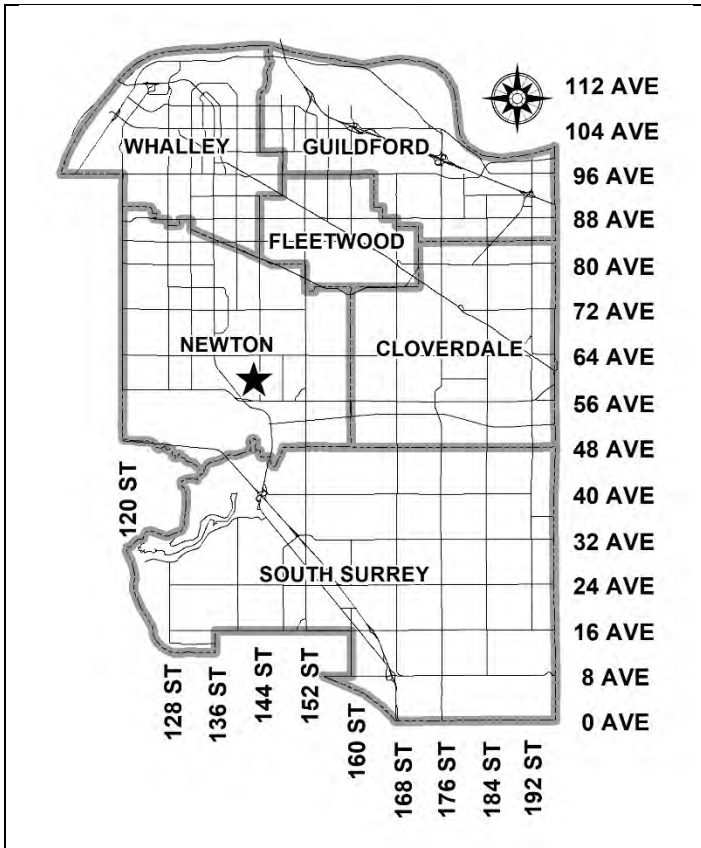


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7917-0069-00
 7917-0069-01

Planning Report Date: April 3, 2023



PROPOSAL:

- **Development Variance Permit**

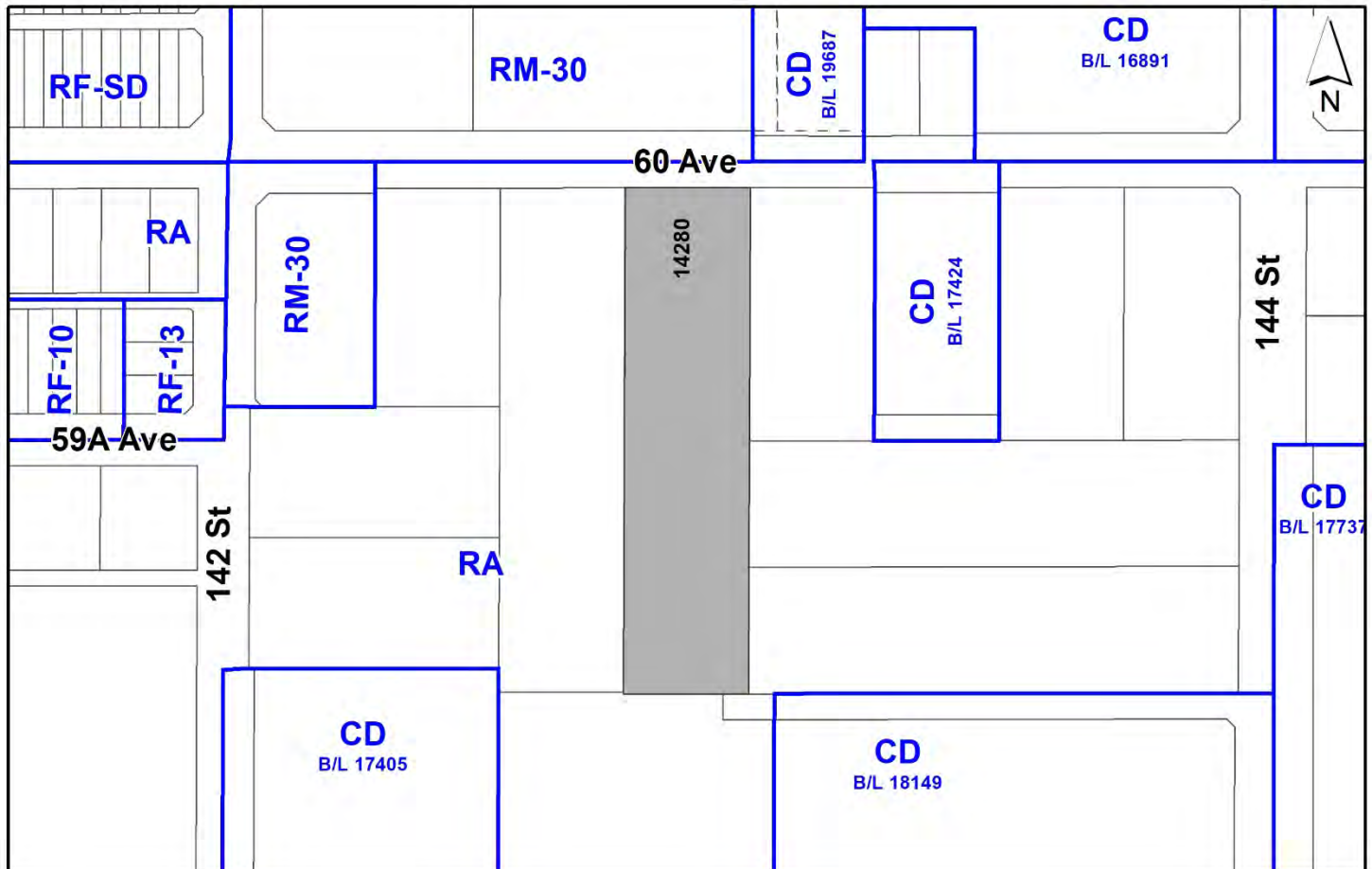
to eliminate the minimum required indoor amenity space for a townhouse development.

LOCATION: 14280 - 60 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouses (15 u.p.a. max)



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the minimum physical indoor amenity space required for an 18 unit townhouse development on Lot 1 from 37 square metres to 0 square metres and for a 21 unit townhouse development on Lot 2 from 37 square metres to 0 square metres.

RATIONALE OF RECOMMENDATION

- On April 15, 2019, Council granted 3rd Reading on Development Application No. 7917-0069-00, proposing a Neighbourhood Concept Plan Amendment, Rezoning, Development Permit and Development Variance Permit in order to permit the development of 39 townhouse units between two developments on separate lots.
- On November 18, 2019, Council gave final adoption to Text Amendment By-law No. 19945 (Corporate Report R206; 2019) which included amendments to add minimum indoor and outdoor amenity space requirements to various multiple residential zones within the Surrey Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)".
- Based on the standard Zoning By-law requirement of 3.0 square metres per dwelling unit for indoor amenity space under the "Multiple Residential 30 Zone (RM-30)", the proposed development requires a total of 117 square metres of indoor amenity space (18 units- 54 square metres for Lot 1 and 21 units- 63 square metres for Lot 2).
- The amendments to the Zoning By-law included changes to Part 4, General Provisions, which now require ground-oriented multiple unit residential projects proposing 11 to 24 units to provide a minimum 37 square metres of physical indoor amenity space.
- Council previously approved the applicant's request to eliminate the required indoor amenity space on the subject application on April 15, 2019, prior to the amendments that added minimum indoor amenity space requirements to the General Provisions of the Zoning By-law. The applicant is proposing to provide no physical indoor amenity space, given the scale of the proposed development (18 units and 21 units) and that the buildings will be on two separate lots with different stratas.
- The proposal includes approximately 122 square metres of outdoor amenity space, meeting the Zoning By-law requirement of 3.0 square metres per dwelling unit (117 square metres total).
- The applicant has agreed to provide a monetary contribution of \$117,000 (based on \$3,000 per unit) to address the shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7917-0069-01 (Appendix II), to reduce the minimum physical indoor amenity space required for an 18 unit townhouse development on Lot 1 from 37 square metres to 0 square metres and for a 21 unit townhouse development on Lot 2 from 37 square metres to 0 square metres, to proceed to Public Notification.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family residential	Townhouses (15 u.p.a.max)	RA
North:	Townhouses	Townhouses (25 u.p.a. max)	RM-30
East:	Single family residential	Apartments (45 u.p.a. max) and Mixed Commercial-Residential (Apartments)	<p>RA</p> <p><i>Development Application No. 7918-0174-00 to the east, along 60 Ave, has received 3rd Reading for Rezoning from RA to CD (based on RM-45) to allow seventy (70) residential units.</i></p> <p><i>Development Application No. 7918-0081-00 to the east, south of future 59A Avenue, proposes Rezoning from RA to CD (based on RM-70 and C-5 to permit the development of one 4-storey mixed-use building consisting of 57 residential units and 7 Commercial Retail Units, and one 5-storey residential building consisting of 64 residential units.</i></p> <p><i>Development Application No. 7918-0235-0000 to the east of the south portion of the subject site (north of future 59 Avenue), has received 3rd Reading for Rezoning from RA to CD (based on RM-70 and C-5 to permit the development of two (2) 4-storey mixed use buildings and one (1) 4-storey apartment building consisting of 115 residential units, and 1,359 square metres (14,628 sq.ft.) of ground-floor commercial space.</i></p>
South:	Undeveloped, City-owned lot	Existing and Future Parks	RA
West:	Single family residential	Apartments (15 u.p.a.)	RA

Context & Background

- On November 19, 2018, Council considered Planning and Development Report No. 7917-0069-00 (See Appendix III), proposing a Neighbourhood Concept Plan (NCP) Amendment, Rezoning, Development Permit and Development Variance Permit in order to permit the development of 39 townhouse units on two lots.

- On November 18, 2019, Council gave final adoption to Text Amendment By-law No. 19945 (Corporate Report R206; 2019) which included amendments to add minimum indoor and outdoor amenity space requirements to various multiple residential zones within the Surrey Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)".
- Based on the standard Zoning By-law requirement of 3.0 square metres per dwelling unit for indoor amenity space, the proposed development requires 117 square metres of indoor amenity space.
- Council previously approved a request to eliminate the required indoor amenity space on the subject application on April 15, 2019, prior to the amendments that added minimum indoor amenity space requirements to the Zoning By-law.
- Per the recent amendments to the Zoning By-law, for ground-oriented multiple unit residential projects proposing 11 to 24 units, the minimum required physical indoor amenity space is 37 square metres (on each lot). The application is not providing the required minimum indoor amenity space and a Development Variance Permit is required.
- The applicant is proposing to provide no indoor amenity space on either townhouse site given the scale of the proposed development (18 units and 21 units respectively) and that the buildings will be on two separate lots with different stratas.
- Council has supported other requests for Development Variance Permit to eliminate the minimum indoor amenity space requirement on Development Applications that received 3rd Reading prior to the adoption of the Zoning By-law amendments. These include Development Application Nos. 7916-0063-00, 7918-0252-00, 7918-0341-00, and 7918-0404-00.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to eliminate the minimum physical indoor amenity space required under Part 4, "General Provisions", of the Surrey Zoning By-law.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Proposing to vary Part 4, "General Provisions", of the Surrey Zoning By-law to reduce the minimum physical indoor amenity space required for an 18 unit townhouse development on Lot 1 from 37 square metres to 0 square metres and for a 21 unit townhouse development on Lot 2 from 37 square metres to 0 square metres.

Applicant's Reasons:

- Council previously approved a request to eliminate the required indoor amenity space on the subject application on April 15, 2019.

- Indoor amenity space is not proposed given the scale of the proposed development (18 units and 21 units respectively) and that the buildings will be on two separate lots with different stratas.

Staff Comments:

- Per recent amendments to the Zoning By-law, for ground-oriented multiple unit residential projects proposing 11 to 24 units, the minimum required physical indoor amenity space is 37 square metres.
- Council previously approved a request to eliminate the required indoor amenity space on the subject application on April 15, 2019, prior to the amendments that added minimum indoor amenity space requirements to the Zoning By-law.
- The proposal includes approximately 122 square metres outdoor amenity space, meeting the Zoning By-law requirement of 3.0 square metres per dwelling unit. The applicant will be required to provide a monetary contribution of \$117,000 (based on \$3,000 per unit) to address the shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended.
- Council has supported other requests for Development Variance Permit to eliminate the minimum indoor amenity space requirement on Development Applications that received 3rd Reading prior to the adoption of the Zoning By-law amendments. These include Development Application Nos. 7916-0063-00, 7918-0252-00, 7918-0341-00, and 7918-0404-00.
- Staff support the requested variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

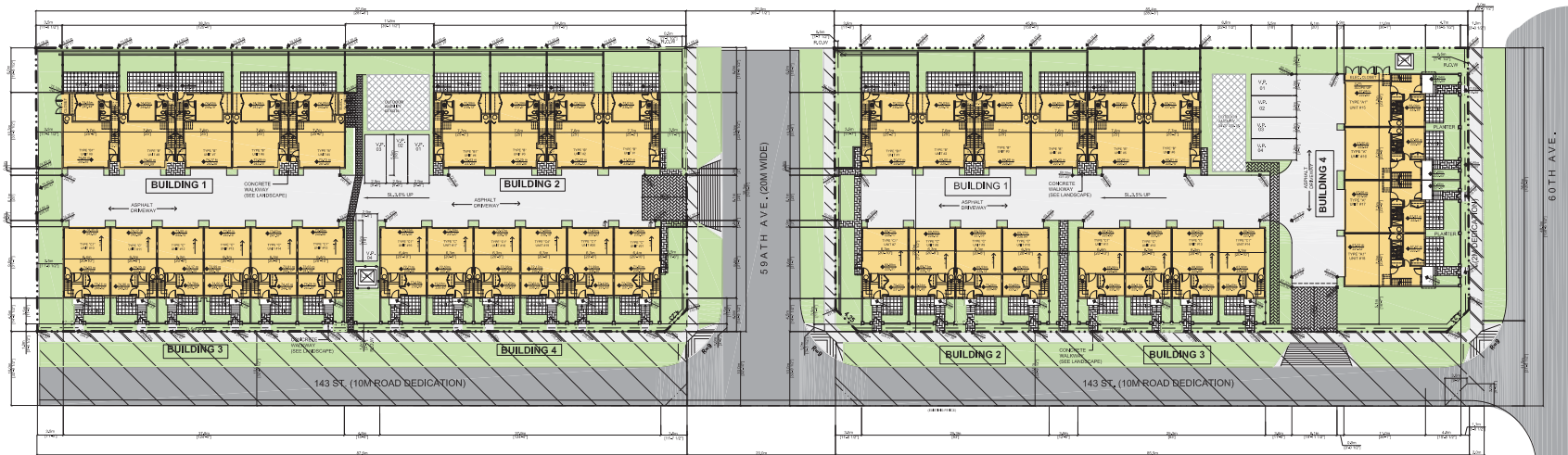
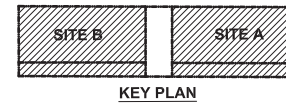
The following information is attached to this Report:

Appendix I.	Site Plan
Appendix II.	Development Variance Permit No. 7917-0069-01
Appendix III.	Planning and Development Report No. 7917-0069-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

EM/ar



SITE PLAN : Lot 2

SITE PLAN : Lot 1



**F. ADAB
ARCHITECTS
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NO.	DATE	REVISION/ISSUED
4	03-15-2019	RESUBMISSION FOR DP
3	12-15-2018	REVISED PER CITY COMMENTS
2	7-19-2018	ISSUED FOR REZONING & DP
1	10-31-2017	REVISED PER CITY COMMENTS

PROJECT TITLE:
**14280 60TH AVE,
SURREY**

FOR:
1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C., V3W 2V7

DRAWING TITLE:
SITE PLAN

DATE: OCT-17	SHEET NO:
SCALE: N/A	A-1.4
DESIGN: FA	
DRAWN: R.L.	
PROJECT NO: 1705	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0069-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-443-132
 Lot 90 Section 9 Township 2 New Westminster District Plan 63487
 14280 - 60 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Section B.1 of Part 4 "General Provisions" the minimum required indoor amenity space is reduced from 37 square metres to 0 square metres for Lots 1 and 2.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

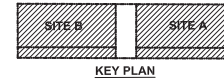
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

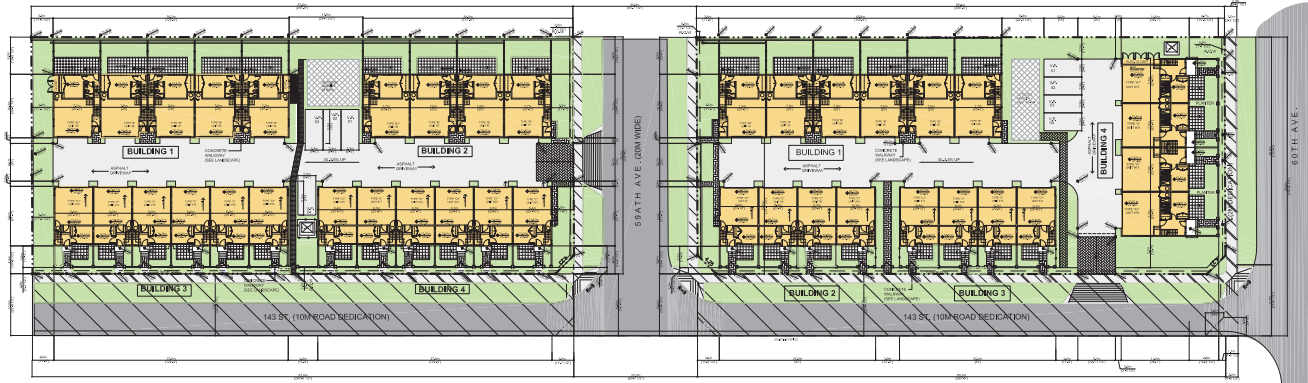
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



Development Variance Permit to reduce the minimum required indoor amenity space from 37 square metres to 0 square metres for Lots 1 and 2.



SITE PLAN : Lot 2

SITE PLAN : Lot 1



**F. ADAB
ARCHITECTS
INC.**

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MORTENHAWK B.C. V3P 2M4
TEL: (604) 897-0202 FAX: (604) 897-0203
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NO.	DATE	REVISION / ISSUED
4	05-15-2019	RESUBMITTED FOR CP
3	12-10-2018	REVISED PER CITY COMMENTS
2	7-21-2018	REVISED FOR RECORD & CP
1	10-21-2017	REVISED PER CITY COMMENTS

PROJECT TITLE:
14280 60TH AVE,
SURREY

FOR:
1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C. V3W 2V7

DRAWING TITLE:
SITE PLAN

DATE:	OCT-17	SHEET NO.:	A-1.4
SCALE:	NA		
DESIGN:	FA		
DRAWN:	RL		
PROJECT NO.:	1359		

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0069-00

Planning Report Date: April 1, 2019

PROPOSAL:

- **NCP Amendment** from Townhouses (15 upa) to Townhouses (25 upa)
- **Rezoning** from RA to RM-30
- **Development Permit**
- **Development Variance Permit**

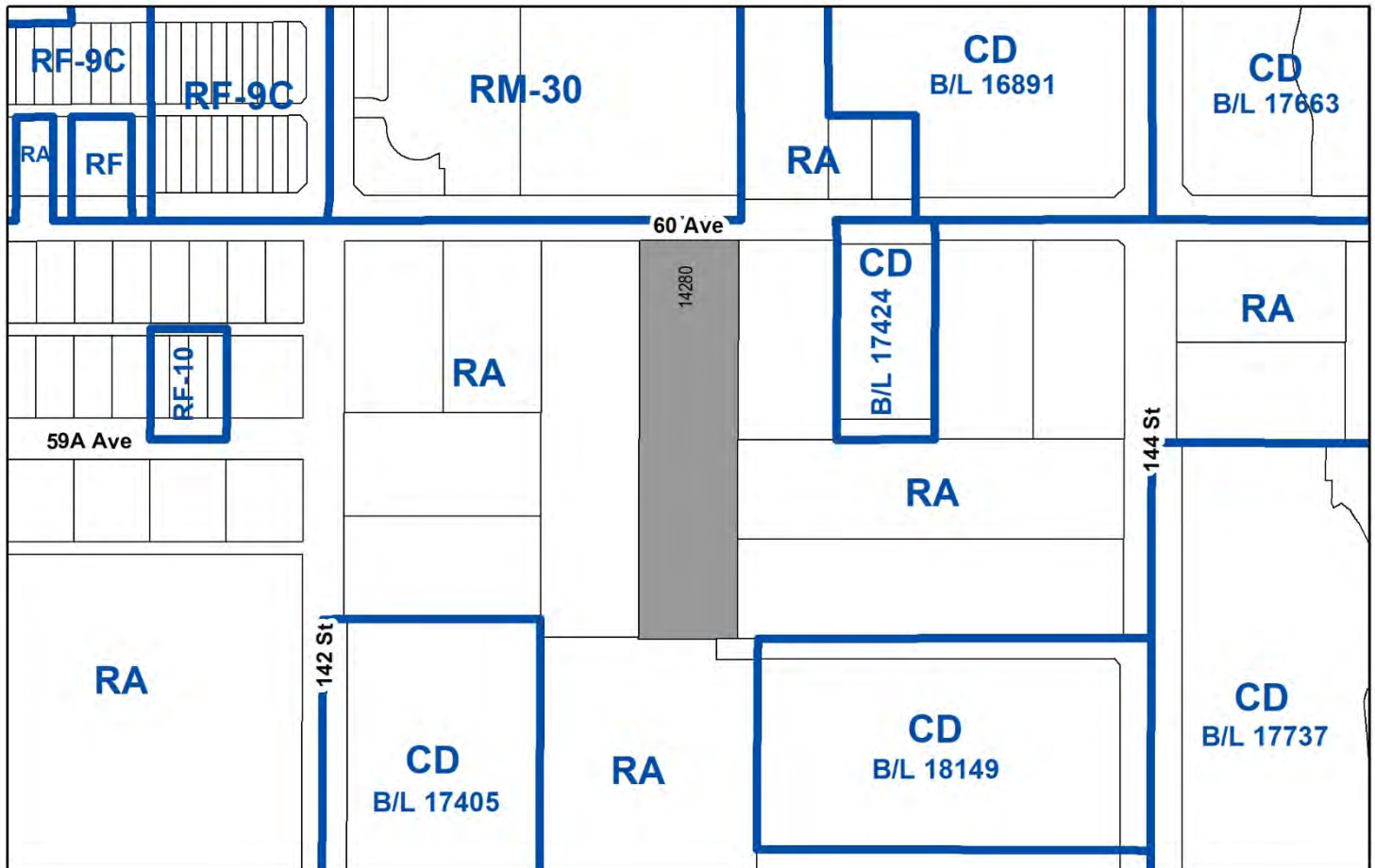
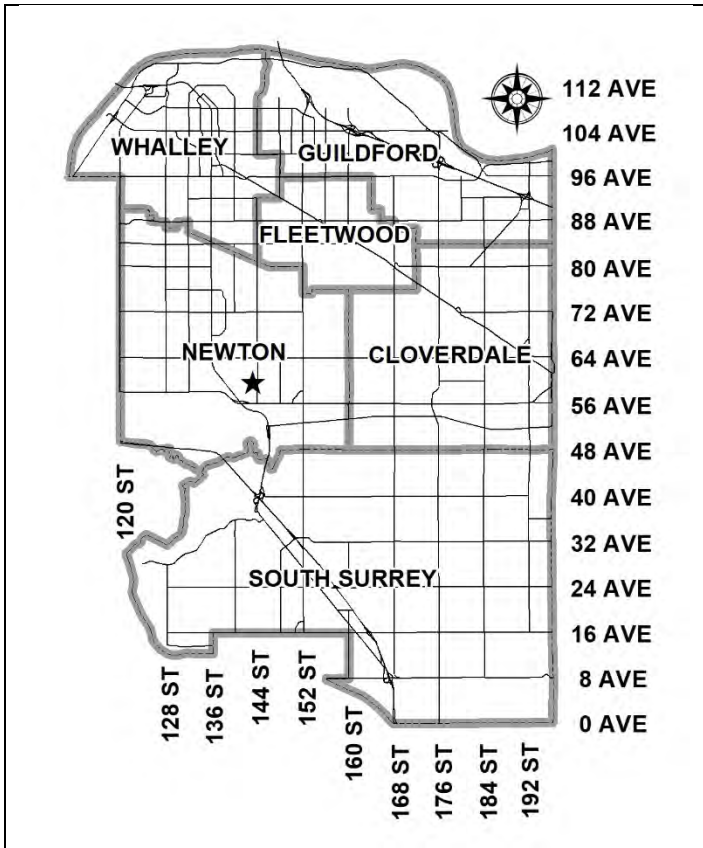
to permit the development of 39 townhouses.

LOCATION: 14280 - 60 Avenue

ZONING: RA

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouses (15 upa)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate the indoor amenity space.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking an amendment to the South Newton Neighbourhood Concept Plan (NCP) in order to allow for an increase in density from 15 upa to 25 upa, and to amend the local road network in the NCP.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's Official Community Plan (OCP) designation.
- The proposed density and building form are appropriate for this part of South Newton. The proposal is consistent with the density approved for several townhouse developments located on the north side of 60 Avenue.
- The site plan and architectural design of the project is of high quality and provides for a livable project with an outdoor amenity area for future residents.
- The project provides a significant public benefit with the delivery of a public road (143 Street) that connects 60 Avenue to 59 Avenue. Currently, the NCP shows this road between 60 Avenue and 59A Avenue. The proposed amendment is intended to improve the local road network by improving street connectivity. It will also enhance access to street frontage exposure for the future mixed-use development contemplated on the adjacent lands to the east.
- The site is divided into two, due to the required dedication of 59A Avenue. As a result, two separate stratas are proposed. Due to the size and scale of the two individual stratas, no indoor amenity space is proposed. The applicant is required provide a cash-in-lieu contribution in accordance with the City policy.
- The proposed street-fronting setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the public realm. The reduced setbacks are consistent with what has been approved for other townhouse developments in the area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Multiple Family (30) Zone (RM-30)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0069-00 generally in accordance with the attached drawings in Appendix II.
3. Council support approval of Development Variance Permit No. 7917-0069-00 (Appendix VIII) varying the following provisions of the RM-30 Zone, to proceed to Public Notification:
 - (a) to reduce the north setback from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) for Building 4 on Lot A;
 - (b) to reduce the east setback from 7.5 metres (25 ft.) to 5.1 metres (17 ft.) for Building 4 and 4.5 metres (15 ft.) for Buildings 2 and 3 on Lot A;
 - (c) to reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 2 on Lot A;
 - (d) to reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Building 1 and 3.5 metres (12 ft.) for Building 4 on Lot A;
 - (e) to reduce the north setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 2 and 4 on Lot B;
 - (f) to reduce the east setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Buildings 3 and 4 on Lot B;
 - (g) to reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 3 on Lot B;
 - (h) to reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 2 on Lot B; and
 - (i) to allow 2 visitor parking stalls to be located within the required setback on Lot A.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;

- (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation and Culture Department;
 - (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (j) the applicant adequately address the impact of **no** indoor amenity space.
5. Council pass a resolution to amend South Newton NCP to redesignate the land from Townhouses max 15 upa to Townhouses max 25 upa, and to amend the local road network in the NCP when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

10 Elementary students at Woodward Hill Elementary School
5 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Summer of 2022 for Lot A and Summer 2023 for Lot B.

Parks, Recreation & Culture:	Parks have some concerns about the pressure this project will place on existing Parks, Recreation and Culture facilities in the neighbourhood. The applicant has proposed to volunteer a contribution of \$19,500, representing \$500 per unit, which is acceptable to Parks staff. This contribution is in addition to the NCP Amenity Contribution and will be used to upgrade park infrastructure in South Newton.
Ministry of Transportation & Infrastructure (MOTI):	The proposed rezoning has received conditional approval.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 60 Avenue):	Townhouses	Townhouses 25 upa	RM-30
East:	Single family dwelling (3 sites are currently under development applications which are all pre-Council: <ul style="list-style-type: none"> 7918-0174-00 to allow 70 unit apartment building; 7918-0081-00 to allow a 4 storey mixed-use commercial/residential building; and 7918-0235-00 to allow 117 unit apartment building) 	Apartments (45 upa) & Mixed Commercial-Residential (Apartments)	RA
South:	City-owned land	Existing & Future Parks	RA
West:	Single family dwelling	Townhouses (15 upa max)	RA

JUSTIFICATION FOR PLAN AMENDMENT

- The application proposes an amendment to the South Newton Neighbourhood Concept Plan (NCP) to redesignate the subject property from "Townhouses (15 u.p.a. max)" to "Townhouses (25 u.pa.)" and to amend the local road network by replacing the portion of the site

designated as “Proposed Parks and Walkways” with a new north-south road (143 Street), connecting 59A Avenue with 59 Avenue.

- The proposed density is consistent with development patterns established or approved in the area, including several RM-30 Zoned townhouse projects on the north side of 60 Avenue, including 14271 – 60 Avenue and 6030 – 142 Street and 14315 - 60 Avenue, as shown in the following table:

Development Application No.	Project Address	Zoning	NCP Designation	Status
7912-0202-00	14271 60 Avenue	RM-30	Townhouses (25 upa max)	Project complete
7915-0246-00	6030 142 Street	RM-30	Townhouses (25 upa max)	Project complete
7917-0520-00	14315 60 Avenue	CD (Based on RM-30)	Townhouses (25 upa)	Third Reading

- The adjacent lands to the immediate east are designated for higher residential densities, including Apartments (45 upa max.) and for Mixed Commercial-Residential (Apartments). Contextually, the proposed density for the subject site is appropriate.
- The Engineering Department – Transportation Division requested the amendment to the local road network by extending 143 Street through to the south property line, in place of the “Proposed Parks and Walkways” strip shown in the NCP. 143 Street will be constructed to a local standard with sidewalks and street trees, which will meet the intent of the walkway by providing a desirable connection. The project provides a significant public benefit with the delivery of a public road (143 Street) that connects 60 Avenue to 59 Avenue. The proposed amendment is intended to improve the local road network by improving street connectivity. It will also enhance access to street frontage exposure for the future mixed-use development contemplated on the adjacent lands to the east.

DEVELOPMENT CONSIDERATIONS

Proposal

- The 0.94 hectare (2.3 acre) subject site is zoned "One-Acre Residential Zone (RA)", designated as "Urban" in the Official Community Plan and is designated "Townhouses (15 u.p.a. max)" and "Proposed Parks and Walkways" in the South Newton NCP.
- The applicant proposes to amend a portion of the site’s NCP designation from "Townhouses (15 u.p.a. max)" to "Townhouses (25 upa max)", and to amend the road network. This will accommodate the proposed rezoning of the site from "One Acre Residential Zone (RA)" to "Multiple Residential (30) Zone (RM-30)" to permit the development of 39 townhouse units.
- A Development Permit is required to regulate the form and character of the townhouse development, and a Development Variance Permit is proposed to reduce the building setbacks.

- The site would be subdivided into two lots in order to allow for the required dedication of proposed 59A Avenue, which runs east-west through the centre of the property. The two development sites will be separate lots and ultimately separate stratas.
- The density for each development site is as follows:
 - North site (Lot A): net unit density of 54.5 uph (22.2 upa) and FAR of 0.89
 - South site (Lot B): net unit density of 63.6 uph (25.6 upa) and FAR of 0.99
- The development as a whole has a proposed net density of 59 units per hectare (23.9 upa) and a floor area ratio of 0.94. The blended density of the project is in keeping with the 15-25 upa density range of the proposed NCP designation.
- The applicant is also proposing to eliminate the required indoor amenity space. The applicant is required to pay cash-in-lieu for the shortfall in indoor amenity space, in accordance with Council policy.

DESIGN PROPOSAL AND REVIEW

- The applicant proposes to develop 39 townhouse units, which will be constructed on two separate lots, with 59A Avenue separating the two lots.
- Lot A is the northerly property and will contain 18 townhouses. Lot B is the southerly property and will contain 21 townhouses. As noted above, the two sites are proposed to have separate stratas.

Building Design

- The proposed townhouse project is comprised of 39 four-bedroom units that are contained within three (3) three-storey buildings. The units range in size from 135 square metres (1,456 sq.ft.) to 186 square metres (2,004 sq.ft.).
- Exterior building cladding consists of high-quality materials including cultured stone (black), hardie siding and panels (gray and white), aluminum siding (light fir), and high profile asphalt shingle roofing and black vinyl windows.
- Bay windows on the top 2 floors and vibrant exterior colours provide each unit with a distinct entry and unique visual identity. The variation of exterior finishes and horizontal and vertical rhythms reinforces the individuality of each unit.
- Private outdoor amenity space, in the form of a ground-level patio, is proposed for each unit for the enjoyment of owners.

Amenity Space

- The Zoning By-law requires that 54 square metres (581 square feet) of both indoor and outdoor amenity space for Lot 1, and 63 square metres (678 square feet) for Lot 2 to be provided for this project, based on 3 square metres (32 sq. ft.) per dwelling unit.

- In terms of outdoor amenity space, the applicant is proposing to provide 59 square metres (638 sq. ft.) for Lot 1 and 63 square metres (678 sq. ft.) for Lot 2. The outdoor amenity space will consist of an open grassed area, seating benches, trees, landscaping, and decorative concrete pavers.
- The applicant has indicated that they are unable to accommodate an indoor amenity building on the site due to the constraint imposed by the requirement to construct 143 Street and 59A Avenue. Given that the project consists of two separate stratas, the size of the required indoor amenity spaces would limit the potential usage of the buildings on each lot. Staff therefore have no objections to eliminating the indoor amenity space. The applicant will be required to pay cash-in-lieu for the indoor amenity space, in accordance with Council policy.

Landscaping

- The landscaping includes a mix of trees, shrubs and ground cover.
- 64 trees are proposed to be planted within the project, including a mix of maple, cypress, dogwood, magnolia, spruce, and Japanese snowbell trees.
- Other plantings include a variety of flowering and fruiting shrubs, grasses and ground covers that are used to soften the hard surfaces of the site and help define the transitions between private and semi-private spaces.
- Decorative pavers are proposed at the site's entrance, walkways and throughout the drive aisle and parking spaces.
- Low fences with gates are provided along the side of each unit to define the front yard of each unit.

Access, Circulation and Parking

- A new 20 metre (66 ft.) wide north-south road (143 Street) is proposed as part of this application, connecting 60 Avenue to 59 Avenue. While 59 Avenue is not yet constructed, it will ultimately be extended east to connect to 144 Street.
- The primary access to the site will be via proposed 59A Avenue, a new east-west road to be dedicated through the centre of the site.
- Currently, the site plan proposes a 10 metre (33 ft.) right-of-way over adjacent properties to the east, (14318 60 Avenue, 5903 & 5937 144 Street). Statutory rights-of-way from adjacent property owners have been secured.
- All of the street-fronting units are proposed to have individual pedestrian access to the street.
- The applicant is proposing 78 resident parking spaces and 8 visitor parking spaces, which meets the Zoning By-law requirement of 86 spaces for residents and visitor parking.
- All units have double side by side garages.

PRE-NOTIFICATION

Pre-notification letters were sent on May 9, 2018 and the development proposal sign was installed on the property on May 14, 2018. To date, staff have received 2 correspondence from area residents. The residents had general questions about the development regarding access. A site plan was forwarded to both residents, with no further feedback received.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variances to the RM-30 Zone:

- to reduce the north setback from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) for Building 4 on Lot A;
- to reduce the east setback from 7.5 metres (25 ft.) to 5.1 metres (17 ft.) for Building 4 and 4.5 metres (15 ft.) for Buildings 2 and 3 on Lot A;
- to reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 2 on Lot A;
- to reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Building 1 and 3.5 metres (12 ft.) for Building 4 on Lot A;
- to reduce the north setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 2 and 4 on Lot B;
- to reduce the east setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Buildings 3 and 4 on Lot B;
- to reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 3 on Lot B;
- to reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 2 on Lot B; and
- to allow 2 visitor parking stalls to be located within the required setback on Lot A.

(b) Applicant's Reasons:

- The proposed setbacks do not negatively impact adjacent developments and they are sufficient to ensure an appropriate interface with public streets.
- Visitor stalls within required setback areas are not visible from the public realm. Additional landscaping (trees) has been provided to allow for buffering from the residential lots to the north.
- The north and east setbacks for Lot A and B requesting a variance to 4.5 metres (15 ft.) is adjacent to the proposed dedicated road, and considered adequate separation from road to unit.

(c) Staff Comments:

- A reduced front yard setback for street-fronting units located along 59A Avenue, 143 Street and future 60 Avenue will help units engage the public realm by bringing the buildings closer to the sidewalk. A reduced setback will also encourage neighbourhood interaction and neighbourhood surveillance through 'eyes on the street'.
- The proposed reductions in the west setbacks are minimal and are not expected to have a significant impact on the neighbouring properties. The proposed townhouse buildings are oriented to the adjacent properties as rear yard conditions (except for Building 4 in Lot A which is a side yard condition). A 3.0 metre (10 ft.) wide green and landscaped area is proposed to separate the townhouse units from the adjacent properties. It is anticipated that the adjacent properties will develop with similar setbacks and building forms in the future.

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum & Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	91	91	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Maple, Bigleaf	17	17	0
Birch	1	1	0
Coniferous Trees			
Douglas-fir	4	4	0
Spruce, Norway	2	2	0
Cedar, Western Red	20	20	0
Total (excluding Alder and Cottonwood Trees)	44	44	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		115	
Total Retained and Replacement Trees		115	
Contribution to the Green City Fund		\$25,600	

- The Arborist Assessment states that there are a total of 44 protected trees on the site, excluding Alder and Cottonwood trees. 91 existing trees, approximately 67 % of the total trees

on the site, are Alder and Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 179 replacement trees on the site. Since only 115 replacement trees can be accommodated on the site, the deficit of 64 replacement trees will require a cash-in-lieu payment of \$25,600, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In summary, a total of 115 trees are proposed to be replaced on the site with a contribution of \$25,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located in the South Newton Neighbourhood Concept Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density of the project complies with the Urban land use designation of the OCP.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Absorbent soils and natural landscaping are proposed. • The applicants are proposing to replant 115 trees on the site.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bike parking is provided. • The development is adjacent to public transit. • The development is connected to pedestrian pathways.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The site has been designed to minimize CPTED concerns. • Outdoor amenity spaces are proposed to be provided.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • None proposed.

ADVISORY DESIGN PANEL

- The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Site Plan, Building Elevations and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. Tree Plan
- Appendix VII. NCP Plan
- Appendix VIII. Development Variance Permit No. 7917-0069-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HS/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

Proposed/Existing Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,400
Road Widening area		2,815.6
Undevelopable area		
Net Total		6,584.4
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		41%
SETBACKS (in metres)		
Lot A:		
North	7.5	4.7
South	7.5	3.5
East	7.5	4.5 & 5.1
West	7.5	6.0 & 3.5
Lot B:		
North	7.5	3.5
South	7.5	3.5
East	7.5	4.5
West	7.5	6.0
BUILDING HEIGHT (in metres/storeys)		
Principal	3 storey	3 storey
Accessory	3 storey	3 storey
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		39
Total		39
FLOOR AREA: Residential		6,195
FLOOR AREA: Commercial		
Retail		
Office		
Total		6,195
TOTAL BUILDING FLOOR AREA		

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

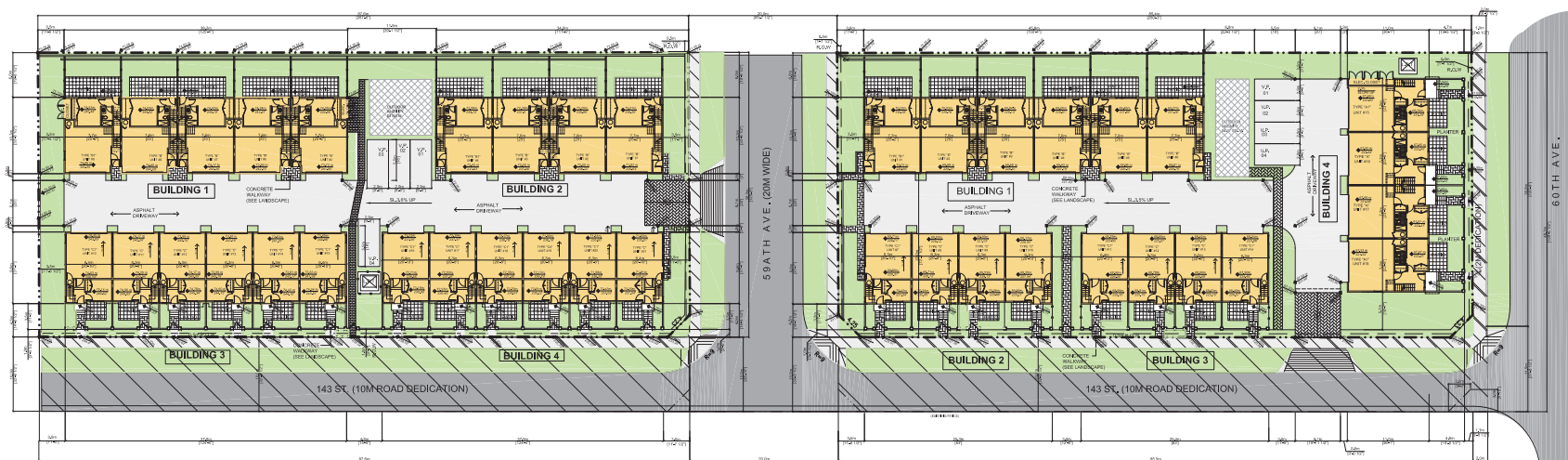
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		41.5 units/ha & 16.8 units/ac
# of units/ha /# units/acre (net)		59.2 units/ha & 23.9 units/ac
FAR (gross)		0.66
FAR (net)		0.95
AMENITY SPACE (area in square metres)		
Indoor	117	0
Outdoor	117	122
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	$2 \times 39 = 78$	78
Residential Visitors	$39 \times 0.2 = 8$	8
Institutional		
Total Number of Parking Spaces	86	86
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



KEY PLAN



SITE PLAN : SITE B

SITE PLAN : SITE A



**F. ADAB
ARCHITECTS
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NO.	DATE	REVISION/ISSUED
4	03-15-2019	RESUBMISSION FOR DP
3	12-15-2018	REVISED PER CITY COMMENTS
2	7-19-2018	ISSUED FOR REZONING & DP
1	10-31-2017	REVISED PER CITY COMMENTS

PROJECT TITLE:
**14280 60TH AVE,
SURREY**

FOR:
1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C., V3W 2V7

DRAWING TITLE:
SITE PLAN

DATE: OCT-17	SHEET NO:
SCALE: N/A	A-1.4
DESIGN: FA	
DRAWN: R.L.	
PROJECT NO: 1705	



PERSPECTIVE VIEW FROM 60th AVENUE



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NO.	DATE	REVISION/ISSUED
3	03-19-2019	RESUBMISSION FOR DP
2	12-15-2018	REVISED PRE CITY'S COMMENTS
1	7-19-2018	ISSUED FOR REZONING & DP

PROJECT TITLE:

14280 60TH AVE,
SURREY

FOR:

1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C. V3W 2V7

DRAWING TITLE:

PERSPECTIVE VIEW

DATE: Jul-18	SHEET NO:
SCALE: NTS.	A-1.7
DESIGN: FA.	
DRAWN: RL.	
PROJECT NO: 1005	



BLOCK 4 NORTH ELEVATION (60th AVENUE)



STREETSCAPE OF 143 STREET



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NO.	DATE	REVISION/ISSUED
3	03-16-2019	RESUBMISSION FOR DP
2	12-15-2018	REVISED PER CITY'S COMMENTS
1	7-19-2018	ISSUED FOR REZONING & DP

PROJECT TITLE:
**14280 60TH AVE,
SURREY**

FOR:
1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C. V3W 2V7

DRAWING TITLE:
**STREETSCAPE &
COLOUR ELEVATIONS**

DATE:	Jul-18	SHEET NO:	A-1.8
SCALE:	NTS.		
DESIGN:	FA.		
DRAWN:	RL.		
PROJECT NO:	1005		



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NO.	DATE	REVISION / ISSUED
3	03-15-2019	RESUBMISSION FOR DP
2	12-15-2018	REVISED PER CITY'S COMMENTS
1	7-10-2018	ISSUED FOR REZONING & DP

PROJECT TITLE:
14280 60TH AVE,
SURREY

FOR:
1078804 BC LTD.
CRESENT CREEK HOMES
206-13049 76 AVE, SURREY
B.C. V3W 2V7

DRAWING TITLE:
EXTERIOR FINISH

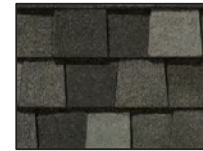
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DESIGN:	FA.	
DRAWN:	RL.	
PROJECT NO.:	1005	

Exterior Finishes and Colour

The selection of the exterior finishes is based on enhanced durability / longevity of the construction materials as part of a sustainable approach.

Emphasis is given to rich urban elements with prefabricated Hardie panels and stone being the dominant finish material. Prefabricated Hardy panels are used around the window frames and Hardy siding between the frames.

Widows and railings are black resulting in further contrast between the exterior materials.



ASPHALT SHINGLE
MOIRE BLACK
BY LANDMARK



CULTURE STONE
BLACK RUNDLE LEDGESTONE
BY BORAL



ALUMINUM SIDING
LIGHT FIR1501/02-716
BY MAYNE COATINGS



HARDIE PANELS
SW7044, AMAZING GRAY
BY SHERWIN WILLIAMS



HARDIE SIDINGS & PANELS
SW7757, HIGH REFLECTIVE WHITE
BY SHERWIN WILLIAMS



SITE B BLOCK 3 & 4 - 143 STREET ELEVATION

Site Furnishing Legend

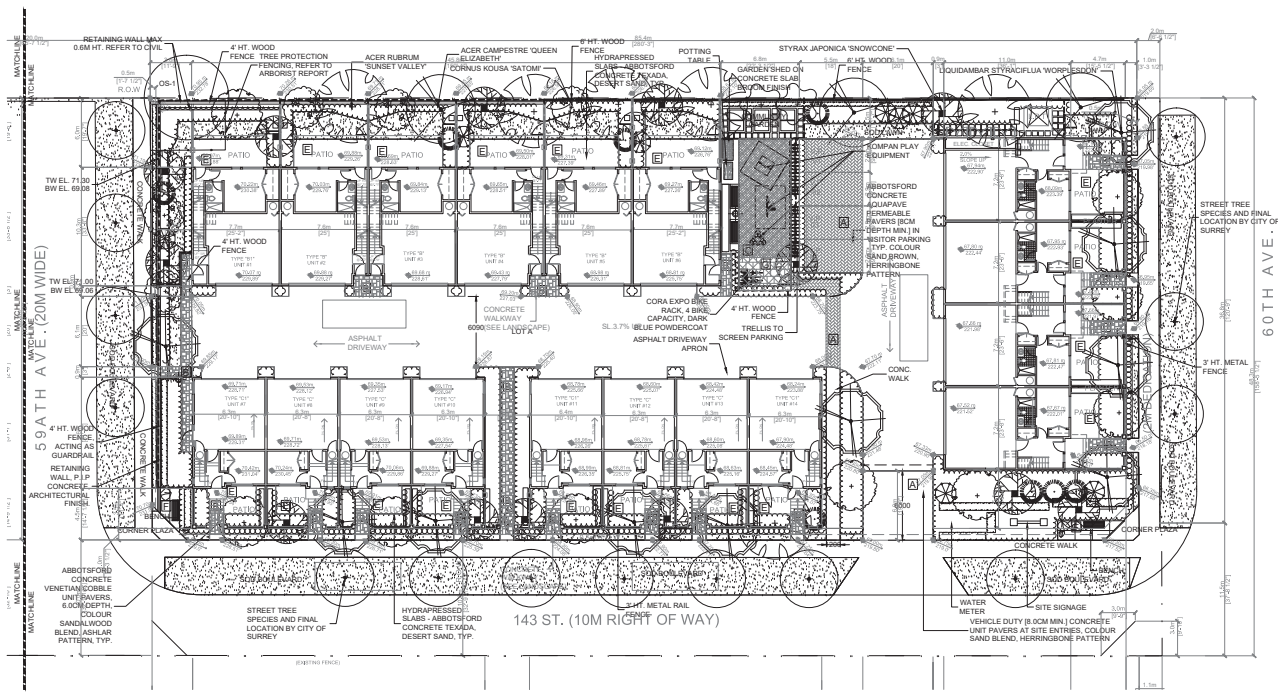
Symbol	Model
	STANDARD BENCH BY FRANCES ANDREW
	BOULDERS, BURY 1/3RD MIN. 24" MAX. 48" DIAMETER
	CORA BIKE RACK
	SUNBRY CEDAR POTTING TABLE
	CEDARSHED INDUSTRIES BAYSIDE SHED 18x7, 6'x7'
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE PRODUCTS, CONCRETE TEXADA 2'X2', NATURAL CONCRETE COLOUR, ROUND ROCK 1/2 CLEAR IN 2' JOINTS, TYP.

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, AQUARAVE PERMEABLE PAVERS, 6.0CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVERS, 6.0CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/ALWOOD BLEND, ASHLAR PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT), 18" DEPTH, INSTALL PER MANUFACTURERS SPECIFICATION.
	COMPOSTED BARK MULCH, 3" DEPTH, AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE AND SUPPRESS WEEDS, IN COMMUNITY GARDEN LOT 2.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE PRODUCTS, CONCRETE TEXADA 2'X2', NATURAL CONCRETE COLOUR, RUNNING BOND PATTERN.
	BROOM FINISHED CONCRETE DECORATIVE PANEL, SAWCUTS 9" O.C. (1500MM), STAMPED WITH MAPLE LEAF STAMP (SEE L3)
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE PRODUCTS, CONCRETE TEXADA 2'X2', NATURAL CONCRETE COLOUR, RUNNING BOND PATTERN.
	STRUCTURAL SOIL BREAKOUT TRENCHES, 2' (600MM) DEEP, REFER TO DETAIL AND SPECIFICATION.

Lighting Legend

Symbol	Model
	WISHBONE INDUSTRIES, MODENA LED BOLLARD, 16x8-17, BLACK SUPER TEXTURE WITH SAND SLATS



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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0111 | f: 604 294-0022

SEAL:

11	10.AUG.07	UPDATE PER NEW SITE PLAN	CLG
12	10.AUG.15	UPDATE PER CIVIL INFORMATION	CLG
13	10.FEB.27	UPDATE PER COMMENTS	CLG
14	10.OCT.14	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
15	10.OCT.13	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
16	18.AUG.07	UPDATE PER NEW ARBORIST PLAN	CLG
17	18.AUG.10	UPDATE PER COMMENTS / RESOLVE	CLG
18	18.AUG.13	UPDATE PER CITY COMMENTS	CLG
19	18.AUG.18	UPDATE PER NEW SITE PLAN	ME
20	18.AUG.18	UPDATE PER NEW SITE PLAN	CLG
21	18.MAR.20	PROCESSED SET	CLG
22	18.JAN.17	DESIGN DEVELOPMENT NEW SITE PLAN	CLG
23	17.FEB.07	CONCEPT DESIGN	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
14280-60TH AVE
SURREY

DRAWING TITLE:
LANDSCAPE PLAN
LOT A

DATE: 17.FEB.07 DRAWING NUMBER:
SCALE: 1:200
DRAWN: CLG
DESIGN: CLG
CHKD: PCM OF 5

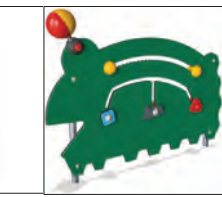
16166-10.2P PMG PROJECT NUMBER: 16-166



TREE SCHEDULE - LOT A

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4	4	ACER CAMPESTRIS 'QUEEN ELIZABETH'	HEDGE MAPLE	6CM CAL. 1.5M STD. BAB
5	6	ACER RUBRUM 'SUNSET VALLEY'	SUNSET VALLEY MAPLE	6CM CAL. 2.5M HT. BAB
6	8	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINDI FALSE CYPRESS	3.0M HT. BAB
7	5	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	3.0M HT. BAB
8	10	LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	6CM CAL. 2M STD. BAB
9	6	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	6CM CAL. 1.5M STD. BAB
10	2	MAULS DORESTICA 'TUPE'	PUR PURPLE	6CM CAL. 1.5M STD. BAB
11	8	PICEA OMORIKA 'BRUN'S'	BRUN'S SCOTCH SPRUCE	3.0M HT. BAB
12	13	STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	6CM CAL. 1.5M STD. BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *** SEARCH AND REVIEW NAME PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



FRANCES ANDREW STANDARD BENCH

KOMPAN COUPE M5C 5413

KOMPAN DAISY DESK WITH SEATS M261

WISHBONE INDUSTRIES MODENA LIGHTING BOLLARD, BLACK TEXTURED POWDERCOAT WITH CEDAR COLOURED SLATS

KOMPAN CATERPILLAR UNDER 2

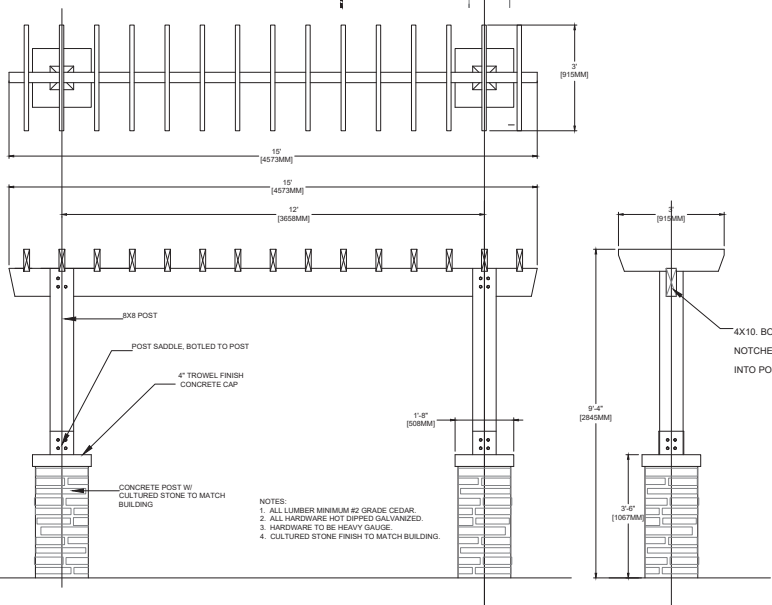
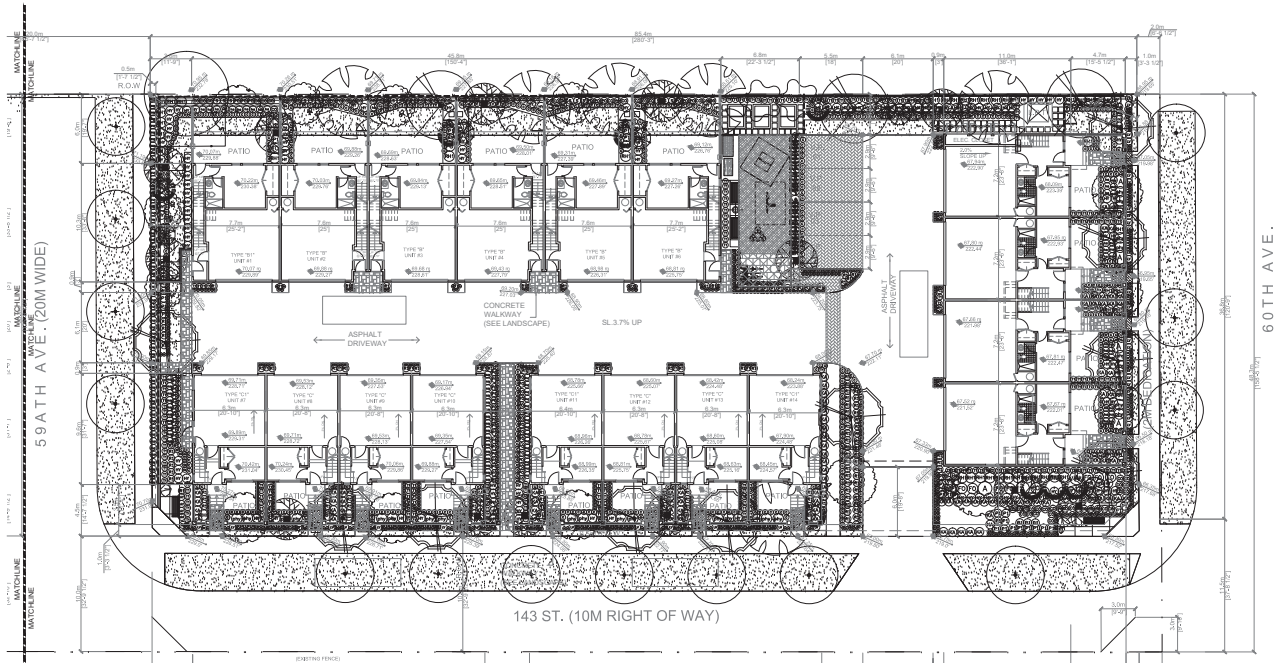


Site Furnishing Legend

Symbol	Model
	STANDARD BENCH BY FRANCIS ANDREW
	BOULDERS, BURY 125RD MIN. 24" X MAX 48" DIAMETER
	CORA BIKE RACK
	SUNBURY CEDAR POTTING TABLE
	CEARSHED INDUSTRIES BAYSIDE SHED 96'x, 6'x3'
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE, TEXADA 2'x2', NATURAL CONCRETE COLOUR, ROUND ROCK X CLEAR IN 2' JOINTS, TYP.

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, AQUAPAVE PERMEABLE PAVERS, 8CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL
	ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVERS, 8CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/WOOD BLEND, ASHLAR PATTERN, INSTALL PER MANUFACTURERS DETAIL
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT), 8" DEPTH, INSTALL PER MANUFACTURERS SPECIFICATION
	COMPOSTED BARK MULCH, 3" DEPTH, AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE, AND SUPPRESS WEEDS. IN COMMUNITY GARDEN LOT 2.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE, TEXADA 2'x2', NATURAL CONCRETE COLOUR, GRID PATTERN
	BROOM FINISHED CONCRETE, DECORATIVE PANEL, SINK CUTS 9" O.C. (230MM), STAMPED WITH MAPLE LEAF STAMP (SEE L3)
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE, TEXADA, 2'x2', NATURAL CONCRETE COLOUR, RUNNING BOND PATTERN
	STRUCTURAL SOIL BREAKOUT TRENCHES, 2' (600MM) DEEP, REFER TO DETAIL AND SPECIFICATION.



1 SMALL ARBOUR 1:20

PLANT SCHEDULE - LOT A

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
3		ACER CAMPESTRE 'QUEEN ELIZABETH'	HEDGE MAPLE	8CM CAL, 1.8CM STD, B&B
4		ACER RUBRUM 'SUNSET VALLEY'	SUNSET VALLEY MAPLE	8CM CAL, 2.5M HT, B&B
5		CHAMAECYPARIS OBTUSA 'GRAELICH'	SLENDER HINKI/ FALSE CYPRESS	3.0M HT, B&B
6		CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	3.0M HT, B&B
7		LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	8CM CAL, 2M STD, B&B
8		MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	8CM CAL, 1.5M STD, B&B
9		MALUS DOMESTICA 'FLUJ'	FLUJ APPLE	8CM CAL, 1.5M STD, B&B
10		PICEA OMORIKIA 'BRUNS'	BRUNS SERBIAN SPRUCE	3.0M HT, B&B
11		STYRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	8CM CAL, 1.5M STD, B&B
SHRUB				
12		ARBITUS UNEDO COMPACTA	COMPACT STRAWBERRY BUSH	#3 POT, 80CM
13		CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT, 80CM
14		ELONIA JAPONICUS 'AUREO-MARGINATUS'	GOLDEN ELONIA	#2 POT, 30CM
15		FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	#3 POT, 60CM
16		HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA/ LIMEGREEN-PINK	#3 POT, 80CM
17		KALMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT, 30CM
18		PHYSCOCARPUS OPULIFOLIUS 'LITTLE JOKER'	LITTLE JOKER PURPLE NINEBARK	#2 POT, 30CM
19		RHOODENDRON 'TEDDY BEAR'	RHOODENDRON WHITE, L. MAY	#2 POT, 20CM
20		ROSA MEIDLAND 'ROYAL BONICA'	MEIDLAND ROSE, BRIGHT PINK	#2 POT, 40CM
21		SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	#2 POT, 40CM
22		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT, B&B
23		VACCINIUM CORYMBOSUM	BLUEBERRY	#3 POT, 60CM
GRASS				
24		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
25		CAREX 'BEATLEMANIA'	BEATLEMANIA SEDGE	#1 POT
26		HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
27		PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	#1 POT
PERENNIAL				
28		COREOPSIS VERTICILLATA 'MOONBEAM'	THREADED COREOPSIS, YELLOW	15CM POT
29		HOSTA 'BLUE MAMMOTH'	HOSTA, LARGE, BLUE	#2 POT, 1-2 EYE
30		LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT; VIOLET-BLUE	#1 POT
31		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 20CM

NOTES - PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SUPPLY TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. * SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, DEFINITIVE OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

Lighting Legend

Symbol	Model
	WISBORNE INDUSTRIES, MODENA LED BOLLARD - MLB-37, BLACK SUPER TEXTURE WITH SAND SLATS

DATE: 13.FEB.07 DRAWING NUMBER: L2

SCALE: 1:200

DRAWN: CLG

DESIGN: CLG

CHKD: PCM OF 5

PMG PROJECT NUMBER: 16-166

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SEAL:

11	16.AUG.07	UPDATE PER NEW SITE PLAN	CLG
12	16.AUG.11	UPDATE PER CIVIL INFORMATION	CLG
13	16.FEB.27	UPDATE PER COMMENTS	CLG
14	16.OCT.14	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
15	16.OCT.13	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
16	16.AUG.07	UPDATE PER NEW ARBOUR PLAN	CLG
17	16.AUG.10	UPDATE PER COMMENTS / RESOLVE	CLG
18	16.AUG.13	UPDATE PER CITY COMMENTS	CLG
19	16.AUG.18	UPDATE PER NEW SITE PLAN	ME
20	16.AUG.18	UPDATE PER NEW SITE PLAN	CLG
21	16.AUG.30	PROGRESS SET	CLG
22	16.AUG.17	DESIGN DEVELOPMENT NEW SITE PLAN	CLG
23	17.FEB.07	CONCEPT DESIGN	CLG
	NO. DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
14280-60TH AVE
SURREY

DRAWING TITLE:

SHRUB PLAN
LOT A

DATE: 13.FEB.07 DRAWING NUMBER: L2

SCALE: 1:200

DRAWN: CLG

DESIGN: CLG

CHKD: PCM OF 5

PMG PROJECT NUMBER: 16-166

SEAL:

Site Furnishing Legend

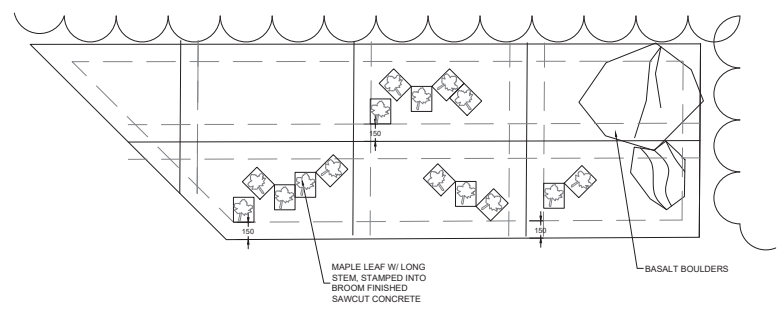
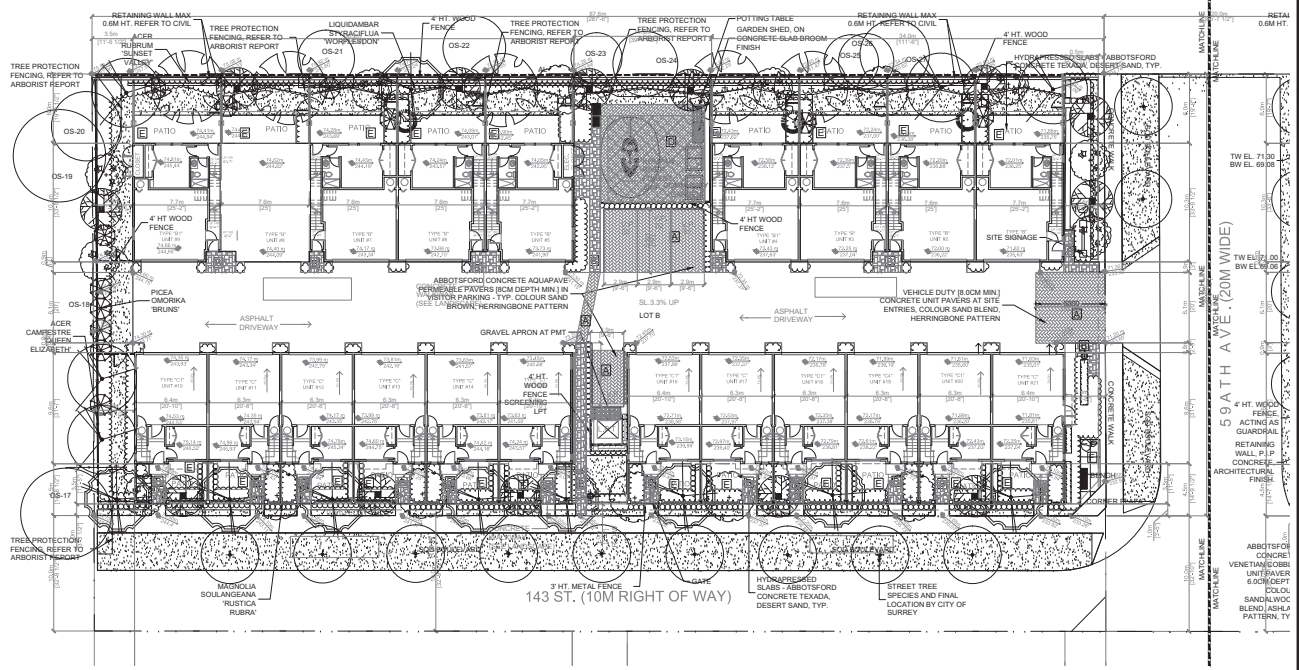
Symbol	Model
	STANDARD BENCH BY FRANCIS ANDREW
	BOULDERS, BURY 175RD MIN. 24" x MAX. 48" DIAMETER
	CORA BIKE RACK
	SUNBURY CEDAR POTTING TABLE
	CEDARSHEDS INDUSTRIES BAYSIDE SHED '863', 6'x7'
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'x2', NATURAL CONCRETE COLOUR, ROUND ROCK 1/2 CLEAR IN 2' JOINTS, TYP.

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, AQUAPAVE PERMEABLE PAVERS, 6.0CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVERS, 6.0CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/LIWOOD BLEND, ASPHALT PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT), 8" DEPTH, INSTALL PER MANUFACTURERS SPECIFICATION.
	COMPOSTED BARK MULCH, 3" DEPTH, AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE AND SUPPRESS WEEDS, IN COMMUNITY GARDEN LOT 2.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2'x2', NATURAL CONCRETE COLOUR, GRID PATTERN.
	BROOM FINISHED CONCRETE DECORATIVE PANEL, SAWCUTS 9" O.C. (1500MM), STAMPED WITH MAPLE LEAF STAMP (SEE L3)
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA, 2'x2', NATURAL CONCRETE COLOUR, RUNNING BOND PATTERN.
	STRUCTURAL SOIL BREAKOUT TRENCHES, 2' (600MM) DEEP, REFER TO DETAIL AND SPECIFICATION.

Lighting Legend

Symbol	Model
	WISHBONE INDUSTRIES, MODENA LED BOLLARD - MLB-37, BLACK SUPER TEXTURE WITH SAND SLATS



MAPLE LEAF WITH LONG STEM CONCRETE STAMP, MATCH COE PART # 29L1, OR APPROVED EQUIVALENT.



SQUAMISH BASALT BOULDERS, 2-3 MAN SIZED, FOR QUANTITY REFER TO PLAN, CONTACT NORTHWEST LANDSCAPE SUPPLY @ (604) 435-6842

TREE SCHEDULE - LOT B

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
6	6	ACER CAMPESTRIS 'QUEEN ELIZABETH'	HEDGE MAPLE	80M CAL, 1.8M STD, BAB
7	4	ACER RUBRUM 'SUNSET VALLEY'	SUNSET VALLEY MAPLE	80M CAL, 2.2M HT, BAB
8	3	CHAMAECYPARIS ORBUTA 'ORACULA'	BLENDED HINKO FALSE CYPRESS	3.0M HT, BAB
9	4	CORNUS KOLSA 'NATION'	PINK DOGWOOD	3.0M HT, BAB
10	9	LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	80M CAL, 2M STD, BAB
11	7	MANGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MANGNOLIA	80M CAL, 1.5M STD, BAB
12	12	PICEA OMORICA 'BRUNO'	BRUNO SCISSOR SPRUCE	3.0M HT, BAB
13	13	STYRAX JAPONICA 'SNOOWHITE'	SNOOWHITE JAPANESE BROWNLEAF	80M CAL, 1.8M STD, BAB

NOTES: PLANT SIZE IN THE LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAN STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. *REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR POSITIVE REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE COVER MAINLAND AND FRASER VALLEY. *SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

REQUIRED REPLACEMENT-SIZED TREES: 175
PROPOSED REPLACEMENT-SIZED TREES: 128

NO. DATE REVISION DESCRIPTION DR.

11 16.AUG.07 UPDATE PER NEW SITE PLAN CLG

12 10.MAR.15 UPDATE PER CIVIL INFORMATION CLG

13 10.FEB.27 UPDATE PER COMMENTS CLG

14 10.FEB.27 UPDATE PER COMMENTS CLG

15 10.OCT.14 UPDATE PER NEW SITE PLAN / RESOLVE CLG

16 10.OCT.13 UPDATE PER NEW SITE PLAN / RESOLVE CLG

17 18.AUG.07 UPDATE PER NEW ARBORIST PLAN CLG

18 18.AUG.18 UPDATE PER CITY COMMENTS CLG

19 18.AUG.18 UPDATE PER NEW SITE PLAN ME

20 18.AUG.18 UPDATE PER NEW SITE PLAN CLG

21 18.MAR.20 PROGRESS SET CLG

22 18.JAN.17 DESIGN DEVELOPMENT NEW SITE PLAN CLG

23 17.FEB.07 CONCEPT DESIGN CLG

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
14280-60TH AVE
SURREY

DRAWING TITLE:

LANDSCAPE PLAN LOT B

DATE: 13.FEB.07 DRAWING NUMBER:

SCALE: 1:200

DRAWN: CLG

DESIGN: CLG

CHKD: PCM

L3

OF 5

7 CORNER PLAZA SPECIAL PAVING

1:20



SEAL:

Site Furnishing Legend

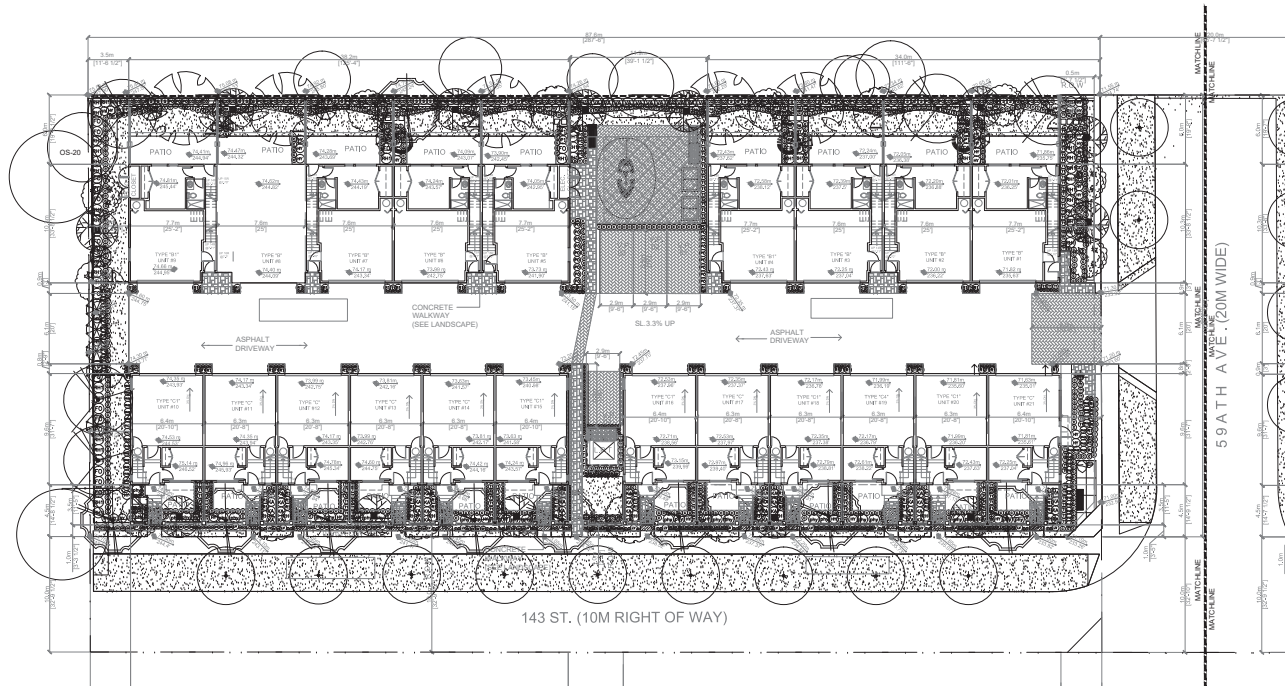
Symbol	Model
	STANDARD BENCH BY FRANCIS ANDREW
	BOULDERS, BURY 175RD MIN. 24" & MAX. 48" DIAMETER
	CORA BIKE RACK
	SUNBURY CEDAR POTTING TABLE
	CEDARSHED INDUSTRIES BAYSIDE SHED 86'3" x 37'
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2X2', NATURAL CONCRETE COLOUR, ROUND ROCK 1/2" CLEAR IN 2" JOINTS, TYP.

Materials Legend

Symbol	Model
	ABBOTSFORD CONCRETE PRODUCTS, AQUARAVE PERMEABLE PAVERS, 6CM DEPTH VEHICLE DUTY, COLOUR: SAND BROWN, HERRINGBONE PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVERS, 6CM DEPTH PEDESTRIAN DUTY, COLOUR: SAND/LIWOOD BLEND, ASHLAR PATTERN, INSTALL PER MANUFACTURERS DETAIL.
	ENGINEERED WOOD FIBRE PLAY SURFACING (FIBAR OR APPROVED EQUIVALENT), 8" DEPTH, INSTALL PER MANUFACTURERS SPECIFICATION.
	COMPOSTED BARK MULCH, 3" DEPTH, AT BASE OF RETAINED TREES, TO CONSERVE MOISTURE AND SUPPRESS WEEDS. IN COMMUNITY GARDEN LOT 2.
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA 2X2', NATURAL CONCRETE COLOUR, GRID PATTERN.
	BROOM FINISHED CONCRETE DECORATIVE PANEL, SAWCUTS 9" O.C. (1500MM), STAMPED WITH MAPLE LEAF STAMP (SEE L3).
	HYDRAPRESSED SLABS, ABBOTSFORD CONCRETE TEXADA, 2X2', NATURAL CONCRETE COLOUR, RUNNING BOND PATTERN.
	STRUCTURAL SOIL BREAKOUT TRENCHES, 2" (60MM) DEEP, REFER TO DETAIL AND SPECIFICATION.

Lighting Legend

Symbol	Model
	WISHBONE INDUSTRIES, MODENA LED BOLLARD - MLB-37, BLACK SUPER TEXTURE WITH SAND SLATS



PLANT SCHEDULE - LOT B				PMG PROJECT NUMBER: 16-166	
TYPE	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREES	5	ACER CAMPESTRIS 'QUEEN ELIZABETH'	HEDGE MAPLE	6CM CAL, 1.8CM STD, B&B	
	5	ACER RUBRUM 'SUNSET VALLEY'	SUNSET VALLEY MAPLE	6CM CAL, 2.5M HT; B&B	
	3	CHAMAECYPARIS OBTUSA 'GRACILIS'	SLENDER HINKOKI FALSE CYPRESS	3.0M HT, B&B	
	9	CORNUS KOUSA 'SATOMI'	PINK KOUSA DOGWOOD	3.0M HT, B&B	
	9	LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	6CM CAL, 2M STD, B&B	
	7	MAGNOLIA SOULANGEANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	5CM CAL, 1.5M STD, B&B	
	12	PICEA OMORIKKA 'BRUNS'	BRUNS SERBIAN SPRUCE	3.0M HT, B&B	
	13	STYRAX 'JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	5CM CAL, 1.5M STD, B&B	
	SHRUBS	63	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT, 80CM
		37	EUONYMUS JAPONICUS 'AURO-MARGINATUS'	GOLDEN EUONYMUS	#2 POT, 30CM
		21	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	#3 POT, 60CM
		75	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA, LIMEGREEN-PINK	#3 POT, 80CM
		44	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT, 30CM
28		PHYSCARPUS OPULIFOLIUS 'LITTLE JOKER'	LITTLE JOKER PURPLE NINEBARK	#2 POT, 30CM	
52		RHOODODENDRON 'TEDDY BEAR'	RHOODODENDRON, WHITE, L. MAY	#2 POT, 20CM	
87		ROSA MEDIANA 'ROYAL BONICA'	MEDIANA ROSE, BRIGHT PINK	#2 POT, 40CM	
33		SALIX PURPUREA 'NANA'	DWARF ARCTIC WILLOW	#2 POT, 40CM	
185		THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT, B&B	
13		VACCINIUM CORYMBOSUM	BLUEBERRY	#3 POT, 60CM	
GRASS		803	CAREX 'BEATLEMANIA'	BEATLEMANIA SEDGE	#1 POT
		515	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
	7	PANICUM VIRGATUM 'PRAIRIE FIRE'	PRAIRIE FIRE SWITCH GRASS	#1 POT	
PERENNIAL	90	COREOPSIS VERTICILLATA 'MOONBEAM'	THREADLEAF COREOPSIS, YELLOW	15CM POT	
	44	HOSTA 'BLUE MAMMOTH'	HOSTA, LARGE, BLUE	#2 POT, 1-2 EYE	
	24	LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT	
	63	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 20CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW; MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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13	16.FEB.27	UPDATE PER COMMENTS	CLG
14	16.OCT.14	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
15	16.OCT.13	UPDATE PER NEW SITE PLAN / RESOLVE	CLG
16	16.AUG.07	UPDATE PER NEW ARBREST PLAN	CLG
17	16.AUG.10	UPDATE PER COMMENTS / RESOLVE	CLG
18	16.AUG.18	UPDATE PER CITY COMMENTS	CLG
19	16.AUG.18	UPDATE PER NEW SITE PLAN	ME
20	16.AUG.16	UPDATE PER NEW SITE PLAN	CLG
21	16.MAR.20	PROGRESS SET	CLG
22	16.AUG.17	DESIGN DEVELOPMENT NEW SITE PLAN	CLG
23	17.FEB.07	CONCEPT DESIGN	CLG
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
14280-60TH AVE
SURREY

DRAWING TITLE:
SHRUB PLAN LOT B

DATE: 17.FEB.07 DRAWING NUMBER:
SCALE: 1:200
DRAWN: CLG
DESIGN: CLG
CHKD: PCM OF 5

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Engineer, Engineering Department

DATE: Jan 28, 2019

PROJECT FILE: 7817-0069-00

**RE: Engineering Requirements
Location: 14280 60 Ave**

NCP AMENDMENT / DEVELOPMENT PERMIT

There are no engineering requirements relative to the NCP Amendment or Development Permit, except for the items listed below.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m on 60 Ave for ultimate 12.0 m Collector Road standard from centerline.
- Dedicate 11.5 m for 143 Street Half Road standard (ultimate 20.0 m Local Road allowance), or dedicate 10.0 m and secure 10.0 m offsite SRW for ultimate 20.0 m Local Road allowance (minimum 1.5 m offsite SRW required for 11.5 m wide Half Road allowance).
- Dedicate ultimate 20.0 m wide Local Road allowance for 59A Avenue.
- Dedicate 3.0 m x 3.0 m corner cuts at 143 Street/60 Avenue and 143 Street/59A Avenue.
- Register 0.5 m SRW along 60 Avenue, 143 Street and 59A Avenue frontages.

Works and Services

- Construct south side of 60 Avenue to Collect Road standard with 7.0 m wide pavement from centerline, 1.8 m concrete sidewalk and street lighting. The applicant is eligible for reimbursement for Collector Upsizing from 5.25 m to 7.0 m wide pavement, plus incremental cost to upgrade to the Collector standard pavement structure and street lighting.
- Construct west side of 143 Street to Half Road standard with minimum 6.0 m wide pavement (ultimate 10.5 m pavement width), 1.5 m concrete sidewalk and street lighting.
- Construct 59A Avenue to Local Road standard with 10.5 m wide pavement, 1.5 m concrete sidewalk on both sides, and staggered street lighting.
- Confirm storm drainage system downstream capacity, and upgrade if not adequate.
- Construct storm sewers on all frontage roads, including 60 Avenue.
- Provide onsite sustainable drainage works to meet the Hyland Creek ISMP requirements.
- Construct a 250 mm water main on 143 Street, between 60 Avenue and 59 Avenue.
- Construct a 200 mm water main on 59A Avenue fronting the site.
- Construct sanitary sewer mains on all frontage roads, sized as per the Design Criteria requirements.
- Pay Sanitary Latecomer charges relative to project 5812-0202-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.



Tommy Buchmann, P.Eng.
Acting Development Services Manager
IK1

NOTE: Detailed Land Development Engineering Review available on file



Planning

March 27, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0069 00

SUMMARY

The proposed 39 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	10
Secondary Students:	5

September 2018 Enrolment/School Capacity

Woodward Hill Elementary	
Enrolment (K/1-7):	82 K + 589
Operating Capacity (K/1-7)	38 K + 605
Sullivan Heights Secondary	
Enrolment (8-12):	1534
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

School Enrolment Projections and Planning Update:

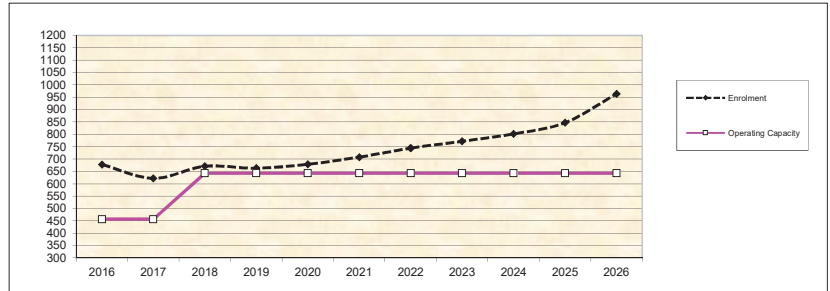
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Woodward Hill was open in 2010 to deal with in-catchment demand in the South Newton Area. As of September 2018, a new 8 classroom addition opened. Even with the new addition, school enrolment for this September was still higher than the "new" capacity and therefore, 2 portables were required to remain on site to accommodate. As an enrollment management strategy, Woodward Hill is also reducing their French Immersion program intake to one kindergarten class per year until further notice, starting September 2017. This will make available more regular stream space to meet in-catchment demand.

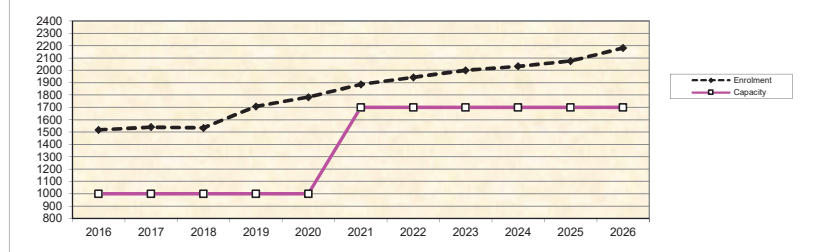
Enrolment pressure will continue in this area for the next 10 years. Consequently, In the District 2019/20 Five Year Capital Plan submission to the Ministry of Education, the district is asking for a new 3.3 HA site and new 655 capacity school for the South Newton area to relieve much of the enrollment pressure. We are awaiting funding approval.

There is currently extreme enrollment pressure at Sullivan Heights Secondary. The school enrollment has been capped since 2016/17. In early summer 2018, the Ministry approved funding for a 700 addition to move into design and construction. The new addition is targeted to open September 2021.

Woodward Hill Elementary



Sullivan Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: TBD

Address: 14280 - 60 Avenue, Surrey, BC

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	135
Protected Trees to be Removed	135
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 91 X one (1) = <u>91</u> - All other Trees Requiring 2 to 1 Replacement Ratio 44 X two (2) = <u>88</u> 	179
Replacement Trees Proposed	115
Replacement Trees in Deficit	64
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	5
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = 10 	10
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: January 3, 2019
--	-----------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302



**MIKE FADUM
ASSOCIATES LTD.
VEGETATION
CONSULTANTS**

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
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Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION
AND PROTECTION PLAN
14280 60 AVENUE
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	SEPT2716	MK	REVISED SITE PLAN
2	NOV0316	MK	REVISED SITE PLAN
3	JUL3018	SL	REVISED SITE PLAN
4	AUG0218	SL	REVISED SITE PLAN
5	JAN0319	MK	REVISED SITE PLAN

NOTE: 91 RED ALDER AND BLACK COTTONWOOD WITH A DIAMETER GREATER THAN 30cm TO BE REMOVED.
NOTE: ALL EDGE TREES TO UNDERGO A TREE RISK ASSESSMENT AND POSSIBLE MITIGATING WORK POST LAND CLEARING.
NOTE: REASSESS WITH FINAL DEVELOPMENT / CONSTRUCTION PLANS.

SHEET TITLE

T1 - TREE PRESERVATION
AND REMOVAL PLAN

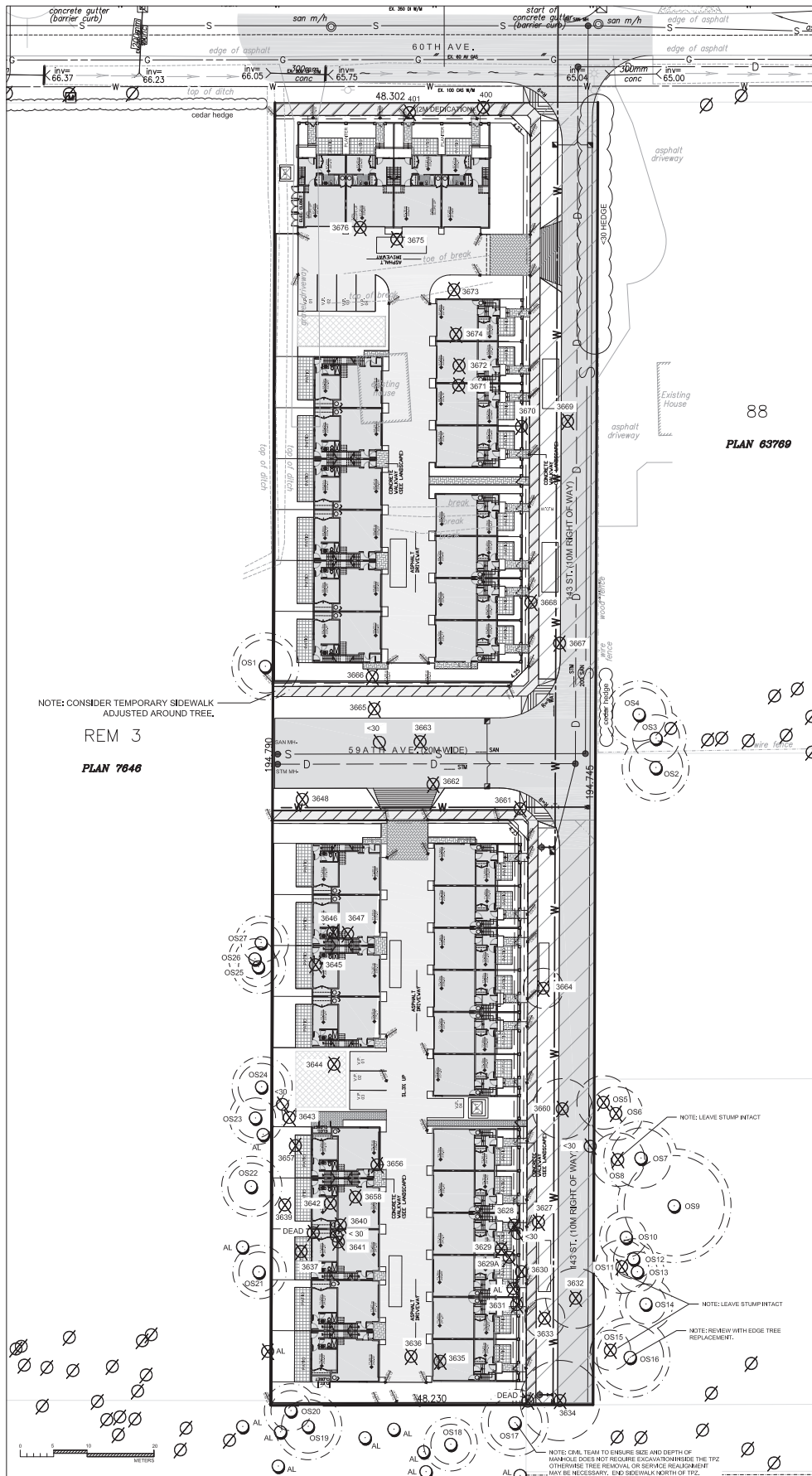
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DRAWN
MK

SCALE
AS SHOWN

DATE
JUNE 7, 2016

T-1
SHEET 1 OF 2



NOTE: CONSIDER TEMPORARY SIDEWALK ADJUSTED AROUND TREE.
REM 3
PLAN 7646

LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		NON BY-LAW TREE
	TREE NOT ASSESSED		



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CLIENT

FILE NO.

PROJECT TITLE
TREE PRESERVATION AND PROTECTION PLAN
 14280 60 AVENUE
 SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	SEPT2716	MK	REVISED SITE PLAN
2	NOV0316	MK	REVISED SITE PLAN
3	JUL3018	SL	CITY COMMENTS
4	AUG0218	SL	REVISED SITE PLAN
5	JAN0319	MK	REVISED SITE PLAN

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

NOTE: ALL EDGE TREES TO UNDERGO A TREE RISK ASSESSMENT AND POSSIBLE MITIGATING WORK POST LAND CLEARING.

NOTE: REASSESS WITH FINAL DEVELOPMENT / CONSTRUCTION PLANS.

SHEET TITLE

T2 - TREE PROTECTION PLAN

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DRAWN

MK

SCALE

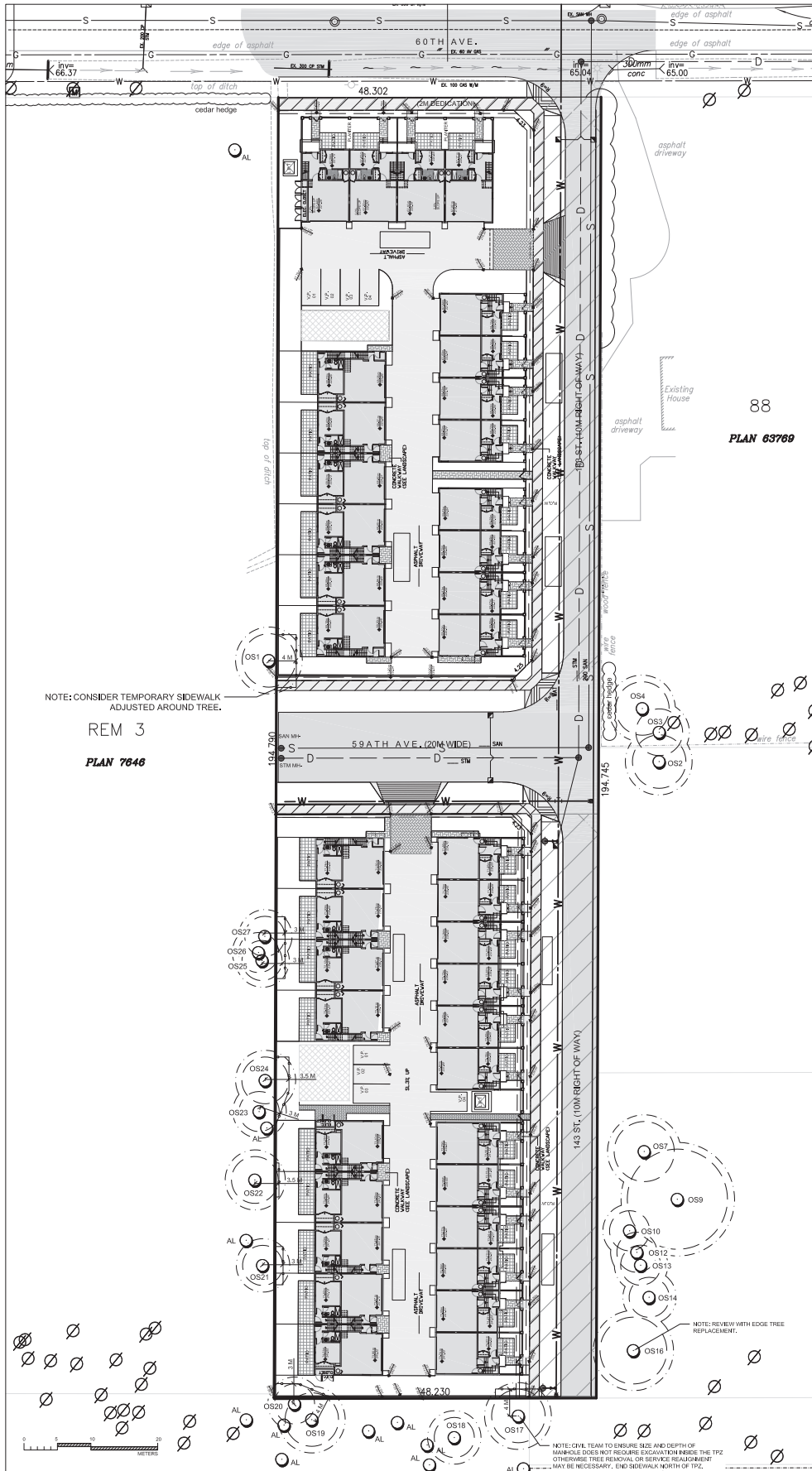
AS SHOWN

DATE

JUNE 7, 2016

T-2

SHEET 2 OF 2



NOTE: CONSIDER TEMPORARY SIDEWALK ADJUSTED AROUND TREE.

REM 3

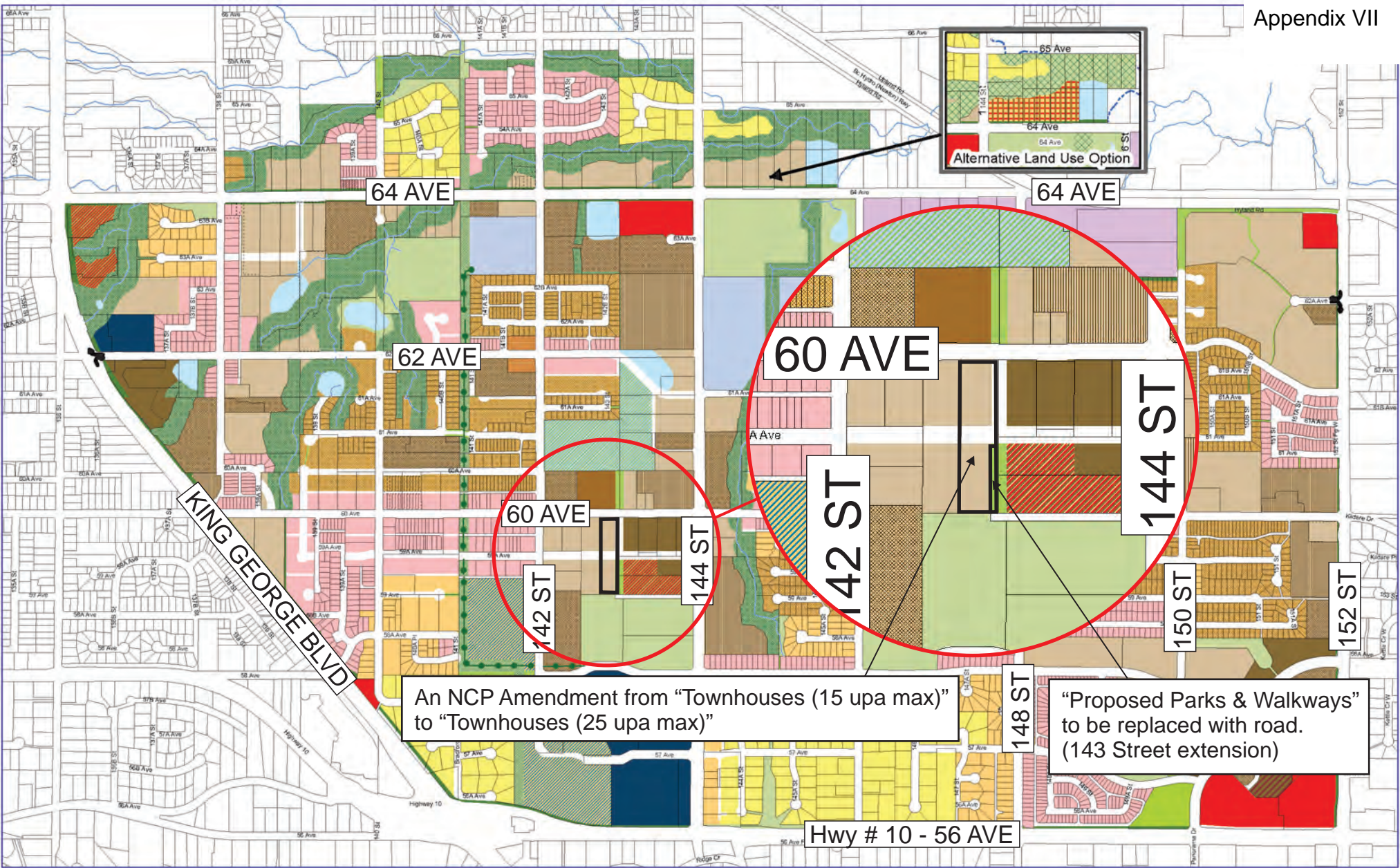
PLAN 7646

LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING		1.0 METER NO CONSTRUCTION OFFSET
	TREE NOT ASSESSED		

NOTE: CIVIL TEAM TO ENSURE SIZE AND DEPTH OF HANDSOME EDGE IS NOT REDUCED. EXCAVATION UNDER THE TREE OTHERWISE TREE REMOVAL OR SERVICE ALIGNMENT. MAY BE NECESSARY, END SIDEWALK NORTH OF T2.





SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN
City of Surrey Planning & Development Department

- | | | | | |
|-----------------------|--|-----------------|------------------------------|------------------------------|
| Apartments 45 upa max | Single Family Small Lots | Commercial | Proposed School and Park | Buffers |
| Apartments 45 upa max | Row Housing | Institutional | Parks | Detention Ponds |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Office Park | Proposed Park and Walkway | Utility R/W Greenway |
| Townhouses 25 upa max | Single Family Residential | Industrial | Recreational | Creeks and Riparian Set-back |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre | Schools | Creeks and Riparian Set-back | WALKWAY |
| Townhouses 15 upa max | Mixed Com/Res Apartments | Proposed School | | |
| | Mixed Com/Res Townhouse | | | |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0069-00

Issued To:

(the "Owner")

Address of Owner:

- 1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
- 2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-443-132
 Lot 90 Section 9 Township 2 New Westminster District Plan 63487
 14280 - 60 Avenue

(the "Land")

- 3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Subsection F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone:

- (a) reduce the north setback from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) for Building 4 on Lot A;
 - (b) reduce the east setback from 7.5 metres (25 ft.) to 5.1 metres (17 ft.) for Building 4 and 4.5 metres (15 ft.) for Buildings 2 and 3 on Lot A;
 - (c) reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 2 on Lot A;
 - (d) reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Building 1 and 3.5 metres (12 ft.) for Building 4 on Lot A;
 - (e) reduce the north setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 2 and 4 on Lot B;
 - (f) reduce the east setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Buildings 3 and 4 on Lot B;
 - (g) reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 3 on Lot B;
 - (h) reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 2 on Lot B; and
 - (i) to allow 2 visitor parking stalls to be located within the required setback on Lot A.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



F. ADAB ARCHITECTS INC.

875-100 ROSSLETT CRESCENT
NORTH VANCOUVER, BC, V7P 5K4
TEL: (604) 992-0388 FAX: (604) 987-3033
EMAIL: info@fadab.com

The Plans, as hereinafter amended, are the property of F. Adab Architects Inc. and may not be reproduced without the permission of the Architect. The information shown on the drawings is for informational purposes only and does not constitute a contract. The Contractor shall verify and be responsible for all dimensions as the job. This office will be informed of any discrepancies and variations shown on drawings. These design documents are prepared solely for the use by the Client and are not to be used for any other purpose. No liability is accepted for any errors or omissions in the drawings or when the design professional has not entered into a contract.

SCHEDULE A

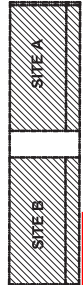
NO.	DATE	REVISION / ISSUE
4	04-15-2019	RESUBMITTED FOR DP
3	12-05-2018	REVISED PER CITY COMMENTS
2	7-16-2018	ISSUED FOR REDWING & DP
1	04-13-2017	REVISED PER CITY COMMENTS

PROJECT TITLE:
**14280 60TH AVE,
SURREY**

FOR:
**1078804 BC LTD.
CRESENT CREEK HOMES
208-13049 76 AVE. SURREY
B.C., V3W 2V7**

DRAWING TITLE:
SITE PLAN

DATE:	07-17	SHEET NO.:	
SCALE:	N/A	DESIGN:	FA
DRAWN:	R.L.	PROJECT NO.:	1705
		A-1.4	



reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Building 1 and 3.5 metres (12 ft.) for Building 4 on Lot A;

(i) to allow 2 visitor parking stalls to be located within the required setback area.

reduce the north setback from 7.5 metres (25 ft.) to 4.7 metres (15 ft.) for Building 4 on Lot A;

reduce the east setback from 7.5 metres (25 ft.) to 5.1 metres (17 ft.) for Buildings 4 and 4.5 metres (15 ft.) for Buildings 2 and 3 on Lot A;

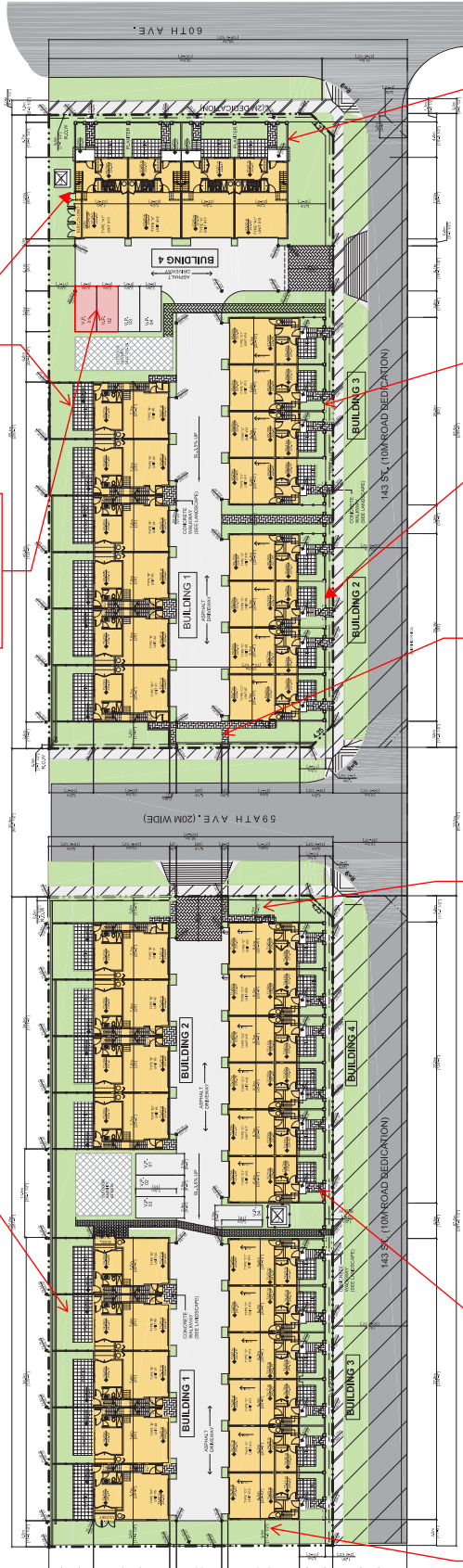
reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 2 of Lot A;

reduce the north setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 2 and 4 on Lot B;

reduce the west setback from 7.5 metres (25 ft.) to 6.0 metres (20 ft.) for Buildings 1 and 2 on Lot B; and

reduce the east setback from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Buildings 3 and 4 on Lot B;

reduce the south setback from 7.5 metres (25 ft.) to 3.5 metres (12 ft.) for Buildings 1 and 3 on Lot B;



SITE PLAN : SITE A

SITE PLAN : SITE B