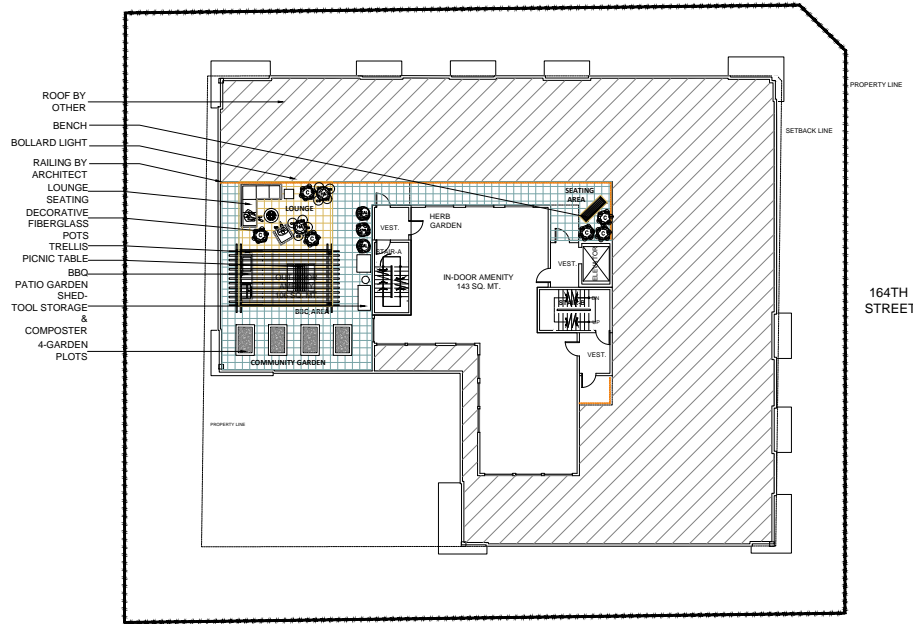
CHKD: PC

L2

OF 6

SEAL:

85TH AVENUE



FURNITURE KEY



PLANT SCHEDULE-ROOFTOP

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
GRASS				
(C)	6	CALAMAGROSTIS ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS	#1 POT
(C)	2	HAKONECHLOA MACRA 'ALLGOLD'	ALLGOLD JAPANESE FOREST GRASS	#1 POT
PERENNIAL				
(S)	8	ASTILBE x ARENSII 'RED SENTINEL'	FALSE SPIREAE, RED	#1 POT
(S)	5	ORIGANUM VULGARE 'AUREUM'	GOLDEN OREGANO	#1 POT
(S)	1	ROSMARINUS OFFICINALIS	ROSEMARY	#2 POT
(S)	2	SALVIA OFFICINALIS	CULINARY SAGE	#2 POT
(S)	42	THYMUS VULGARIS	CULINARY THYME	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OALA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
17	23 MAY 01	NEW SITE PLAN	CD
18	23 MAY 01	ISSUE COLOUR PLANTS FOR P.L.M.	CLG
19	22 SEP 01	UPDATES PER NEW SITE PLAN	CLG
14	22 SEP 01	UPDATE PER ADP COMMENTS	CLG
11	22 JUN 25	GARAGE AREA ADDED	CLG
12	22 JUN 25	NEW SITE PLAN/CITY COMMENTS	CD
11	22 JUN 24	REVISION AS PER CITY COMMENTS	CD
10	22 MAY 01	NEW SITE PLAN	CD
9	22 MAR 01	NEW SITE PLAN	CD
8	22 FEB 03	REVISION AS PER CITY COMMENTS	CD
7	21 JAN 27	NEW SITE PLAN	CD
6	21 JAN 20	NEW CIVIL PLAN	CD
5	21 OCT 22	NEW CIVIL PLAN	CD
4	21 OCT 22	UPDATE PER NEW SITE PLAN	CLG
3	20 DEC 08	NEW SITE & CIVIL PLAN	CD
2	20 NOV 20	UPDATE PER NEW SITE PLAN	JR
1	20 NOV 19	UPDATE PER NEW SITE PLAN	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
CONDOMINIUM DEVELOPMENT

8483/8495 164 STREET SURVEY

DRAWING TITLE:
ROOFTOP PLAN

DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:50
DRAWN: JR
DESIGN: JR
CHKD: PC

L4
OF 6



CITY OF SURREY

BYLAW NO. XXXXX

A Comprehensive Development bylaw to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the *Local Government Act*, R.S.B.C. 2015 c. 1, as amended, for the following lands:

Address: As described in Appendix "A".
Legal: As described in Appendix "A".
PID: As described in Appendix "A".

as follows:

- (a) by creating a new Comprehensive Development Zone 91 (CD 91), attached as Appendix "A" and forming part of this bylaw;
- (b) by changing the zoning classification shown in Schedule A, Zoning Maps, as follows:
 FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)
 TO: COMPREHENSIVE DEVELOPMENT ZONE (CD); and
- (c) by amending Part 52, Comprehensive Development Zone, Section C. Comprehensive Development Zones, by adding a new CD Zone "CD 91" as follows:

CD Zone ID	Civic Address	Legal Description	CD Bylaw No.	Replaces Bylaw No.
"CD 91"	(a) 8495 164 Street (b) 8483 164 Street	(a) Lot 2, Plan LMP45256 (b) Lot 3, Plan LMP45256	20777	N/A"

- 2. This By-law shall be cited for all purposes as "Surrey Comprehensive Development Zone 91 (CD 91), Bylaw, 2022, No. 20777".

PASSED FIRST READING on the 3rd day of October, 2022.

PASSED SECOND READING on the 3rd day of October, 2022.

PUBLIC HEARING HELD thereon on the th day of , 2023.

PASSED THIRD READING on the th day of , 2023.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the th day of , 20 .

_____MAYOR

_____CLERK

COMPREHENSIVE DEVELOPMENT ZONE 91 (CD 91)

In this Comprehensive Development Zone 91 (CD 91), **Part 23, Multiple Residential 45 (RM-45) Zone**, as well as all other applicable regulations of Surrey Zoning By-law, 1993, No. 12000, as amended, (the "Zoning By-law") apply to the following lands:

Address	Legal Descriptions	PID
8495 164 Street	Lot 2, Section 25, Township 2, NWD, Plan LMP45256	024-734-217
8483 164 Street	Lot 3, Section 25, Township 2, NWD, Plan LMP45256	024-734-233

(collectively the "Lands")

except as follows:

1. Density

Delete sub-section D.2. in Section D. Density and replace it with a new sub-section D.2. as follows:

"2. Permitted Density Increases:

If amenity contributions are provided in accordance with Schedule G, *density* may be increased as follows:

(a) Maximum *floor area ratio* of ~~2.21~~ **1.88**, excluding:

i. The indoor *amenity space* requirement (pursuant to Section J.1. of this Zone)."

2. Lot Coverage

Delete Section "E. Lot Coverage" and replace it with a new Section "E. Lot Coverage" as follows:

"E. **Lot Coverage**

The maximum *lot coverage* for all *buildings* and *structures* shall be 51%."

3. Yards and Setbacks

Delete Section "F. Yards and Setbacks" and replace it with a new Section "F. Yards and Setbacks" as follows:

"F. **Yards and Setbacks**

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

USES:	SETBACKS:			
	East Yard	West Yard	South Yard	North Yard
<i>Principal Building</i>	4.5 m	6.0 m	4.5 m	4.5 m

1 Notwithstanding Section A.3.(d) of Part 5, Off-Street Parking and Loading/Unloading, *parking - underground* may be located up to 0 m of any *lot line*.

2 Notwithstanding the definition of *setback* in Part 1, Definitions, patios, ~~decks, canopies and roof overhangs~~ may encroach up to 2.0 metres into the required *setbacks*.

3 Notwithstanding Section A.26.(b) of Part 4, General Provisions, stairs with more than three risers may encroach into the *setbacks*."

4. Height of Buildings

Delete sub-section G.1. in Section G. Height of Buildings and replace it with a new sub-section G.1. as follows:

"1. Principal Buildings:

Principal building height shall not exceed ~~16 m~~ **15.5 m.**"

5. Subdivision

Delete sub-section K.1 in Section "K. Subdivision" and replace it with a new sub-section K.1 as follows:

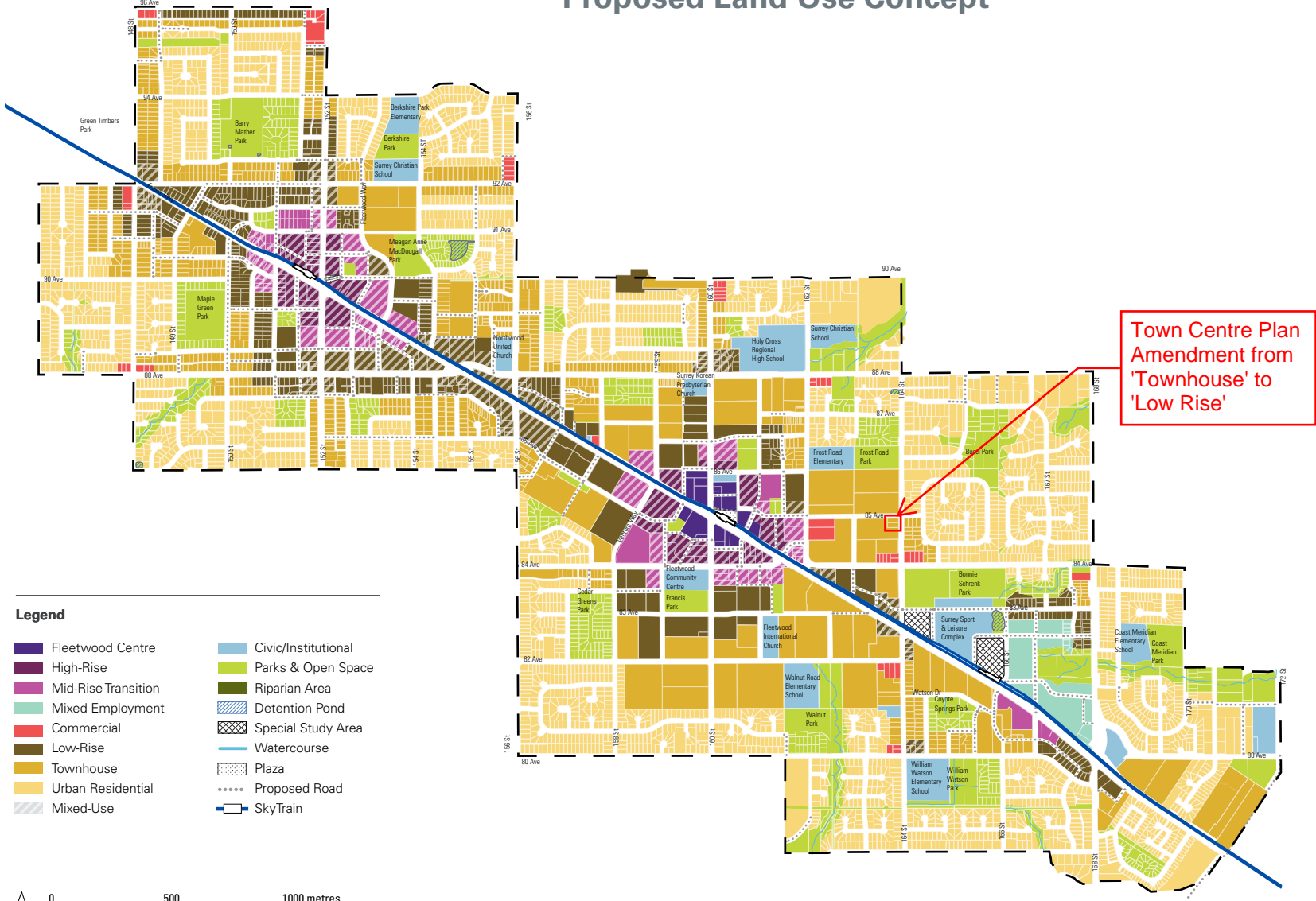
“1. Minimum Lot Sizes:

Lots created through subdivision except strata lots, shall conform to the following minimum standards:

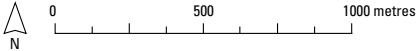
- (a) *Lot Area:* Minimum 1,700 sq. m;
- (b) *Lot Width:* Minimum 35 m; and
- (c) *Lot Depth:* Minimum 44 m.”

Stage 1 Fleetwood Plan | Summary

Proposed Land Use Concept



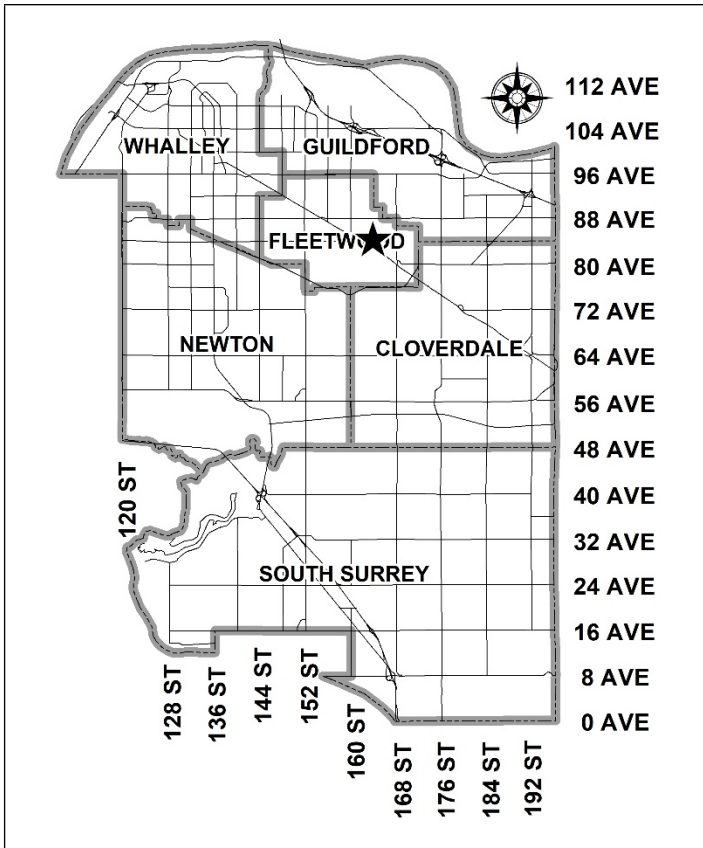
- Legend**
- Fleetwood Centre
 - High-Rise
 - Mid-Rise Transition
 - Mixed Employment
 - Commercial
 - Low-Rise
 - Townhouse
 - Urban Residential
 - Mixed-Use
 - Civic/Institutional
 - Parks & Open Space
 - Riparian Area
 - Detention Pond
 - Special Study Area
 - Watercourse
 - Plaza
 - Proposed Road
 - SkyTrain



City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7917-0427-00

Planning Report Date: October 3, 2022



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **OCP Text Amendment** to allow a higher density in the Multiple Residential designation.
- **TCP Amendment** from “Townhouse” to “Low Rise”
- **Rezoning** from RF to CD (based on RM-45)
- **Development Permit**

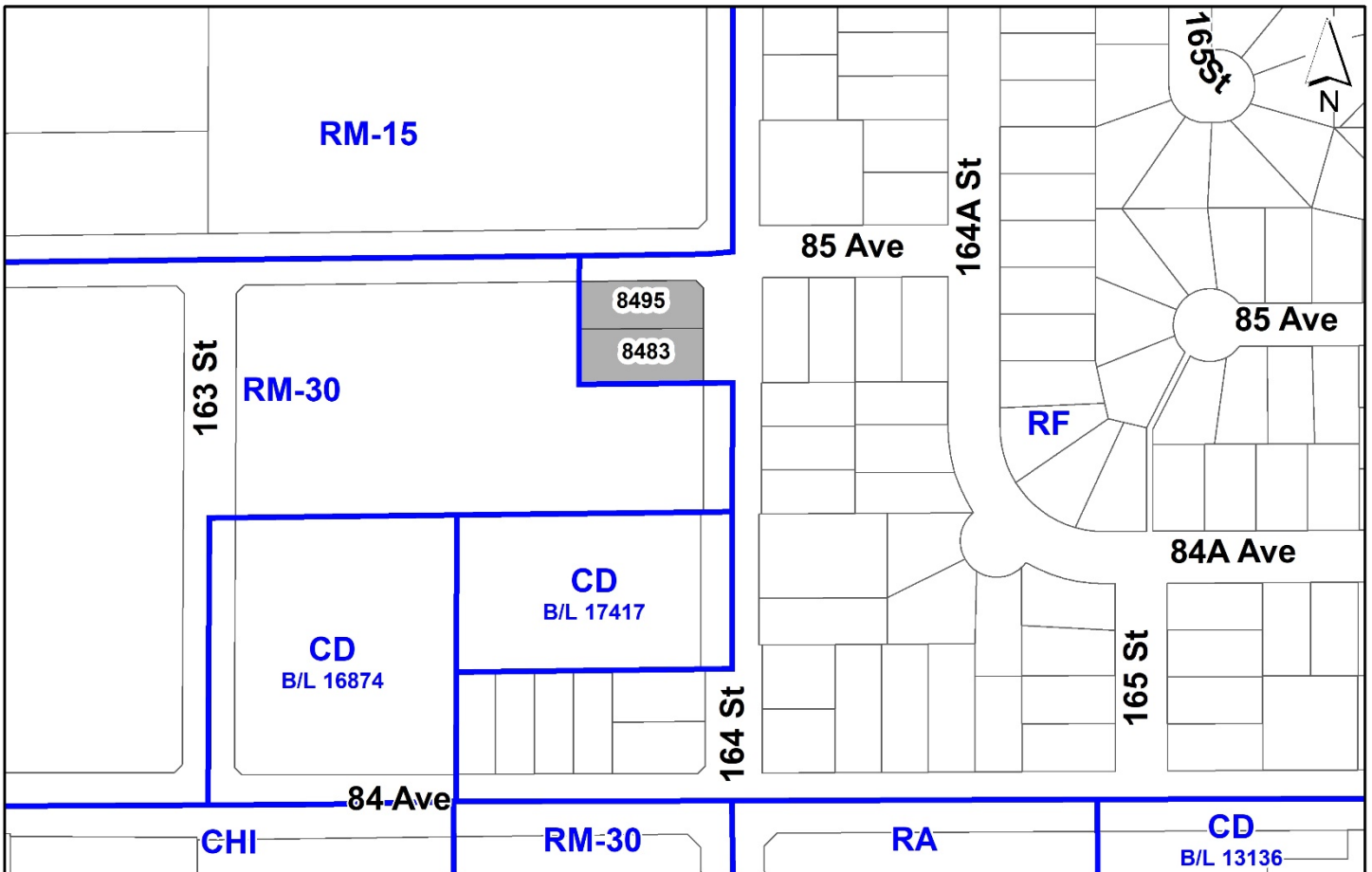
to permit the development of a 5-storey apartment building with approximately 55 units.

LOCATION: 8483 -164 Street
 8495 - 164 Street

ZONING: RF

OCP DESIGNATION: Urban

TCP DESIGNATION: Townhouse



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from "Urban" to "Multiple Residential" and to permit a maximum density of 2.16 Floor Area Ratio (FAR) under the Multiple Residential designation.
- Proposed amendment to the Fleetwood Plan (Stage 1) from "Townhouse" to "Low Rise".

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed amendment to the OCP from 'Urban' to 'Multiple Residential' is considered to have merit given the subject site is within an Urban Centre within the Fleetwood Plan area and given the proximity of the subject site to rapid transit service along Fraser Highway and future SkyTrain station at Fraser Highway and 166 Street.
- The OCP would permit a maximum 2.0 FAR at this location within the Fleetwood Plan. The proposed text amendment will increase this allowable density to 2.16 FAR (gross density), which is supportable given the relatively small size of the site and proposed low-rise building form.
- To accommodate the proposed development, an amendment to the Fleetwood Plan (Stage 1) is required in order to redesignate the subject properties from "Townhouse" to "Low Rise". The proposed amendment to the Fleetwood Plan (Stage 1) is considered to have merit, given proximity to transit service. Staff note the surrounding neighbourhood context is three-storey townhouses and two-storey single family homes, all designated 'Townhouse' in the Fleetwood Plan (Stage 1), and as such the fifth floor has been recessed to provide a more appropriate interface condition.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density.

-
- The subject site is approximately 500 metres to an existing Frequent Transit Network (FTN) along Fraser Highway and is less than 1 kilometer away from a future SkyTrain Station at 166 Street and Fraser Highway. The proposal supports the objective of achieving higher-density development along transit corridors and therefore is considered appropriate for this part of the Fleetwood Plan.
 - The applicant has worked closely with Staff to improve the building's design. The proposed building is well-designed and utilizes high-quality natural materials as well as contemporary lines, and setbacks help achieve a quality pedestrian streetscape. Appropriate landscaping is provided along the street frontages and to buffer existing residential uses to the west.

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP Bylaw be introduced to:
 - (a) amend the OCP Figure 3: General Land Use Designations, to redesignate the site from Urban to Multiple Residential; and
 - (b) amend Table 7a: Land Use Designation Exceptions, by adding the following site specific notification:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx	Multiple Residential	8483 164 Street Lot 3 Section 25 Township 2 New Westminster District Plan LMP45256 8495 164 Street Lot 2 Section 25 Township 2 New Westminster District Plan LMP45256	Density permitted up to 2.16 FAR (gross density)"

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7917-0427-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide written permission from the Owner of 16388 – 85 Avenue (signed Tree Cutting Permit application) for the proposed removal of shared tree #406;
 - (h) submission of a Geotechnical report, to the satisfaction of the Planning and Development Department, for the proposed underground parking garage;
 - (i) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (j) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-45 Zone, at the rate in effect at the time of Final Adoption;
 - (k) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (l) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services; and
 - (m) Council approval of Stage 2 of the Fleetwood Plan.
6. Council pass a resolution to amend the Fleetwood Plan (Stage 1) to redesignate the subject site from "Townhouse" to "Low Rise" as illustrated in Appendix VI when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	Fleetwood Plan Designation	Existing Zone
Subject Site	Single family residential	Townhouse	RF
North (Across 85 Avenue):	Townhouses	Townhouse	RM-15
East (Across 164 Street):	Single family residential	Townhouse	RF
South:	Townhouses	Townhouse	RM-30 and CD (Bylaw No. 17417)
West:	Townhouses	Townhouse	RM-30

Context & Background

- The subject properties are located on the south side of 85 Avenue, just west of 164 Street.
- The properties are approximately 0.45 acres in total combined area and are presently occupied by two (2) single family residential dwellings.
- The subject site is designated 'Urban' in the Official Community Plan (OCP), 'Townhouse' in the Fleetwood Plan (Stage 1) and is zoned 'Single Family Residential Zone' (RF).

Fleetwood Plan (Stage 1)

- After an extensive public consultation process, Stage 1 of the Fleetwood Plan was approved by Council on March 7, 2022. Stage 1 outlines the expected land-use and densities for the Fleetwood Plan area.
- At the Regular Council – Land Use meeting on March 7, 2022, Council was asked to consider Corporate Report No. Ro49-2022 ('Fleetwood Stage 1 Plan'). The Corporate Report established interim Secondary Plan Community Amenity Contributions (CAC) rates that will allow for development applications that are consistent with the Fleetwood Plan to be considered for Final Adoption, subject to completion of all outstanding items identified in the Planning Report.
- However, the subject application involves a proposed amendment to the land-use designation in the Stage 1 Plan from "Townhouse" to "Low Rise". As a result, this development application may proceed to Council for consideration and initial approval (Third Reading) but will not proceed to Final Adoption until Stage 2 of the Fleetwood Plan has been completed and approved by Council.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of a 5-storey residential building consisting of 55 units, the applicant propose the following:
 - OCP Amendment from "Urban" to "Multiple Residential";
 - OCP Text Amendment to permit a maximum density of 2.16 FAR (gross density) in the Multiple Residential designation;
 - Fleetwood Plan Amendment from "Townhouse" to "Low Rise";
 - Rezoning from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based on the Multiple Residential 45 Zone (RM-45));
 - Development Permit for Form and Character; and
 - Subdivision / consolidation from two (2) lots into (1) lot for development.
- Development details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	1,845 sq. m
Road Dedication:	44 sq. m
Net Site Area:	1,801 sq. m
Number of Lots:	1
Building Height:	15.5 m
Floor Area Ratio (FAR):	2.16 FAR (gross), 2.21 FAR (net)
Floor Area	
Residential:	3,986 sq. m
Commercial:	N/A
Total:	3,986 sq. m
Residential Units:	
1-Bedroom:	23
1-Bedroom + Den:	8
2-Bedroom:	20
2-Bedroom + Den:	1
3-Bedroom:	3
Total:	55

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 21 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

11 Elementary students at Frost Road Elementary School
6 Secondary students at North Surrey Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: No concerns.

The closest active park is Frost Road Park which is approximately 245 metres away from the development site, and the closest natural area is Bucci Park and is approximately 470 metres away.

Surrey Fire Department: No concerns.

Advisory Design Panel: The proposal was considered at the ADP meeting on August 11, 2022 and was conditionally supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Transportation Considerations

- The proposed apartment building is located approximately 500 metres from the existing Frequent Transit Network (FTN) along Fraser Highway, existing bus stops, and rapid bus service along Fraser Highway. The future Skytrain station at Fraser Highway and 166 Street is less than a kilometer away from the subject site.
- As such, the proposed development is appropriate for this part of Fleetwood, given its location within an Urban Centre, and complies with the goal of achieving higher density development in locations that benefit from access to frequent transit service.

Driveway Access and Dedication Requirements

- The road dedication requirements are minimal for the subject proposal. As per the Engineering requirements (Appendix II):
 - 0.942 m dedication is required along the site's 164 Street frontage;
 - A 3 x 3 m corner cut is required at the corner of 164 Street and 85 Avenue; and
 - No road dedication is required along 85 Avenue.
- The proposed development will obtain vehicular access to the underground parkade from 85th Avenue. No vehicular access to 164 Street is permitted.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated 'General Urban' in the Regional Growth Strategy. The proposed development complies with the 'General Urban' RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated 'Urban' in the OCP.

- As per the OCP, the Urban designation will support a maximum unit density of 72 units per hectare (30 units per acre) for sites that are within a Frequent Transit Development Area (FTDA), that abut a Frequent Transit Network, or are located within an Urban Centre and/or where specifically noted in an approved Secondary Plan Area.
- The proposed 5-storey apartment form and density cannot be accommodated under the Urban designation and, as such, requires an OCP Amendment from "Urban" to "Multiple Residential" to facilitate the proposal. An OCP Text Amendment is also required to increase the allowable density under the Multiple Residential designation from 2.0 FAR (gross density) to 2.16 FAR (gross density) in the Fleetwood Secondary Plan area.

Amendment Rationale

- The subject site is located within close proximity to a Frequent Transit Network (FTN) along Fraser Highway and is within walking distance of existing bus rapid transit service, and the future SkyTrain station at Fraser Highway and 166 Street. The site is also within walking distance to Bonnie Schrenk Park and the Surrey Sport and Leisure Complex.
- In the OCP, the "Multiple Residential" designation allows a maximum density of 1.5 FAR. For sites located within a FTDA, or Urban Centre, that abut a FTN, or where specifically permitted in an approved Secondary Land-Use Plan, a maximum density or FAR of 2.0 is permitted.
- The applicant is proposing a Text Amendment to the OCP to increase the maximum permitted density under the Multiple Residential designation from 2.0 FAR to 2.16 FAR in the Fleetwood Secondary Plan area.
- The text amendment to increase the permitted density in the Multiple Residential designation is considered appropriate given the site is located within 500 metres of an existing FTN (Fraser Highway) and is less than a kilometer away from a future SkyTrain station. As such, higher density multiple residential development on the subject site is supportable given it promotes walkability, allows for greater housing choice, and complies with OCP principles to encourage concentration of density and higher-density developments in areas served by FTNs.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Fleetwood Plan designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposal will support various policies outlined in the OCP, including the following:
 - The proposal supports transit-oriented development including focusing growth along frequent transit corridors, which also supports transit service expansion and rapid transit infrastructure investment;

- The proposal supports directing higher density residential land-uses to locations within walking distance of neighbourhood centres, near transit routes and adjacent to major parks or civic amenities;
- The proposal supports the development of a low-rise apartment building with a variety of unit types to support a diversity of household sizes and composition located within walking distance of existing commercial services and transit routes; and
- The proposed apartment includes urban design features such as outdoor balconies and ground floor patios that promote a safe, welcoming streetscape and urban public realm.

Secondary Plans

Land Use Designation

- The subject properties are designated ‘Townhouse’ in the Fleetwood Plan (Stage 1). In order to accommodate the development proposal, the applicant is required to amend the Fleetwood Plan (Stage 1) in order to redesignate the site from ‘Townhouse’ to ‘Low Rise’.
- The proposal complies with the proposed ‘Low Rise’ designation in the Fleetwood Plan (Stage 1), which permits 4 – 5 storeys, and allows for density bonus in accordance with the City’s Density Bonus Program.

Amendment Rationale

- The proposed density and building form are considered appropriate for this part of Fleetwood given the subject site is located within an Urban Centre, is in close proximity to a FTN, and is close to other neighbourhood amenities.
- In support of the proposed amendment to the land-use designation in the Stage 1 Plan, the applicant will provide a density bonus amenity contribution consistent with Tier 2 Capital Plan Project CACs for a proposed increase in density beyond the maximum permitted density under the current land-use designation in the Stage 1 Plan, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per sq. ft. flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" (based on the ‘Multiple Residential 45 Zone) to accommodate the proposed 5-storey apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-45 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-45 Zone (Part 23)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.3 FAR (net)	2.2 FAR (net)
Lot Coverage:	45%	51%
Yards and Setbacks		
North Yard	7.5 m	4.5 m
East Yard	7.5 m	4.6 m
South Yard	7.5 m	4.5 m
West Yard	7.5 m	6.0 m
Principal Building Height:	15 m	15.5 m
Permitted Uses:	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and childcare centres.
Indoor Amenity:	165 m ²	The proposed 121 m ² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	165 m ²	The proposed 174 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Proposed
Residential:	76	79
Residential Visitor:	11	11
Total:	87	90
Residential Secure Bicycle Parking:	66	67
Residential Bicycle Visitor:	6	6

- The proposed CD Bylaw is based upon the RM-45 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height and location of the underground parkade relative to the lot lines.
- The RM-45 Zone permits a maximum FAR of 1.30. If calculated on gross site area, the proposed 5-storey building will have a FAR of 2.16. The FAR based on net site area is 2.21 FAR. Given proximity to existing and future rapid transit, as well as community amenities, the proposed increase in density to 2.21 FAR (net) in the CD Zone is supportable.
- The maximum lot coverage has been increased from 45% in the RM-45 Zone to a maximum of 51% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for a 5-storey apartment building on a site of this size.
- The proposed reduced setbacks will allow for better connectivity to the streets, outdoor patios to the at-grade units, and provide a more pedestrian-friendly urban streetscape. The west side yard setback is increased to 6.0 metres and landscaped to appropriately buffer to the existing townhouses to the west.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,000 per new unit.
- As the site is located within an 'Urban Centre', the OCP allows densities to be calculated on the gross site area. The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the current Fleetwood Plan (Stage 1) (townhouse) designation, to a maximum allowable density of 2.16 FAR.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current flat rate for Fleetwood is \$35 per square foot for apartment developments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on December 22, 2021, and the Development Proposal Signs were installed on December 20, 2021. Staff received seven (7) responses from neighbouring residents (*staff comments in italics*):

Height and density, reduce community feel of neighbourhood

- Concern that the building is not an appropriate scale to the adjacent townhouses and single family.
- Concern that 4 storeys may be more appropriate to interface with the existing 3-storey townhomes and 2-storey single family dwellings.
- Expressed the opinion that townhouses are a nice fit with the neighbourhood as they offer density without changing the neighbourhood's overall feel and aesthetic and are in keeping with the Fleetwood Plan.
- Fleetwood Plan designation would allow ~15 townhouses, and therefore new families, into the neighbourhood. Concern that the proposal of 55 units would cause a significant increase in the number of people and would change the dynamic of the neighbourhood.

(The site is designated 'Townhouse' in the Fleetwood Plan (Stage 1). The applicant is seeking to amend the Fleetwood Plan (Stage 1), from 'Townhouse' to 'Low Rise'. The application has merit, given the proximity to existing and future rapid transit service including Skytrain, but does represent a departure from the current Fleetwood Plan. The applicant has therefore worked with staff to reduce the massing of the 5th floor in a manner that improves the interface with existing townhouses and single family dwellings. The proposal follows the intent of the OCP and TCP to increase densities near existing frequent transit networks and community amenities.)

Traffic volume & parking

Concern that the proposal will contribute to existing street parking challenges in the neighbourhood and generate significant traffic.

(The applicant is currently proposing 55 units. Ninety (90) parking spaces are proposed, exceeding the minimum requirement based on the Zoning Bylaw (1.5 parking spaces per 2-bed unit (32 spaces), 1.3 spaces per 1-bed unit (40 spaces), 0.2 spaces (11) for visitors). The scale of the proposal at 55 units does not meet the 100-unit threshold for Staff to require a Traffic Impact Analysis (TIA).)

School capacity

(The Surrey School District has provided comments in response to this proposal (Appendix III). The Surrey School District notes that Frost Road Elementary opened a 100 student capacity addition in Fall 2020. The site and school have reached maximum build out capacity. North Surrey Secondary is operating at 121% and projected to grow 1500+ students by the middle of this decade. As part of the 2023/2024 5 year capital plan, the District is requesting a 325 capacity addition. The School District did not express direct opposition to this project.)

The Fleetwood Community Association provided comments on January 4, 2022. The Fleetwood Community Association indicated they are not in support of the application, the site is designated 'Townhouse' in the Fleetwood Plan, which underwent extensive community consultation and Staff review prior to Council Adoption. The Fleetwood Community Association noted the existing neighbourhood context of townhouses and single-family dwellings, and the designation of the surrounding neighbourhood as 'Townhouse' in the Fleetwood Plan (Stage 1).

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character. The proposed development generally complies with the Form and Character Development Permit guidelines.
- The unit mix consists of 31 one-bedroom, 21 two-bedroom and 3 three-bedroom units. The dwelling units will range in size from 51 square metres (550 square feet) for a one-bedroom to 103 square metres (1,115 square feet) for the largest three-bedroom apartment.
- The unit mix also includes 2 adaptable two-bedroom units, located on the first and second floors.
- The proposed building reflects an urban and contemporary building form with a flat roof. The building materials were chosen to echo the surrounding context and include hardie horizontal lap siding, cedar longboard and standard brick to bring texture to the building facades.
- The proposed building includes a 2-storey townhouse façade at grade. White panel board identifies the first 4 storeys of the building, whilst the 5th storey is stepped back and appears subdued from the use of light grey board panels.
- The corner cedar element at the intersection of 85 Avenue and 164 Street helps create visual interest and is supplemented by a corner plaza at the northeast corner of the site. Warm earth tones, contrasted by cooler whites and light greys create visual interest and character.
- All ground floor units have front door access from 164 Street and 85th Avenue and usable, private/semi-private outdoor space.
- The building orientation ensures the units will provide greater observation of the public realm with active rooms facing toward the streets which helps to address Crime Prevention Through Environmental Design (CPTED) concerns.
- The applicant has worked with staff to improve the design, including simplifying materials, increasing detail on the south and west facades, and relocating and redesigning the corner feature element.

Indoor Amenity

- The required indoor amenity is 165 square metres, while the applicant is proposing 121 square metres. The proposal does comply with the General Provisions – Amenity Space in the Zoning Bylaw and provides the minimum 74 square metres of indoor amenity space before cash-in-lieu may be applied.
- The applicant will be required to pay cash-in-lieu for the shortfall of approximately 45 square metres of indoor amenity space, as a condition of Final Adoption, subject to Council approval.

- The proposed indoor amenity space is centrally located on the main floor and provides connectivity to outdoor amenity space located at the southwest corner of the site. The indoor amenity space consists of a meeting room, lounge area, kitchen and dining area, patio, gymnasium, and an accessible washroom.

Outdoor Amenity and Landscaping

- The required outdoor amenity is 165 square metres, while the applicant is exceeding the Zoning Bylaw requirement by providing 174 square metres of outdoor amenity.
- The proposed outdoor amenity is centrally located on the ground level and has a direct connection with the indoor amenity on the main floor. The programming of the outdoor amenity includes a lounge area, picnic tables, herb gardens, a trellis, and a separate children's play area.
- The applicant has proposed landscaping to the west and to the south, including larger caliper species and year-round vegetation, as well as an increased 6.0 metre setback on the west side of the site to buffer appropriately to the existing townhouses to the south and west.

Outstanding Items

There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:

- Resolution of architectural corner expression;
 - Coordination of servicing facilities and interface with the public realm; and
 - Refinement of architectural fenestration, materials and details.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Arminder Virk, ISA Certified Arborist of Arbor & Co. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Magnolia	1	1	0
Beaked Hazelnut	1	1	0
Mountain Ash	1	1	0
Apple	1	1	0
Cherry	1	1	0
Purple Leaf Plum	1	1	0
Tulip	1	0	1
Pyramidal Oak	1	0	1

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Falsecypress	2	2	0
Western Red Cedar	1	1	0
Total (excluding Alder and Cottonwood Trees)	11	9	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		29	
Total Retained and Replacement Trees		31	
Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 11 mature trees on the site. There are no Alder and Cottonwood trees on the site. It was determined that 2 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 18 replacement trees on the site. The applicant is proposing 29 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 164 Street and 85 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Red Japanese Maple, Slender Hinoki Cypress, Pink Dogwood, Lavelle Hawthorn, Bruns Serbian Spruce and Fastigiata English Oak.
- In summary, a total of 31 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey and Tree Preservation
- Appendix V. OCP Redesignation Map
- Appendix VI. TCP Redesignation Map
- Appendix VII. ADP Comments and Response

approved by Ron Gill

Jeff Arason
Acting General Manager
Planning and Development

SC/cm



PROJECT TEAM

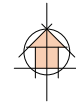
CLIENT:
8483, 8495 164 STREET
SURREY B.C.

ARCHITECTURAL:
FLAT ARCHITECTURE INC.
6321 KING GEORGE BLVD.
SURREY, BC, V3X 1G1
CONTACT: JASWINDER SINGH
GABRI
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jaswinder@flatarchitecture.ca

LANDSCAPE ARCHITECT:
PMG Landscape Architects
Ltd.
C100 4185 Still Creek Dr.
Burnaby, BC V5C6G9
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T : 604-294-0011 ext. 116

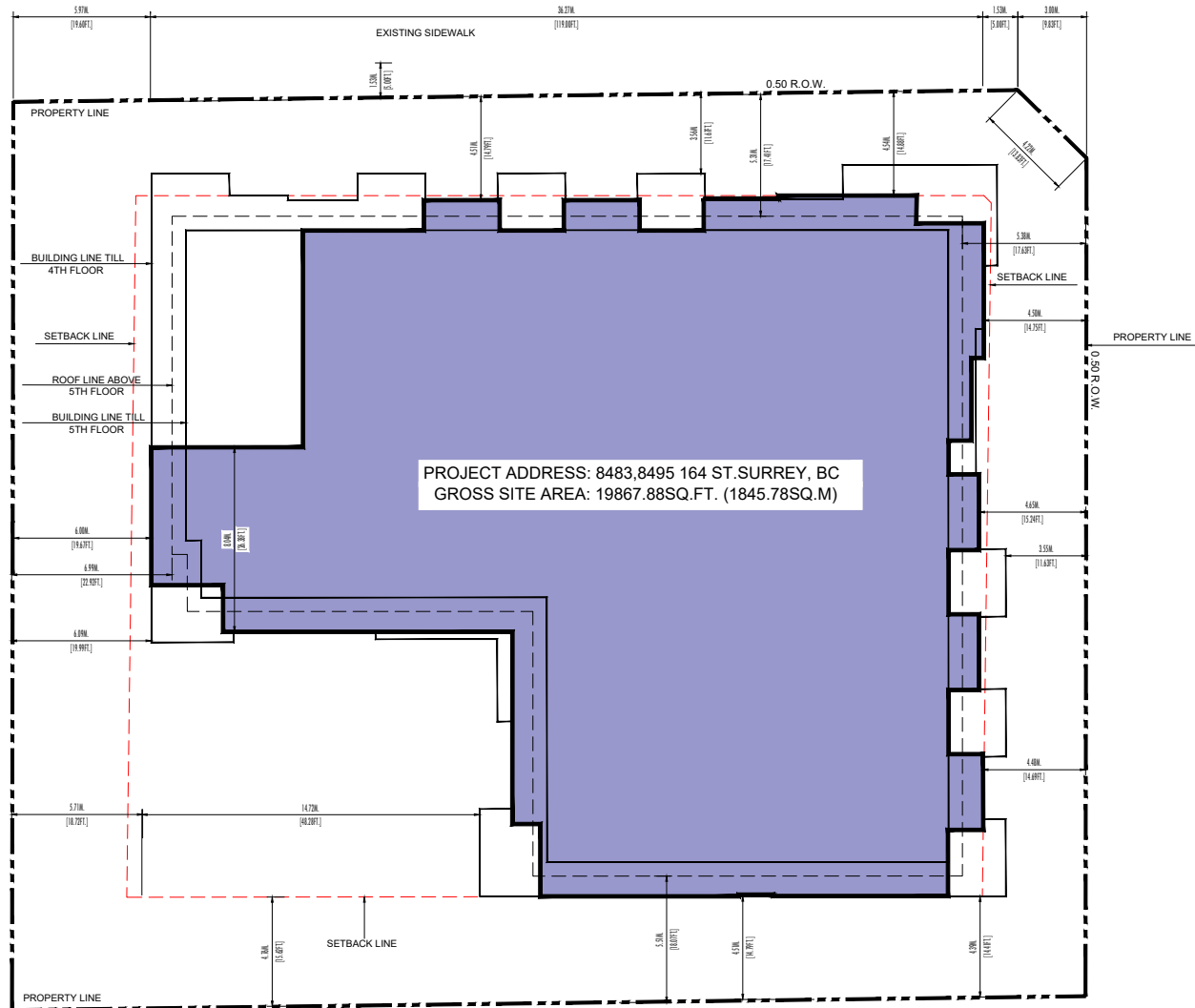
**8483, 8495 164TH STREET
SURREY BC**

85TH AVENUE



FLAT
ARCHITECTURE 2

PREPARED BY:



164TH STREET

1 BASE PLAN
Scale: 1/8"=1'-0"

55 UNITS MULTI FAMILY DEVELOPMENT

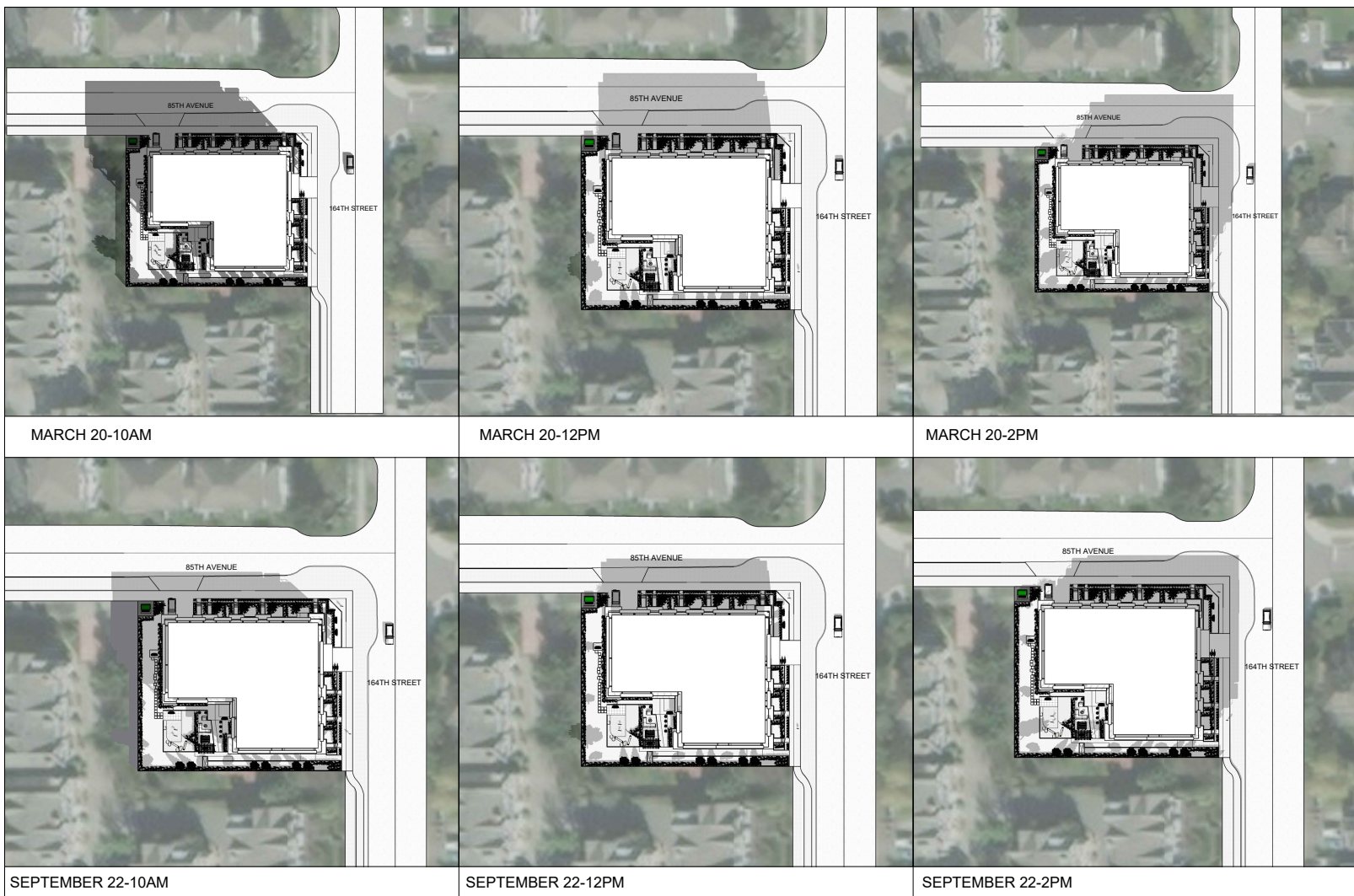
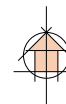
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.0.1

BASE PLAN

SEP 13, 2022



55 UNITS MULTI FAMILY DEVELOPMENT

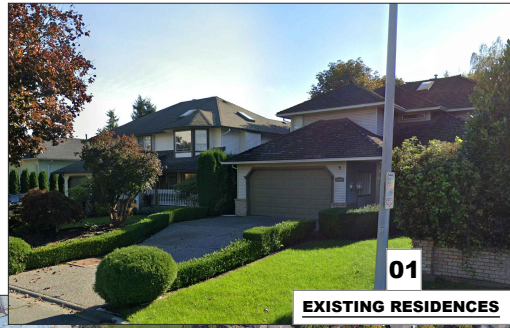
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8483, 8495 164 ST. SURREY, BC



A.0.2

SHADOW
ANALYSIS

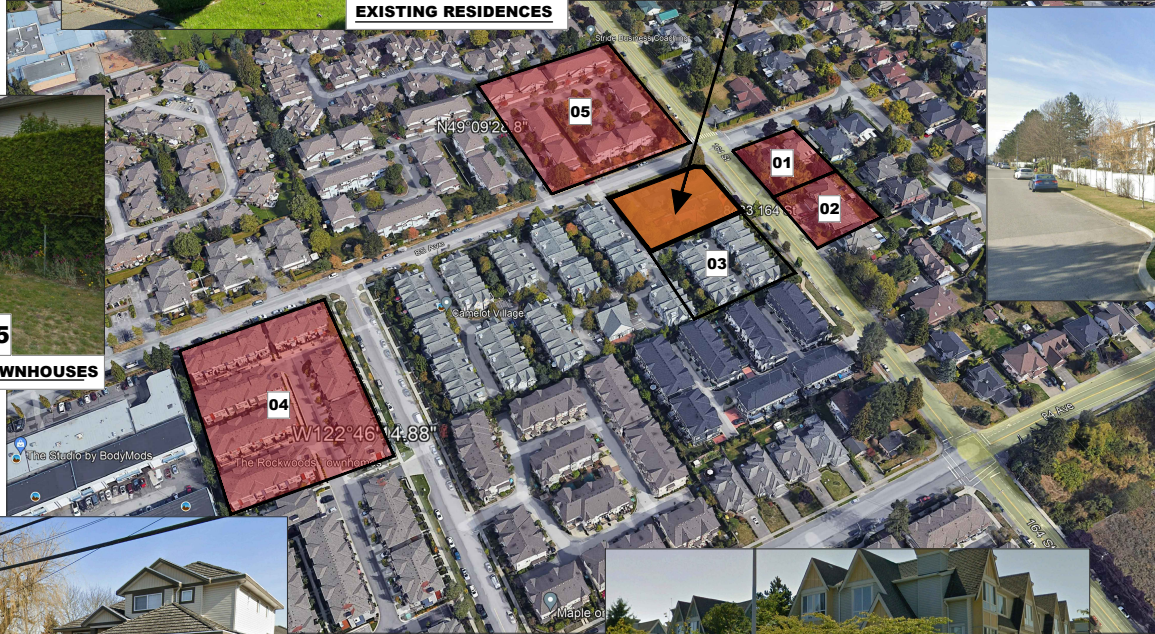
SEP 13, 2022



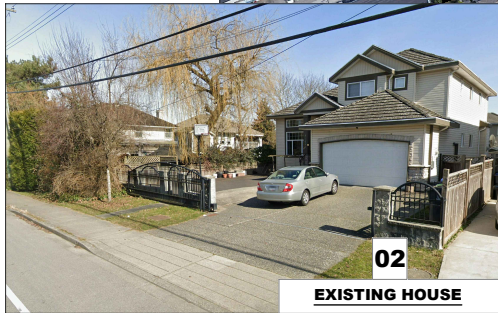
EXISTING RESIDENCES



EXISTING TOWNHOUSES



EXISTING TOWNHOUSES



EXISTING HOUSE



EXISTING TOWNHOUSES

55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.0.3

CONTEXT
PLAN

SEP 13, 2022



1 NORTH ELEVATION (85TH AVENUE)
Scale: 1/8"=1'-0"

MATERIAL LEGEND	
1	6" FIBER CEMENT BOARD HORIZONTAL SIDING (WHITE)
2	IRONSIDE TUNDRA BRICK
3	FIBER CEMENT BOARD PANELS (WHITE)
4	FIBER CEMENT BOARD PANELS (LIGHT GREY)
5	FIBER CEMENT BOARD PANELS (DARK GREY)
6	FACIA (DARK GREY)
7	FACIA (ARCTIC WHITE)
8	VINTAGEE - WOOD- CEDAR LONGBOARD (NICHIA)
9	GLASS RAILING
10	WOOD SOFIT



2 EAST ELEVATION (164TH STREET)
Scale: 1/8"=1'-0"

55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.3.1

ELEVATIONS

SEP 13, 2022



1 SOUTH ELEVATION
Scale: 1/8"=1'-0"



2 WEST ELEVATION
Scale: 1/8"=1'-0"

MATERIAL LEGEND

1	6" FIBER CEMENT BOARD HORIZONTAL SIDING (WHITE)
2	IRONSIDE TUNDRA BRICK
3	FIBER CEMENT BOARD PANELS (WHITE)
4	FIBER CEMENT BOARD PANELS (LIGHT GREY)
5	FIBER CEMENT BOARD PANELS (DARK GREY)
6	FACIA (DARK GREY)
7	FACIA (ARCTIC WHITE)
8	VINTAGEE - WOOD- CEDAR LONGBOARD (NICHIA)
9	GLASS RAILING
10	WOOD SOFIT

55 UNITS MULTI FAMILY DEVELOPMENT

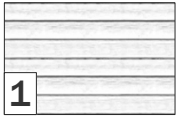
PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.3.2

ELEVATIONS

SEP 13, 2022



6" FIBER CEMENT BOARD HORIZONTAL SIDING (GRAY-OWL)



IRONSIDE TUNDRABRICK (2.5" HIGH & 7.85" LONG) (BRAND: ELDERNADO STONE)



FIBER CEMENT BOARD PANELS BENJAMIN-MOORE (OFF WHITE)



FIBER CEMENT BOARD PANELS FARROW AND BALL (LAMP ROOM GRAY)



FIBER CEMENT BOARD PANELS BENJAMIN-MOORE (TRICORN BLACK)



FACIA (TO MATCH WITH TRICORN BLACK)



FACIA (TO MATCH WITH OFF WHITE)



VINTAGEE - WOOD- CEDAR LONGBOARD METAL



55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC



A.3.3

MATERIAL SPECIFICATIONS

SEP 13, 2022



① VIEW ALONG 164TH STREET (SOUTH-EAST)



② REAR VIEW



③ VIEW ALONG 85TH STREET (NORTH)

55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC

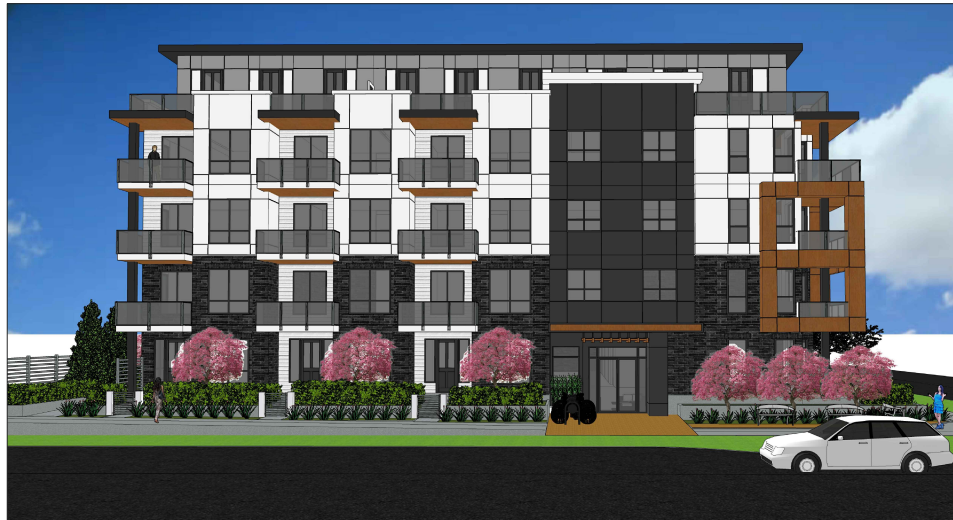




① VIEW ALONG 85TH AVENUE



② MAIN ENTRANCE



③ VIEW ALONG 164TH STREET

55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC





① VIEW OF OUTDOOR AMENITY



② SOUTH EAST VIEW

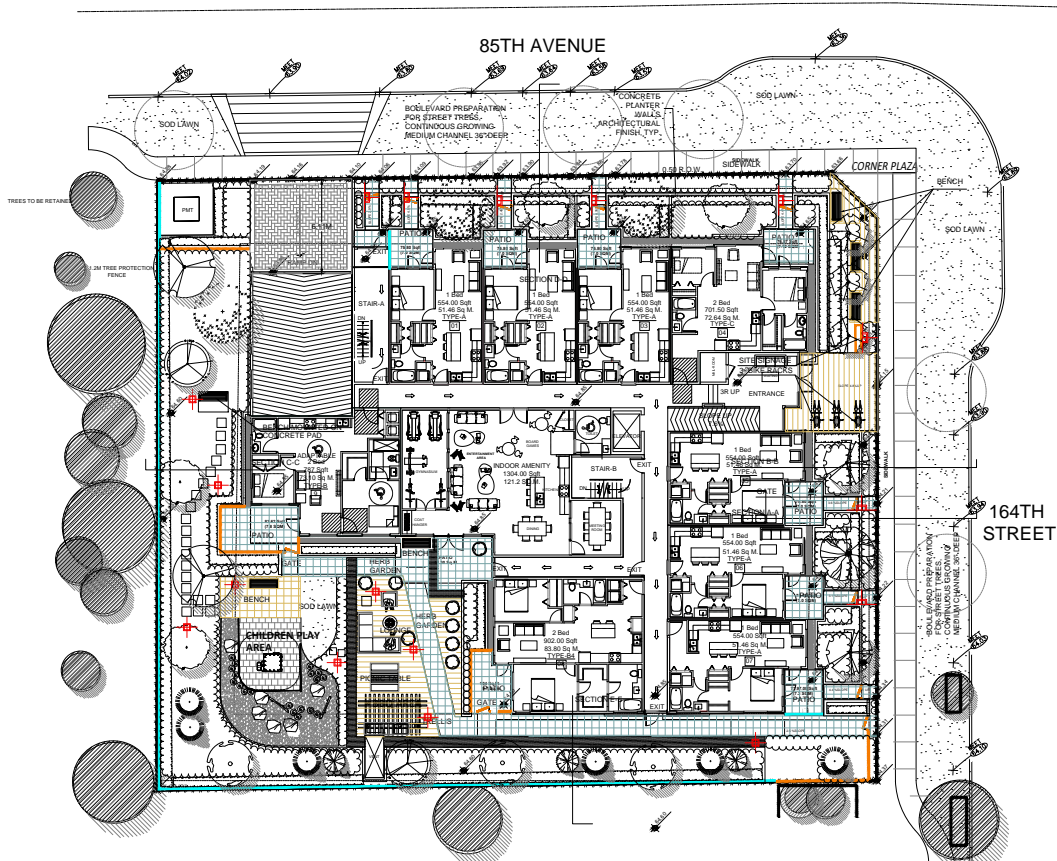


③ NORTH WEST VIEW

55 UNITS MULTI FAMILY DEVELOPMENT

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
8483, 8495 164 ST. SURREY, BC





TREE SCHEDULE		PMG PROJECT NUMBER: 20-064		
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	2	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL. 1.8M STD; B&B
	3	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; 1.5 STD; B&B
	3	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINKOY CYPRESS	3M HT; B&B
	4	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	5CM CAL. 1.5 STD; B&B
	2	CRATAEGUS LAVALLEI	LAVALLE HAWTHORN	6CM CAL. 1.5 STD; B&B
	2	GINGKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR, CLIMATE CHANGE SUITABLE	6CM CAL. 2M STD; B&B
	1	MAGNOLIA ROBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. 1.5 STD; B&B
	1	PARROTIA PERSICA 'VANESSA'	VANESSA PERSIAN IRONWOOD	6.0CM CAL. 1.5M STD; B&B
	6	PICEA OMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	2.5M HT; B&B
	3	QUERCUS ROBUR 'FASTIGIATA'	FASTIGIATE ENGLISH OAK	6CM CAL. 1M STD; B&B

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NOTE: * All soft landscape areas to be irrigated with automatically controlled high-efficiency irrigation, installed to I.L.A.B.C. Standards, latest edition.

FURNITURE KEY



PAVER LEGEND

	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS NATURAL BLEND
	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS SANDALWOOD BLEND
	2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS CHARCOAL BLEND
	PLAY AREA RUBBER FALL TILES LIGHT BLUE AND GREEN ALTERNATING COLOUR, RUNNING BOND
	1'X2' ABBOTSFORD CONCRETE CORTEZ HYDRAPRESSED SLABS SANDALWOOD BLEND
	2'X2' STEPPING STONE

FENCE KEY

	1.8m HT. WOOD FENCE
	1.0m HT ALUMINUM FENCE & GATE
	CONCRETE PLANTER WALL

SITE FURNITURE LEGEND

Symbol	Model
	BIKE RACK
	BENCH
	BOLLARDS, BURY 1/3RD MIN. 24" & MAX. 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE

LIGHTING LEGEND

	BOLLARD LIGHT
	STEP LIGHT

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Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia V5G 6G9
p. 604 294-0011, f. 604 294-0022

SEAL:

15	22 SEP 13	UPDATE PER NEW SITE PLAN	CLS
14	22 SEP 03	UPDATE PER ASD COMMENTS	CLS
13	22 JUL 25	GARAGE AREA ACCESS	CLS
12	22 JUL 25	NEW SITE PLAN CITY COMMENTS	CLS
11	22 JUN 24	REVISION AS PER CITY COMMENTS	CLS
10	22 MAY 31	NEW SITE PLAN	CLS
9	22 MAR 11	NEW SITE PLAN	CLS
8	22 FEB 03	REVISION AS PER CITY COMMENTS	CLS
7	21 JAN 27	NEW SITE PLAN	CLS
6	21 JAN 20	NEW CIVIL PLAN	CLS
5	21 OCT 12	NEW CIVIL PLAN	CLS
4	21 OCT 12	UPDATE PER NEW SITE PLAN	CLS
3	20 DEC 18	NEW SITE PLAN	CLS
2	20 NOV 20	UPDATE PER NEW SITE PLAN	JR
1	20 NOV 19	UPDATE PER NEW SITE PLAN	JR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CONDOMINIUM DEVELOPMENT

8483/8495 164 STREET SURREY

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 20 JUN 11 DRAWING NUMBER:

SCALE: 1:150

DRAWN: JR

DESIGN: JR

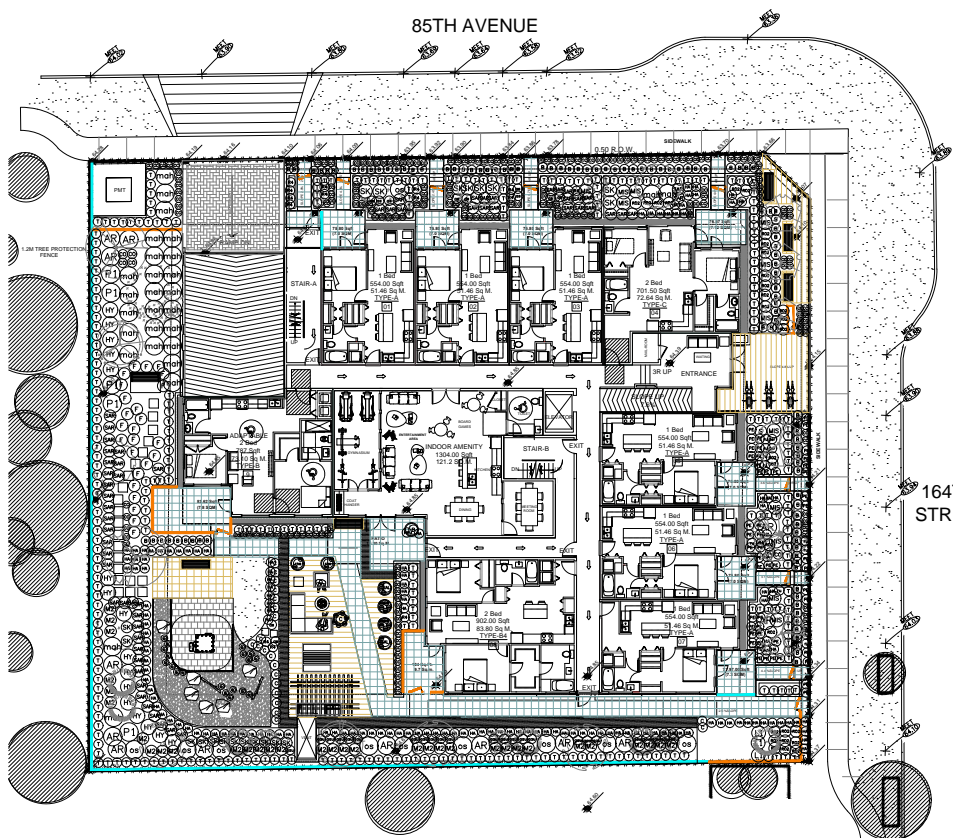
CHKD: PC

L2

OF 5

SEAL:

85TH AVENUE



164' STRI

PLANT SCHEDULE

PMG PROJECT NUMBER: 20-064

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
13		ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT; 80CM
106		BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
6		CORNUS SERICEA 'KEUSEY'	KELSEY'S DWARF RED OSIER DOGWOOD	#2 POT; 50CM
16		HYDRANGEA MACROPHYLLA 'PHANTOM'	PHANTOM HYDRANGEA; PINK-WHITE	#2 POT; 50CM
33		MAHONIA AQUIFOLIUM	OREGON GRAPE	#2 POT; 40CM
28		MAHONIA x MEDIA 'CHARITY'	CHARITY MAHONIA	#3 POT; 50CM
10		OSMANTHUS x BURKWOODII	BURKWOOD OSMANTHUS	#3 POT; 50CM
5		PHYSCOCARPUS OPULIFOLIUS 'DIAOLO'	PURPLE NINEBARK	#3 POT; 50CM
3		PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	1.0M HT
15		RHODODENDRON 'SNOW LADY'	RHODODENDRON, WHITE	#2 POT; 30CM
29		ROSA 'SCARLET MEDLAND'	SCARLET MEDLAND ROSE	#2 POT; 40CM
59		SARCOCOCCA HOOKERANA 'RUSCIFOLIA'	FRAGRANT SARCOCOCCA	#2 POT
20		SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT
1		SPIRAEA x BUMALDA 'LIMEMOUND'	LIMEMOUND SPIREA	#2 POT; 40CM
301		TAXUS x MEDIA 'HICKSB'	HICKS YEW	1.0M B&B
GRASS				
22		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
198		CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
142		HAKONECHLOA MACRA 'ALLEGOLD'	ALLEGOLD JAPANESE FOREST GRASS	#1 POT
12		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#2 POT
51		PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
		ASTILBE x ARENDSSII 'RED SENTINEL'	FALSE SPIREA; RED	#1 POT
11		MENTHA PIPERITA	PEPPERMINT	#1 POT
4		ORIGANUM VULGARE 'AUREUM'	GOLDEN OREGANO	#1 POT
2		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	15CM POT
2		ROSMARINUS OFFICINALIS	ROSEMARY	#2 POT
10		RUDECKIA FULGIDA VAR SULLIVANTII 'GOLDLOCK'	RUDECKIA; YELLOW-ORANGE	15CM POT
12		SALVIA OFFICINALIS	CULINARY SAGE	#2 POT
24		GAULTHERIA SHALLOM	SALAL	#1 POT; 20CM; 60CM O.C.
25		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM

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NOTE:
- All soft landscape areas to be irrigated with automatic installation to I.L.A.B.C. Standards, latest edition.

NO.	DATE	REVISION DESCRIPTION	DR.
13	22 SEP 13	UPDATE PER NEW SITE PLAN	CLG
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27	20 NOV 19	UPDATE PER NEW SITE PLAN	EDJ

CLIENT:

PROJECT:
CONDOMINIUM DEVELOPMENT
8483/8495 164 STREET
SURREY

DRAWING TITLE:
SHRUB PLAN

DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:150
DRAWN: JR **L3**
DESIGN: JR
CHKD: PC **OF 5**

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 27, 2022** PROJECT FILE: **7817-0427-00**

RE: **Engineering Requirements (Multi-Family)
Location: 8483/8495 164 Street**

OCP AMENDMENT/NCP AMENDMENT/DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of the OCP/NCP Amendment:

- Provide sanitary sewer capacity analysis downstream of the subject application and resolve any capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 0.942 m towards 164 Street.
- Dedicate required corner cuts.
- Register 0.5 m statutory right-of-way along all road frontages.

Works and Services

- Construct west side of 164 Street.
- Construct south side of 85 Avenue
- Construct water main on 85 Avenue.
- Complete SWCP and resolve downstream constraints, as identified.
- Provide water, storm and sanitary service connections to each lot, and abandon all existing connections.
- Provide on-site stormwater mitigation and water quality features.
- Implement geotechnical and hydrogeological recommendations for the road works and underground parkade, as applicable.
- Register applicable legal documents permits as required.

A Servicing Agreement is required prior to Rezone/Subdivision.



Jeff Pang, P.Eng.
Development Services Manager
DJS

NOTE: Detailed Land Development Engineering Review available on file



September 21, 2022

Planning

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0427 00

SUMMARY

The proposed 55 lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	11
Secondary Students:	6

September 2021 Enrolment/School Capacity

Frost Road Elementary	
Enrolment (K/1-7):	50 K + 538
Operating Capacity (K/1-7)	76 K + 559
North Surrey Secondary	
Enrolment (8-12):	1418
Capacity (8-12):	1175

Projected population of school-age children for this development:	21
--	----

Population: The projected population of children aged 0-19 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

School Enrolment Projections and Planning Update:

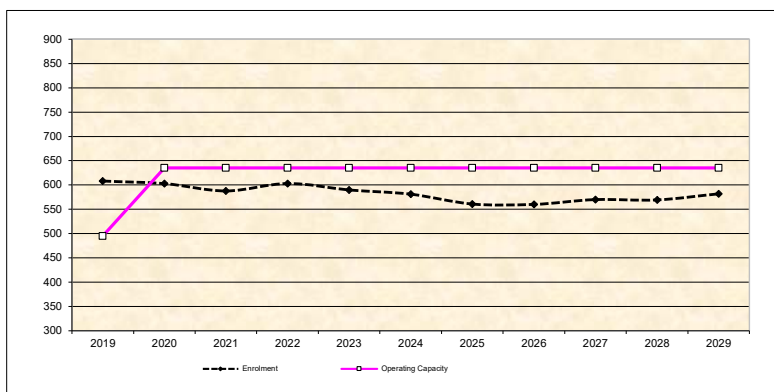
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

The District opened a 100 capacity addition at Frost Road Elementary Fall 2020. Both the site and school will have reached maximum build out capacity with the opening of the new classroom space.

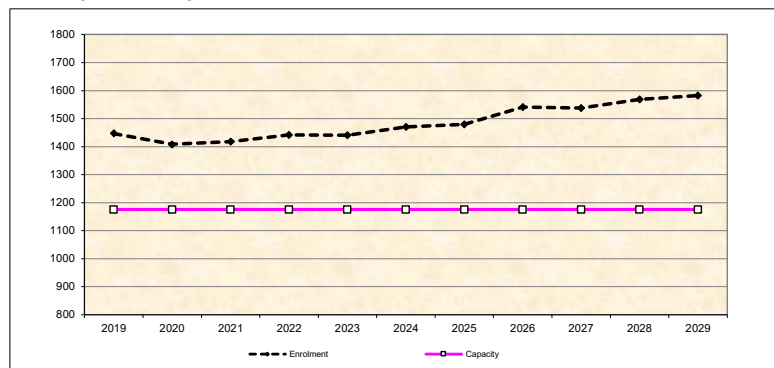
The 10-year enrolment projections in this report have not included for future enrolment growth from the proposed transit oriented housing that will support the new Skytrain line. The projections for both elementary and secondary are based on migration factors and are to be considered very conservative.

North Surrey Secondary is operating at 121% and projected to grow to 1500+ students by the middle of this decade. Like the elementary projection, the enrolment growth shown below is extremely conservative. As part of the 2023/2024 Five year Capital Plan submission to the Ministry of Education, the District is requesting a 325 capacity addition. This project has not been approved by the Ministry as of yet.

Frost Road Elementary



North Surrey Secondary

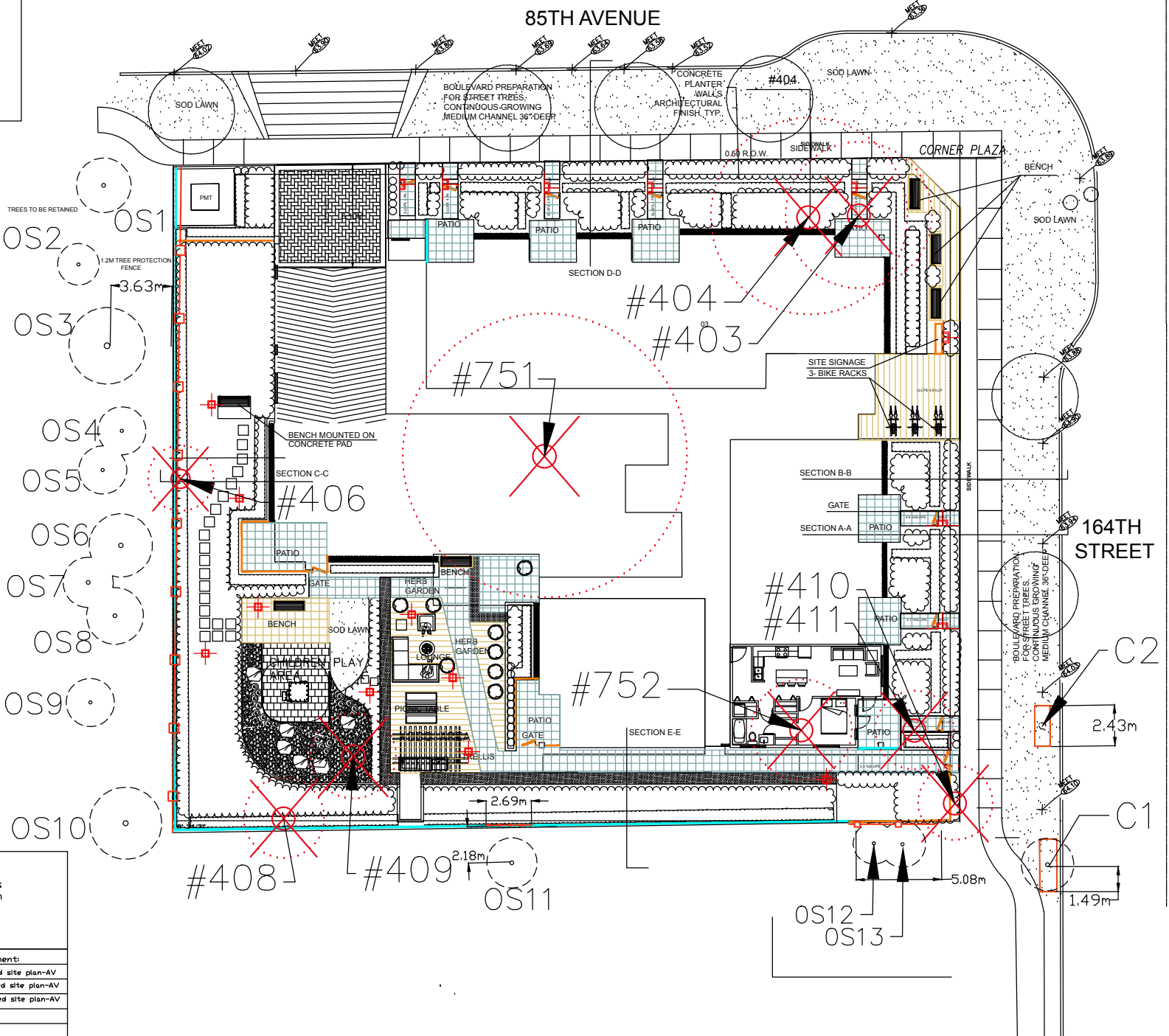


* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Appendix C – Summary of Tree Perseveration

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including tree within boulevards and proposed streets and lanes, but excluding tree in proposed open space or riparian areas)	11
Protected Trees to be Removed	9
Protected Trees to be Retained (excluding tree in proposed open space or riparian areas)	2
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to1 Replacement Ratio __0__ x one (1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio __9__ x two (2) =18	18
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed (Open Space/Riparian Areas)	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to1 Replacement Ratio __0__ x one (1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio __0__ x two (2) =0	N/A
Replacement Tree Proposed	N/A
Replacement Trees in Deficit	N/A



Retention/Removal recommendations on a preliminary basis. Final recommendations will be based upon discussion with City of Surrey, design/construction and grading details.

Drawings, diagrams and photographs contained in this report, are intended as visual aids and should not be interpreted as engineering reports or legal surveys.

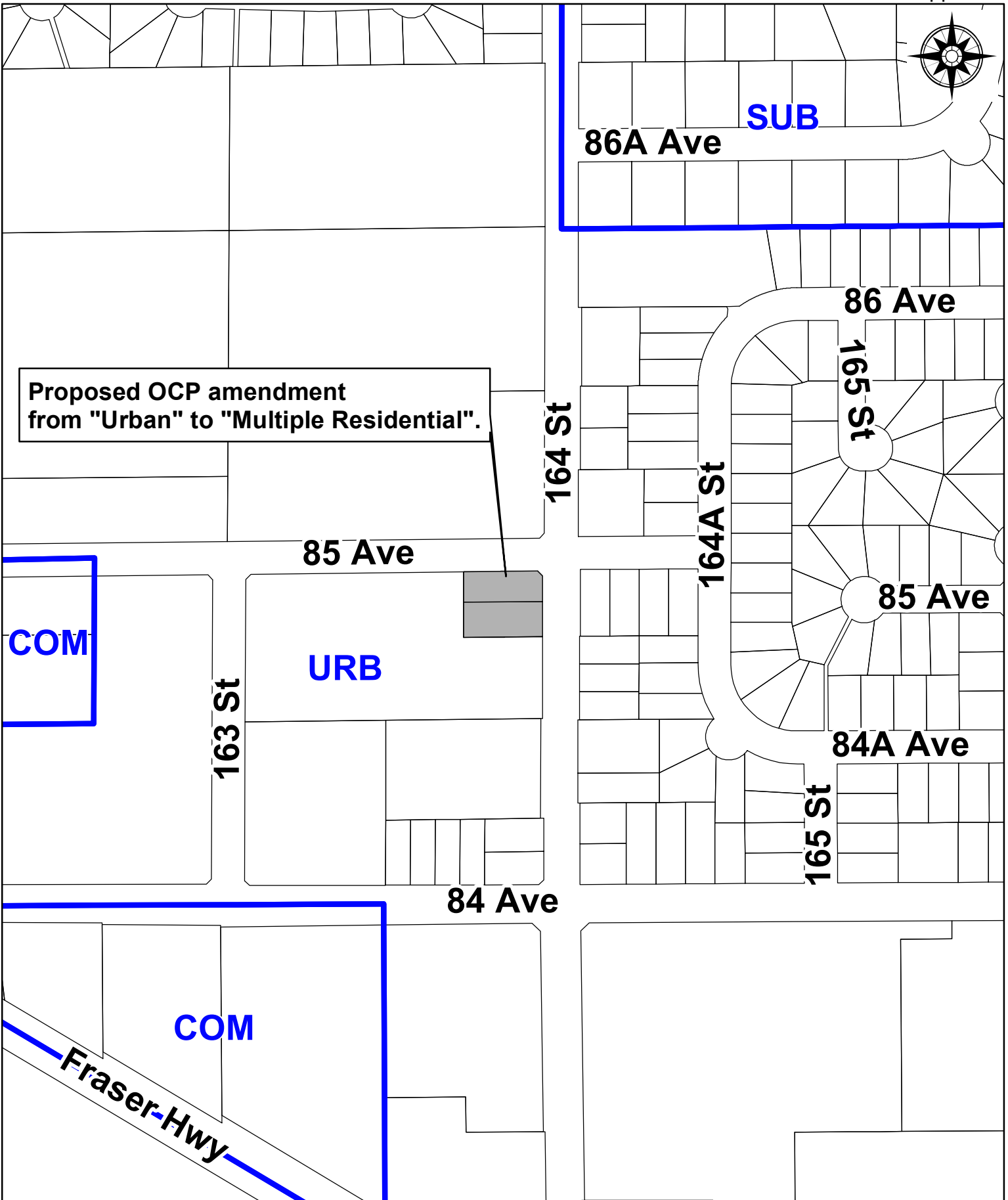
Contact (Arbor & Co, Phone: 778-886-1566, Email: arbor@arborco.org) for inspection 72 hours prior to any grading or excavations within the tree protection zone.

*All Protected trees within the site have been shown. Non-Bylaw size trees are not shown on the drawing of the subject property.

LEGEND

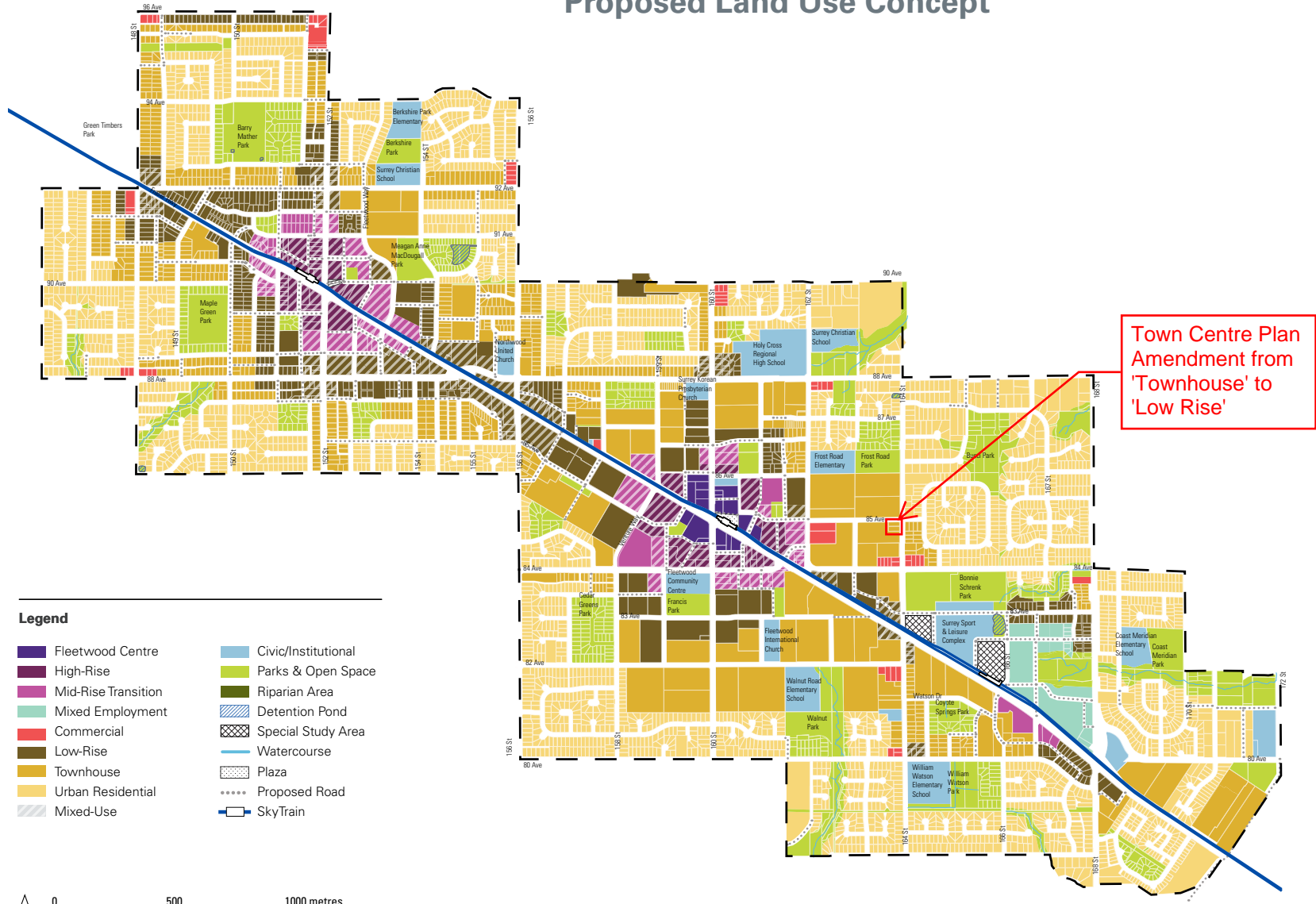
	Trees Recommended for Removal (6xdbh)		Retained Trees with CRZ shown (DBHx6)
	Tree Protection Fencing		

Site Address: 8483-8495 164th St	Revisions & Comments:
Prepared By: Arbor & Co.	10/20/2021: Updated site plan-AV
Sheet Title: Tree Preservation & Removal Plan	02/02/2022: Updated site plan-AV
Scale: As Shown	08/22/2022: Updated site plan-AV
Sheet Number: TP-1	



Stage 1 Fleetwood Plan | Summary

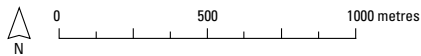
Proposed Land Use Concept



Town Centre Plan Amendment from 'Townhouse' to 'Low Rise'

Legend

- Fleetwood Centre
- High-Rise
- Mid-Rise Transition
- Mixed Employment
- Commercial
- Low-Rise
- Townhouse
- Urban Residential
- Mixed-Use
- Civic/Institutional
- Parks & Open Space
- Riparian Area
- Detention Pond
- Special Study Area
- Watercourse
- Plaza
- Proposed Road
- SkyTrain



Address: 8483 and 8495 – 164 Street

Key Points

- Consider further design development, and potentially larger scale, of corner feature element. Detail how the corner element will connect to building.
We have redesigned the corner feature element & showing the details on floor plans & elevations that how it is connected with the building. Please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 to review changes.
We have reoriented the benches and re-specified the trees to a columnar variety to increase the scale of the corner plaza.
- Consider revisiting the column treatment and color as well as the balcony above in relation to corner feature element.
We have now changed the color of column from brown (Cedar) to black to match with the Tricorn Black Fascia's (Projection). And the balcony is now extended to the north side of the living room to provide more space in balcony. Please, refer to the sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes.
- Provide further articulation on the south & west facades to break up the 4/5 storey massing as they interface with the neighboring properties; consider a larger setback on the south elevation to limit apparent scale transition.
We have revised the elevations substantially as following:
-All the sides of the proposed building is treated equally with the introduction of brick cladding as we are proposing 2-storey townhouse character. The 4-storey character on the sides facing single families and the existing townhouse development was further subdued by lighter color following the 2-storey brick character.
-The elevations are further refined with the simplified form, character and design language.
-All the sides are treated as if they are fronting a street and an attempt has been done to propose harmony in terms of the material selection, so that no side feels it's neglected.
- Consider larger caliper species and year-round vegetation at interface with properties to the south & west.
We have re-specified taller broadleaved evergreen species, resilient and native species to create a year-round interest and continuous buffer between neighboring properties to the south and west.
- Consider simplifying materials/material systems.
We tried to improve the rhythm and proportion of the building by providing

same materials on all the sides. We simplified the materials as much as we can.

- Confirm black window frames are implemented in construction.
Window frame that we are providing are black only.
- Confirm common indoor amenity area is air conditioned and consider other means to mitigate overheating in the building.
Yes ownership has confirmed they will provide air conditioning for the Indoor amenity.
- Consider access for residents from Outdoor Amenity at west to 85th avenue.
There is a direct connection form the outdoor amenity to 165th street, however any additional access may trigger a CPTED issue.
- Consider energy modelling to inform design process and consider using future climate files for thermal comfort modelling to test resiliency and ensure livability in future.
Noted.

Site

- Refer to Key Points

Form and Character

- Consider simplifying materials/minimizing your material palette.
We tried to reduce the number of materials as much as we can.
Updated, Please refer to the sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.3.
- Use a standard brick to promote a sense of permanence, texture, warmth & shadow to the ground plane/public realm.
To promote the sense of permanence, texture, warmth & shadow to the ground plane/public realm, we are now using Standard Brick cladding and no veneers will be used. Please refer to the sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.3.
- Consider further resolving the white fascia's over the entry and their overhang/depth for constructability.
Overhangs/depths for the white fascia's is now reduced. Please refer to the sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.3.
- Consider simplifying the wood feature form on north-east corner. The wall breaking the form on north side is weakening the form. By removing the wall, the form becomes more simplified, and it allows the north-east corner balcony/terrace to be extended to north side of the living room.
We have now removed the wall to make is more simple and the balcony is now extended to the north side of the living room. Please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes.
- Consider a more vertical expression for the corner feature since it is located at the prominent corner.
We have tried to simplify the corner feature as much as possible. Corner

feature is giving more vertical expression by removing wall and extending the balcony to make it more simple and defined.

- Reconsider the bathroom windows above the entry in the wood panel as they are weakening the overall character of the building and negatively impacting the entry.
We have redesigned the unit layout and the entrance, and that window is for kitchen now. Updated, please refer to sheets ADP.3.1 to ADP.3.3 & ADP.2.2 (2nd Floor Plan) for more updates.
- Consider the columns at the corner which are intruding to the balconies.
We have now revised the columns finish from cedar to dark tone in order to subdue the effect they were conveying before. Please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes.
- Further consideration should be given to the black/dark portion of the exterior wall on east side of the parkade ramp at grid lines 2-3 and B (refer to page ADP 5.1) does not appear to give the same expression as the other modules. In the other modules the features are extended from level 1 to 2 with the flush surface but in this one, level 1 has recessed, and the continuity of the features is taken. It is recommended either removing the black feature at this location or to pull out level 1 portion to make it flush with level 2.
The black feature is now pulled out on level 1 to make it flush with level 2. Updated, please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes.
- Consider the wood clad columns as the diminishing from the strong wood elements at the corner. A darker or white clad may be better.
Updated, please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes. We have now changed the color of columns from brown (cedar) to black to match it with the Tricorn black fascias.
- Verify if the exit stairs meet building code. If not, that will change the design of your floors.
Yes, the exit stairs are meeting building code. We are showing this on floor plans for your review. Please refer to the Sheets ADP.2.1 TO ADP.2.3 for more updates and to note the distances.
- Consider black window frames as they are a key element of the attractive exterior elevations. However, these are often dropped later due to cost issues, and this would drastically change the look of the buildings. It is important that the city obtain some form of firm commitment that they will be retained. Alternatively, the applicant should provide alternative elevations showing white or beige frames, so the actual design can be properly assessed.
We are providing black window frames as they are a key element of the attractive exterior elevations. Please refer to sheets, ADP.3.1 to ADP.3.3 & ADP.5.1 to ADP.5.5 for changes.

Landscape

- Exterior amenity areas are well programmed and have good sun access.
Noted.

- Great parkade design; allows for large soil volumes around the perimeter of the site. Supports the growth of large size trees and help moderate the massing of the building.
Noted.
- Consider larger scale trees, especially more conifers to help soften the building mass and overlook issues on the sides adjacent to existing lower density private lots.
We have specified taller conifers, slightly larger scale deciduous and greater quantity of resilient species drawn from the Urban Tree List for Metro Vancouver in a Changing Climate.
- Consider the year-round vegetation as it will be beneficial.
Indeed our plant lists are mixed deciduous and evergreen, we have boosted the overall evergreen species.
- Consider alternative material for the small lawn for simpler maintenance.
We have considered a substitution – however this is the only common use area of lawn – it is optimally located for indirect south and west sunlight, and it is adjacent children’s play area, where we believe the feeling of sod underfoot is a tactile teaching tool that will be well appreciated.
- Consider the scale and massing of the project; any additional revisions to the building or landscape can reduce the mass and help the project to integrate better into the neighborhood.
We have added a tree to the southeast corner of the site to reduce the mass at the corner.

CPTED

- No specific issues were identified.

Sustainability

- Consider strategies to mitigate overheating including larger operable windows, maximizing cross ventilation in corner units, lower heat gain glazing, and shading as much as possible.
Yes, we are providing large casement windows & residents can open them when needed. Also, they will be followed by high quality blinds to further reduce the heat gains.
- Consider alternatives to up lighting to avoid light pollution.
We have shown a Dark Sky certified step light fixture instead of up lighting. The specified lighting bollard is also Dark Sky certified.
- Consider high quality bike amenities including good wayfinding for bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bike charging.
As described above we will provide at least 50% bike charging stations & we will make sure to have directional signs for bicycles to find the way to the storage.
- Consider incorporating a bike maintenance area that can also serve as a casual space for interaction. Carefully consider how bicyclists interact with pedestrians and drivers both on the ground plane and within buildings.
High quality bike amenities are now provided in the Parkade lvl-1, which is right

next to the bike storage. Please, refer to the sheets ADP.2.o.

- Consider alternatives to Ipe which comes with negative impact on tropical forests.

We have re-specified the options for the bench to use FSC certified high density paper composite, that uses recycled paper fiber.